

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMITS

PERMIT

PERMIT ISSUED
Permit Number 091400

Please Read
Application And
Notes, If Any,
Attached

This is to certify that CATAMONT PROPERTIES LLC /Property 21119

has permission to Replace Rotten 6" x 4" Deck Support Post

AT 45 HANCOCK ST CB# 2020-B014001 City of Portland

provided that the person or persons, firm or corporation accounting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature] 202

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 12/10/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 09-1410 | Issue Date: | CBL: 020 B014001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|--|--|---------------|
| Location of Construction: 45 HANCOCK ST | Owner Name: CATAMONT PROPERTIES LLC | Owner Address: 30 LEDGEWOOD DR | Phone: |
| Business Name: | Contractor Name: Property Owner | Contractor Address: | Phone |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Multi Family | Zone: B-2b |

| | | | | |
|---------------------------------|--|------------------------|---------------------------|--------------------|
| Past Use: 5 Unit Residential | Proposed Use: 5 Unit Residential - Replace Rotten 6" x 4" Deck Support Post <i>light var - 5 d.v.</i> | Permit Fee: \$30.00 | Cost of Work: \$200.00 | CEO District: 1 |
|---------------------------------|--|------------------------|---------------------------|--------------------|

Proposed Project Description:
Replace Rotten 6" x 4" Deck Support Post

FIRE DEPT: Approved Denied
12/15/09

INSPECTION:
Use Group: *R-2* type: *SB*
IBC 2003

Signature: *[Signature]* Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

| | | |
|-----------------------------|---------------------------------|------------------------|
| Permit Taken By: Ldobson | Date Applied For: 12/14/2009 | Zoning Approval |
|-----------------------------|---------------------------------|------------------------|

| | | | |
|---|---|--|---|
| <p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p> | <p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: <i>12/14/09</i> <i>ABM</i></p> | <p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p> | <p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABM</i></p> <p>Date: _____</p> |
|---|---|--|---|

PERMIT ISSUED

DEC 21 2009
City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

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| Permit No: 09-1410 | Date Applied For: 12/14/2009 | CBL: 020 B014001 |
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| Location of Construction: 45 HANCOCK ST | Owner Name: CATAMONT PROPERTIES LLC | Owner Address: 30 LEDGEWOOD DR | Phone: |
| Business Name: | Contractor Name: Property Owner | Contractor Address: | Phone: |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Multi Family | |

| | |
|---|--|
| Proposed Use: 5 Unit Residential - Replace Rotten 6" x 4" Deck Support Post | Proposed Project Description: Replace Rotten 6" x 4" Deck Support Post |
|---|--|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 12/14/2009

Note: **Ok to Issue:**

- 1) This property shall remain a five family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 12/16/2009

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Dept: Fire **Status:** Approved **Reviewer:** Ben Wallace Jr. **Approval Date:** 12/15/2009

Note: **Ok to Issue:**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

PERMIT ISSUED
DEC 21 2009
City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|--|--|
| Location/Address of Construction: <u>45-47 Hancock Street</u> | | |
| Total Square Footage of Proposed Structure/Area | Square Footage of Lot <u>6,000 +/-</u> | Number of Stories <u>3</u> |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>20 B 14</u> | Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Catamont Properties, LLC</u> Address <u>30 Ledgewood Drive</u> City, State & Zip <u>Falmouth, Me. 04105</u> | Telephone: <u>(w) 761-2545</u> <u>(c) 450-7890</u> <u>Tim O'Donovan</u> |
| Lessee/DBA (If Applicable) | Owner (if different from Applicant) Name <u>SAME</u> Address _____ City, State & Zip _____ | Cost Of Work: \$ <u>200.00</u> C of O Fee: \$ _____ Total Fee: \$ _____ |
| Current legal use (i.e. single family) <u>Apartment Building</u> Number of Residential Units <u>5</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Replace Rotten 6" x 4" Deck support post. (Picture Enclosed)</u> | | |
| Contractor's name: <u>Owner - Tim O'Donovan</u> Address: <u>30 Ledgewood Drive</u> City, State & Zip <u>Falmouth, Me. 04105</u> Telephone: <u>761-2545</u> Who should we contact when the permit is ready: <u>Tim O'Donovan</u> Telephone: <u>450-7890 (cell)</u> Mailing address: <u>Same</u> | | |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

RECEIVED

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

DEC 14 2009
Dept. of Building Inspections
City of Portland Maine

Signature: Timothy P. O'Donovan Date: 12/14/09

This is not a permit; you may not commence ANY work until the permit is issued

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

Client(s): Tim O'Donovan

St. No.: 45 - 47

Street: Hancock St.

Town: Portland, ME

Source Deed Bk. 12289 Pg. 104

CL No.:

Job No.: CTC31-24.

Date: 7/30/2001

County: Cumberland

Plan Bk. Pg.

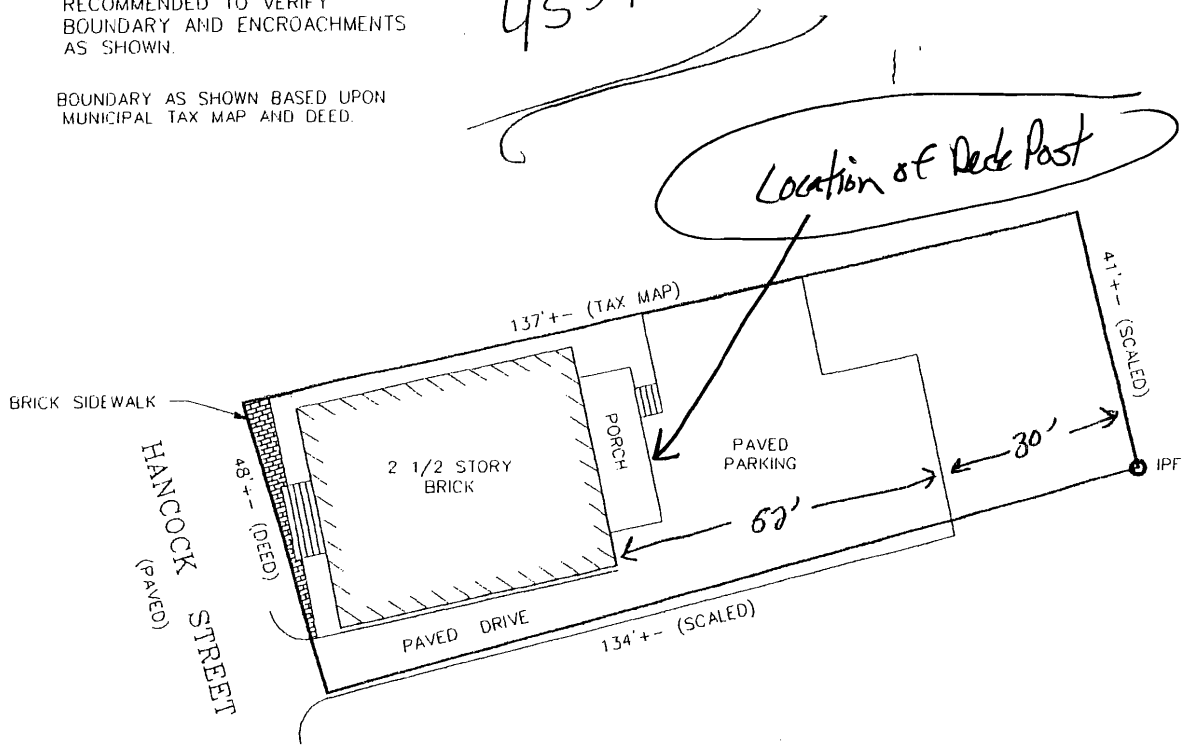
Lot(S):

Scale: 1" = 30'

NOTE: A FULL BOUNDARY SURVEY IS RECOMMENDED TO VERIFY BOUNDARY AND ENCROACHMENTS AS SHOWN.

BOUNDARY AS SHOWN BASED UPON MUNICIPAL TAX MAP AND DEED.

45,47 H.

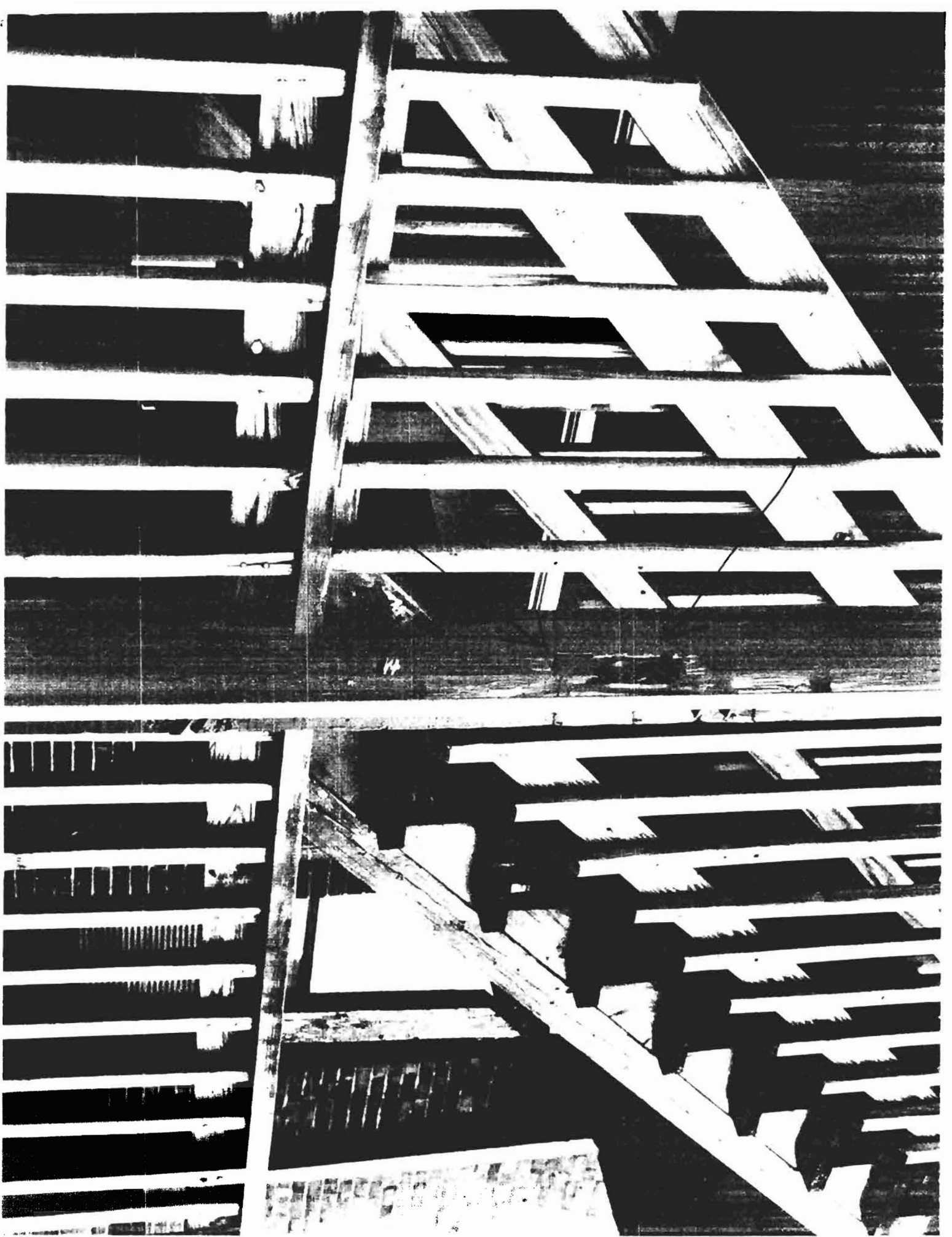


NOTE: **THIS IS NOT A BOUNDARY SURVEY.** This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.

CERTIFICATION: I hereby certify to *First American Title Insurance*, and their mortgage title insurer that based upon inspection made with reasonable certainty, that:

- a) this plan was made from an inspection of the site.
- b) there ARE NO apparent violations of municipal ordinances regarding building setbacks in effect at time of construction.
- c) the principal structure(s) located on the premises ARE NOT in a flood hazard zone as delineated on the flood maps used by the Federal Emergency Management Agency.

Barbara W. [Signature]





Will Replace
w/ 4" x 6" post -
one section of
2 story deck -
replace w/ 4x6 post.