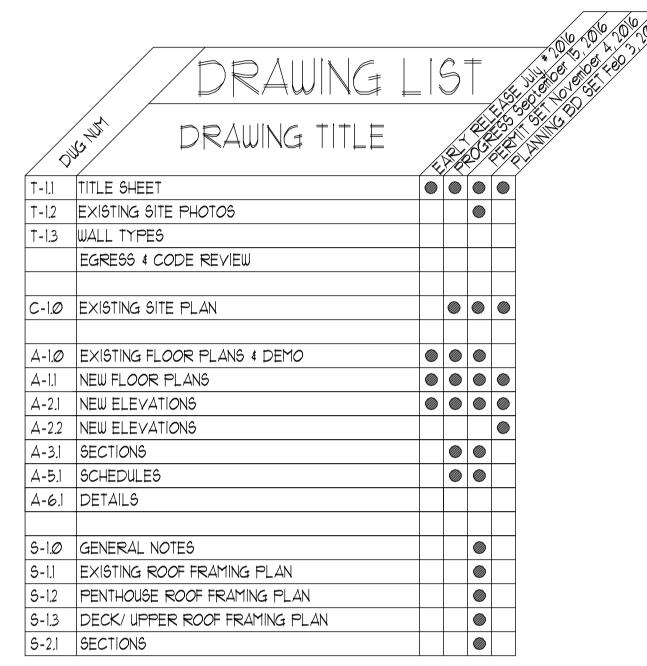
45-47 HANCOCK STREET RENOVATION

Portland, Maine



TYDICAL ADDDENMATIONS

ΙΥ	PICAL ABBR	LV	IAHONS
# A @ A A A A A B B B B B B C C C C C C C C C	AND ANGLE AT AMERICAN DISABILITIES ACT ADJUST OR ADJANCENT ABOVE FINISH FLOOR ALUMINUM ARCHITECT OR ARCHITECTURAL AVERAGE BOARD BUILDING BLOCKING BEAM BOTTOM OF CENTER LINE CABINET CEILING CLEAR CONCRETE MASONRY UNIT COUNTER COLUMN CONCRETE CONTINUOUS COORDINATE CORNER CARPET COLD WATER DOUBLE DEGREE DOMESTIC HOT WATER DIAMETER DIMENSION DOWN DOOR DOWN SPOUT DISH WASHER	EN Q Q U H S P T O Z F F F F F F F F F F F F F F F F F F	DRAWING EAST EACH EXPANSION JOINT ELECTRIC ELEVATION EMPLOYEE ENCLOSE ENTRY OF ENTRANCE EQUAL EQUIPMENT ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXTERIOR FURNISHED BY OWNER FOUNDATION FINISH FLOOR FINISH FLOOR FINISH FLOOR FLUORESCENT FOOT OF FEET GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GYPSUM WALL BOARD HEIGHT HOLLOW METAL HORIZONTAL HOUR HEATING, VENTILATION & AIR

INSTALLED BY CONTRACTOR SAT SUSPENDED ACOUSTICAL TILE SCHED SCHEDULE STORM DRAIN INTERIOR SECTION JOINT SQUARE FEET LAMINATED SIMILAR POUNDS SHELL PACKAGE LINEAR FEET SPEC SPECIFICATIONS LIVE LOAD LIGHT WEIGHT CONCRETE STAINLESS STEEL MAXMAXIMUM SQUARE MECHANICAL STANDARD MANUFACTURE STEEL MAN HOLE STRUC STRUCTURAL SUSP SUSPENDED SYMM SYMMETRICAL MAIN SWITCH BOARD THERMOSTAT MOUNTED T & B TOP AND BOTTOM TELEPHONE MICROWAVE TEMPERED GLASS NORTH THICK THICKNESS NOT APPLICABLE TENANT IMPROVEMENTS NATURAL TOP OF NOT IN CONTRACT TOP OF JOIST NUMBER TOP OF STEEL NOT TO SCALE ON CENTER UNDERWRITERS LABORATORIES, INC. OVER HEAD UNLESS NOTED OTHERWISE PARALLEL VINYL BASE PRECAST CONCRETE VERTICAL

VINYL COMPOSITE TILE

VERIFY IN FIELD

WIDE or WEST

WATER COOLER

WOOD

WITH

WITHOUT

EXISTING

WD

W/O

PROJECT CONTACTS

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PORTLAND, ME Ø41Ø1

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CONTACT: AARON C. JONES

E-MAIL: AARON@STRUCTURALINTEGRITY.COM

11 OAK STREET

PRFERORATED

PERP PERPENDICULAR

P-LAM PLASTIC LAMINATE

PL PLATE

PLAS PLASTER

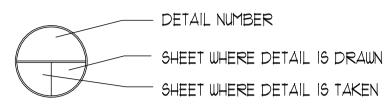
PLBG PLUMBING

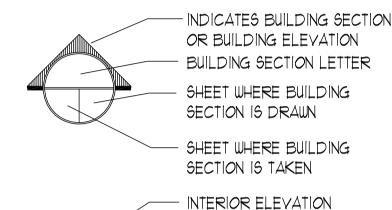
TIM O'DONOVAN

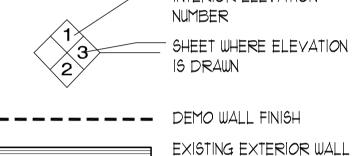
STRUCTURAL:

ARCHITECT:

LEGEND







□ EXISTING WALL TO BE REMOVED EXISTING INTERIOR WALL



ROOM NAME AND NUMBER



KEY NOTE



DOOR NUMBER



COLUMN GRID LINE



ELEVATION TARGET



WALL TYPE



WINDOW TYPE

GENERAL NOTES

- 1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- 2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- 3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER
- 4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT
- 5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER.)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- 10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION, COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- 12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

RENOVATION GENERAL NOTES

REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.

- 2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.



65 NEWBURY STREET PORTLAND, ME 04101

207.761.9000

HYLAND #2037

Consultants:

NOT FOR CONSTRUCTION

PERMIT SET

Residence Remodel

> Catamount **Properties**

45-47 Hancock St Portland, ME 04101

#	DATE	DESCRIPTION
1	2-3-17	PERMIT (REV'D.)

Date Issued February 3, 2017

16007 Project Number AS NOTED Drawing Scale

TITLE PAPPROVED SITE PLAN

DATE of APPROVAL January 30, 2017

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