

# 49 Hancock Street Building Addition

Portland, Maine

## EXISTING CONDITIONS

The current building is a 6-unit building. This project is a building addition and not an accessory structure, as per determination from the Zoning Board of Appeals on March 19, 2015.

“The board determined that the proposed construction is a building addition and is subject to the required ten (10) for rear setback. Permit#2015-0151 is still on hold. To obtain the permit, please submit revised plans that meet the ten (10) foot rear setback and all other requirements of the B2b zone.”

## PROJECT DESCRIPTION

To demolish rear portion of existing 6 unit building. To replace and construct a building addition. The new building footprint expansion is less than 500sf. New building addition will provide a new 1 hour fire rated stairwell enclosure to make the building safer for occupants (current rear stair is outside).

New building addition will provide extensive storage for occupants in the building.

Front stairwells will be removed in front portion of existing building. New kitchens and baths will be added to existing units in the existing building. Existing building and new addition will be equipped with a 13R sprinkler system. Existing building and new addition will be separated by a 2 hour rated party wall.

Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.

The project does not significantly increase traffic generation.

The proposed site plan does not add any new curb cuts.

There are no known stormwater impacts from the proposed use or any deficient conditions of stormwater management on the site.

## PROJECT CODES

2009 International Building Code

2009 NFPA 101 Life Safety Code

## ZONING SETBACKS

Zone: B2b

Front Setback: 0'

Side Setback: 0'

Rear Setback: 10'

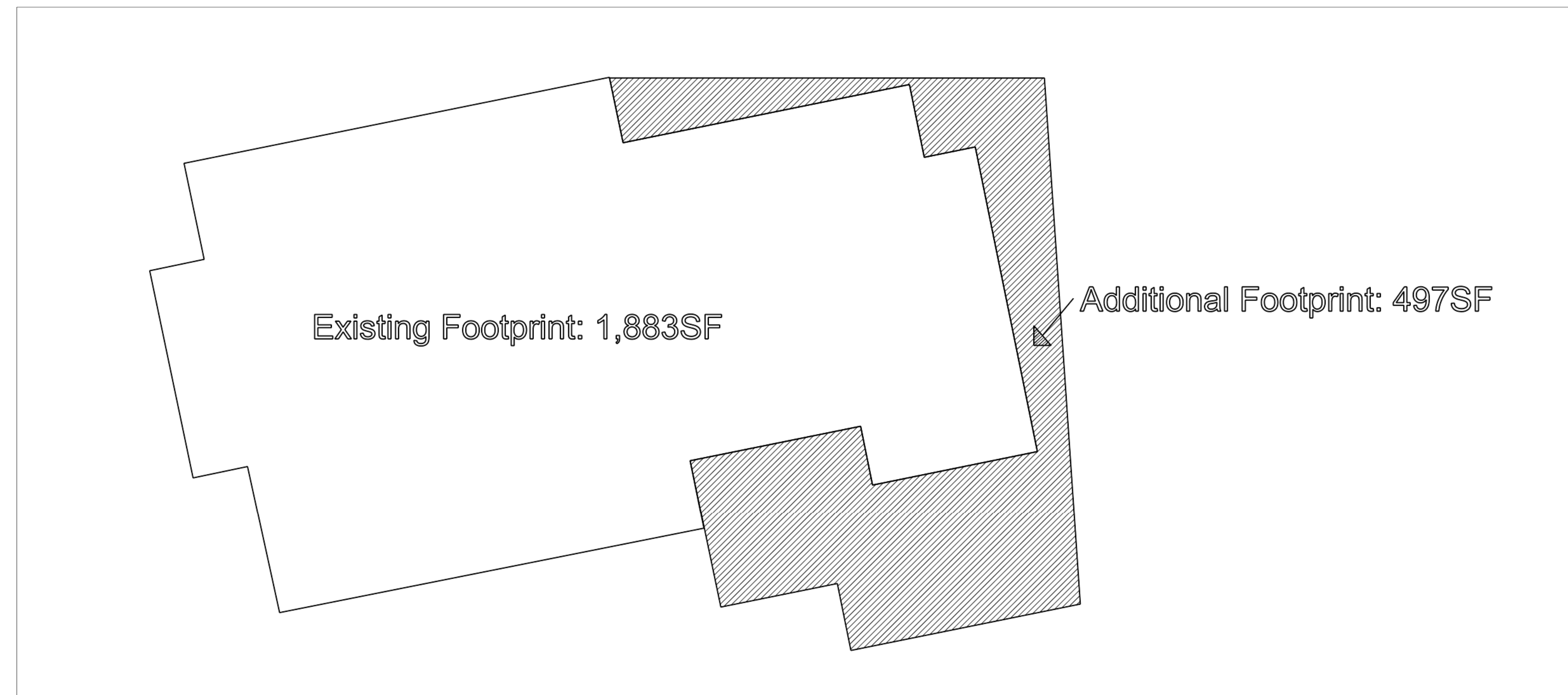
Maximum Impervious Ratio: none

Height Maximum: 45'

## OTHER NOTES

Cost of work less than \$50,000

Drawings do not need to be prepared by a Design Professional and/or bear their seal.



Sunny Time Solar

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PROJECT NO.  
2016

PROJECT NAME  
49 HANCOCK STREET  
PORTLAND, MAINE

REVISIONS  
1 - 3/29/16

2 -  
3 -  
4 -  
5 -

PERMITTING  
DOCUMENTS

DRAWN BY  
LRC

SHEET TITLE  
COVER

ISSUE DATE  
1/9/15

SHEET SCALE

COV

1.2