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- IBC**
- 310.1 Residential Group R-2 (Apartment House more than 2 units)
  - 312.1 Utility and Miscellaneous Group U (private garage/shed/barn)
  - 406.1.3 Vehicle parking area must be sloped
  - 406.1.4 Separation of garage: (won't come into play because of setback separation)  
5/8" Type X GWB ceiling
  - 1/2" GWB Walls
  - 406.1.5 Solid wood or honeycomb steel doors into living space  
Garage door openers by UL 325
  - 503 R-2VB 7,000sf 2 stories 40' high  
U VB 5,500sf 1 stories 40' high
  - 504.2 NFPA 13R Sprink. +1 story +20'  
Adjusted 3 stories max 60' building height max
  - 504.3 Towers, spires and steeples can be 20' taller when of combustible materials. They may NOT be habitable, but MAY be for circulation.
  - 508.4 Table does not apply. Defers to 406.1.4  
No separation required between R occupancies

- 601 No rating requirements by construction type.
- 602 X<5' 1-hour rating for walls next to other building  
X≥5' 1-hour rating for walls at property lines
- 705.2 Wall projections are limited in length
- 705.3 Buildings will be regulated as separate buildings as they are in zoning
- 705.5 Fire resistance rating shall apply to exterior wall from BOTH sides (for separation dist <10')
- 705.8 0' - <3' Any protection level Not permitted  
3' - <5' Any protection level 15% openings  
5' - <10' Any protection level 25% openings
- 705.11 Parapet not required by exception 2, less than 1000sf /floor
- 707.3.2 Exit enclosures shall be rated fire barriers
- 707.5 Fire barriers shall be continuous from slab or decking to underside of slab or decking
- 707.5.1 Supporting construction shall also be rated
- 712.4 Structure supporting horz. assemblies shall be rated

- 903.3.1.3 NFPA 13R allowed in Group R occupancies and accessory structures
- 907.2.11.2 Smoke Detector locations as shown on plan

- 1003.3.3 Handrails are permitted to protrude 4 1/2" from the wall
- 1004.1.1 Residential 1750 gross sf 9 occupants
- 1005.1 Min horz. egress width 0.2"/occupant 1.8"  
Min stair egress width 0.3"/occupant 2.7"
- 1006.1 Egress lighting not required within units
- 1008.1.1 Minimum door width of 32" clear or 36" leaf  
Min door height: 6'-8"
- 1009.1 Min stair width: 36"
- 1009.2 Stair headroom: 80" min
- 1009.4.2 Max riser height in common spaces: 7"  
Min tread depth in common spaces: 11"  
Max riser height in R-2 Units: 7.75"  
Min tread depth in R-2 Units: 10" (nosing allowed)
- 1009.5 Min landing depth: 36"
- 1014.3 Common path of travel limit 75'
- 1015.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
- 1016.1 Max exit access travel distance: 250'
- 1021.1 One exit is allowed per unit when sprinkled and occupant load is less than 20
- 1021.2 One exit allowed for entire building by this table
- 1022.1.3 Stairs serving and within a dwelling unit need not be enclosed (see 708.2.1)
- 1023.2 Min passageway width occupancy <50: 36"
- 1023.3 Exit passageway rating: 1 hour fire barrier

- 1509.2 Penthouse is considered portion of story below
- 1509.2.1 18' max penthouse height
- 1509.2.2 Area limited to 1/3 of roof below
- 1509.2.3 Use limited to mechanical equipment and top of vertical shafts

- IECC - Climate Zone 6**
- 402.1.1 Fenestration U-Factor 0.35  
Ceiling R-Value 49  
Wall R-Value 20  
Slab R-Value 10

- NFPA 101**
- 3.3.32.5 New Building
  - 6.1.8.1 Residential Occupancy
  - 6.1.8.1.1 Two-Family Dwelling Unit
  - 6.2.2.3 Ordinary Hazard of Contents
  - 7.3.1 Occupancy load:  
200 gross 1750sf 9 occupants

**ADA** ADA does NOT apply  
**Fair Housing** Fair housing does NOT apply (due to existing building)

**Zoning:**  
14-47 Accessory uses: Uses which are customarily incidental and subordinate to the location, function and operation of permitted uses.

**Building Code Brief Summary**

Area Table	
First Floor	540sf
Second Floor	540sf
Third Floor	495sf
Penthouse	166sf
<b>TOTAL</b>	<b>1741sf</b>

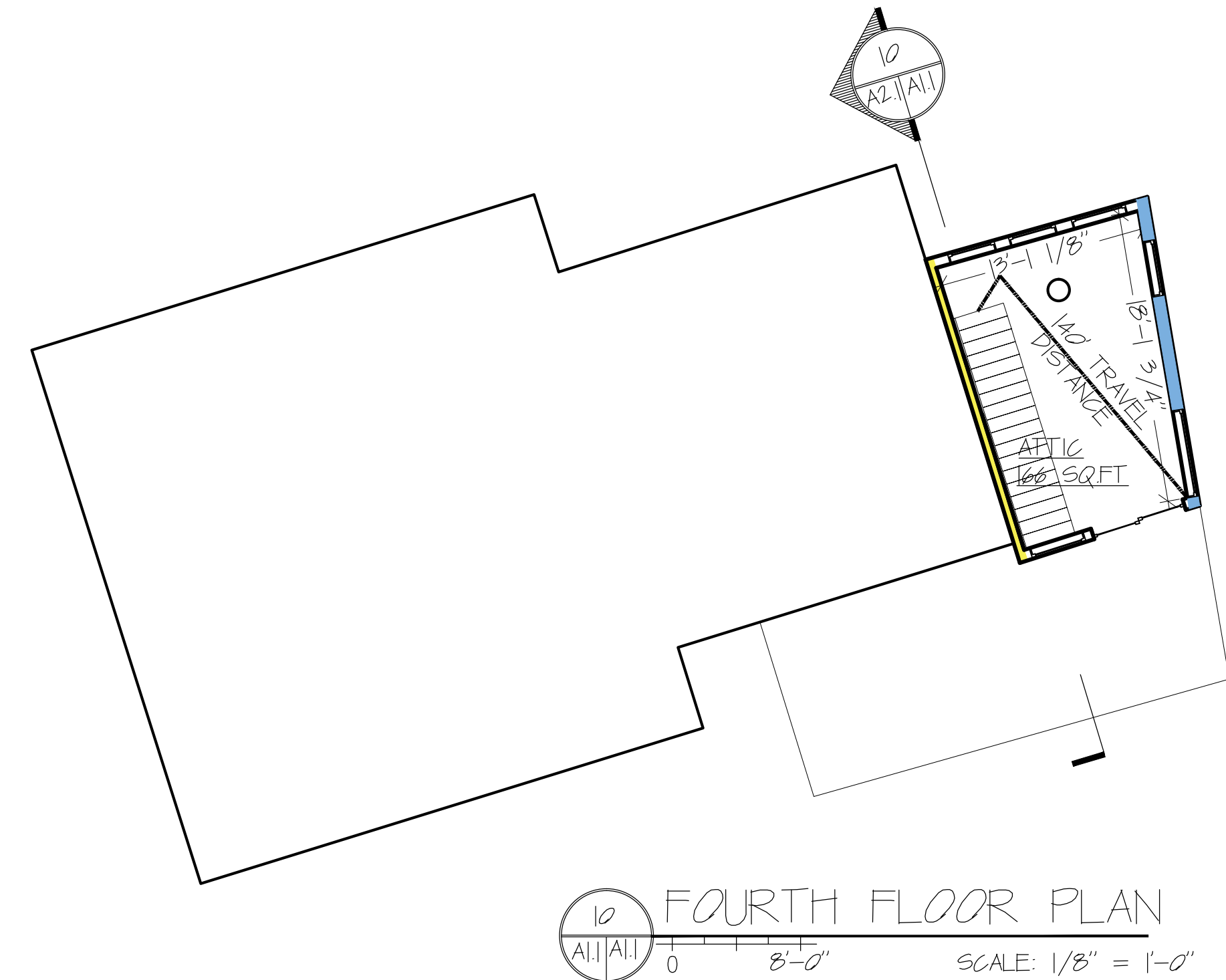
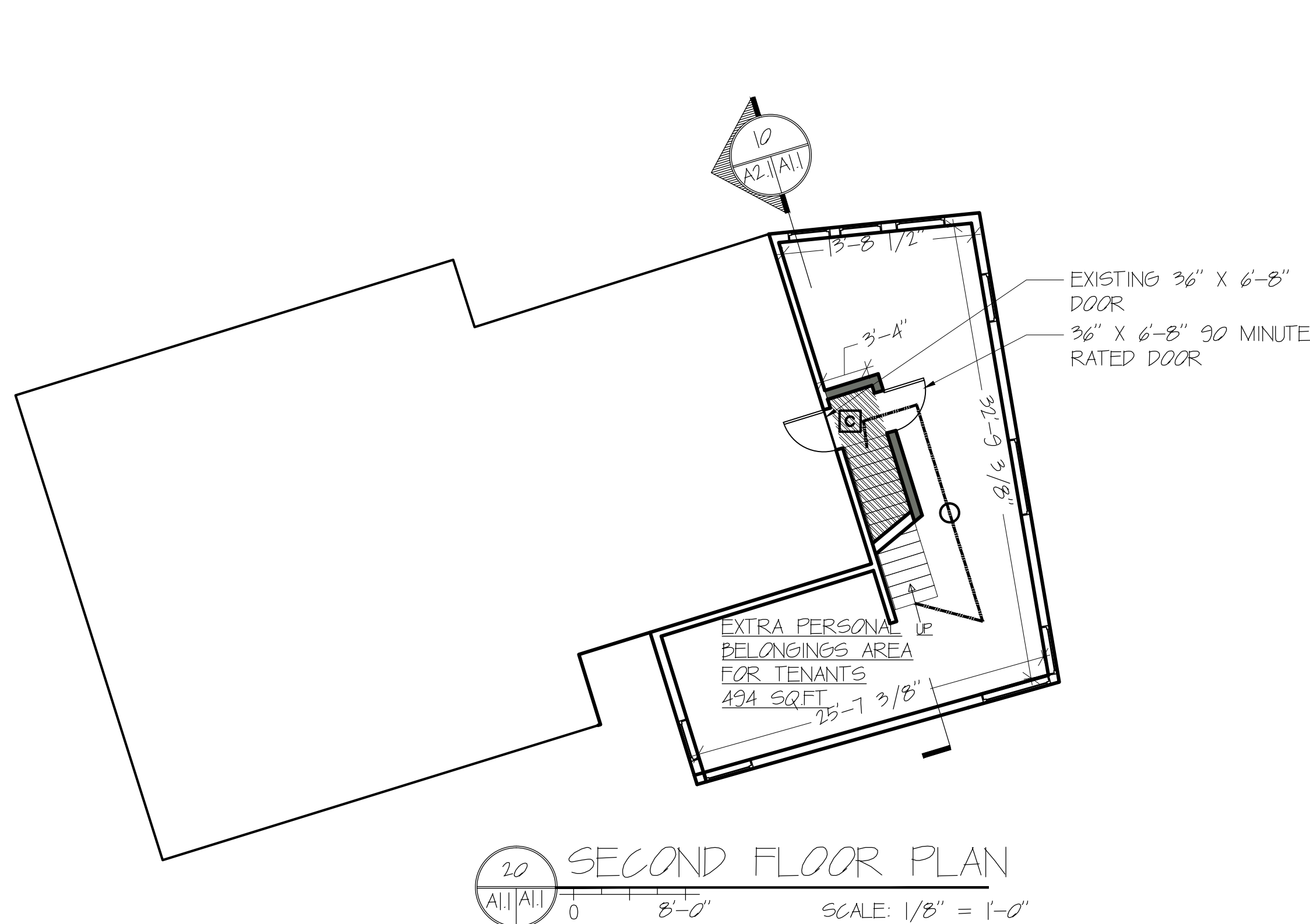
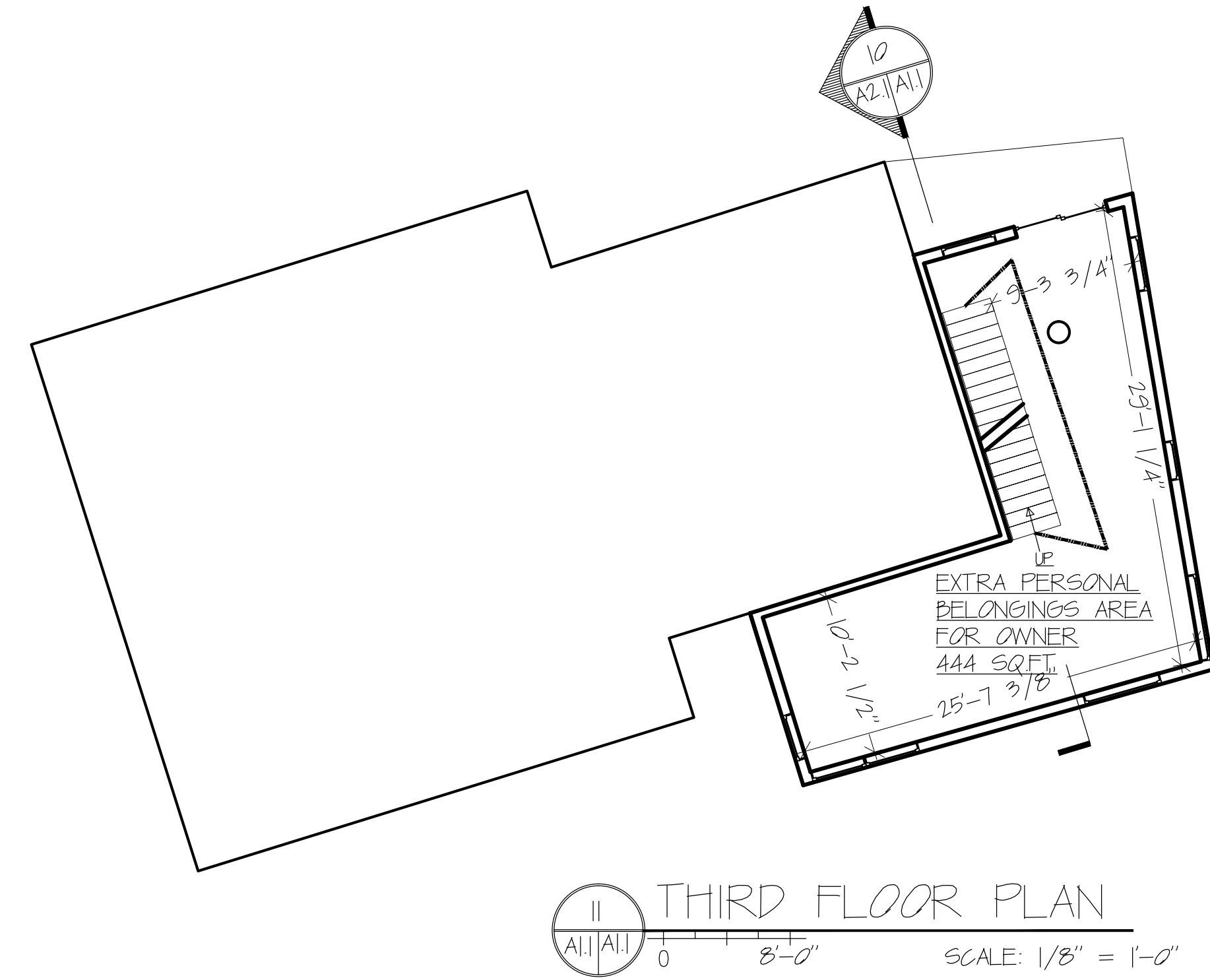
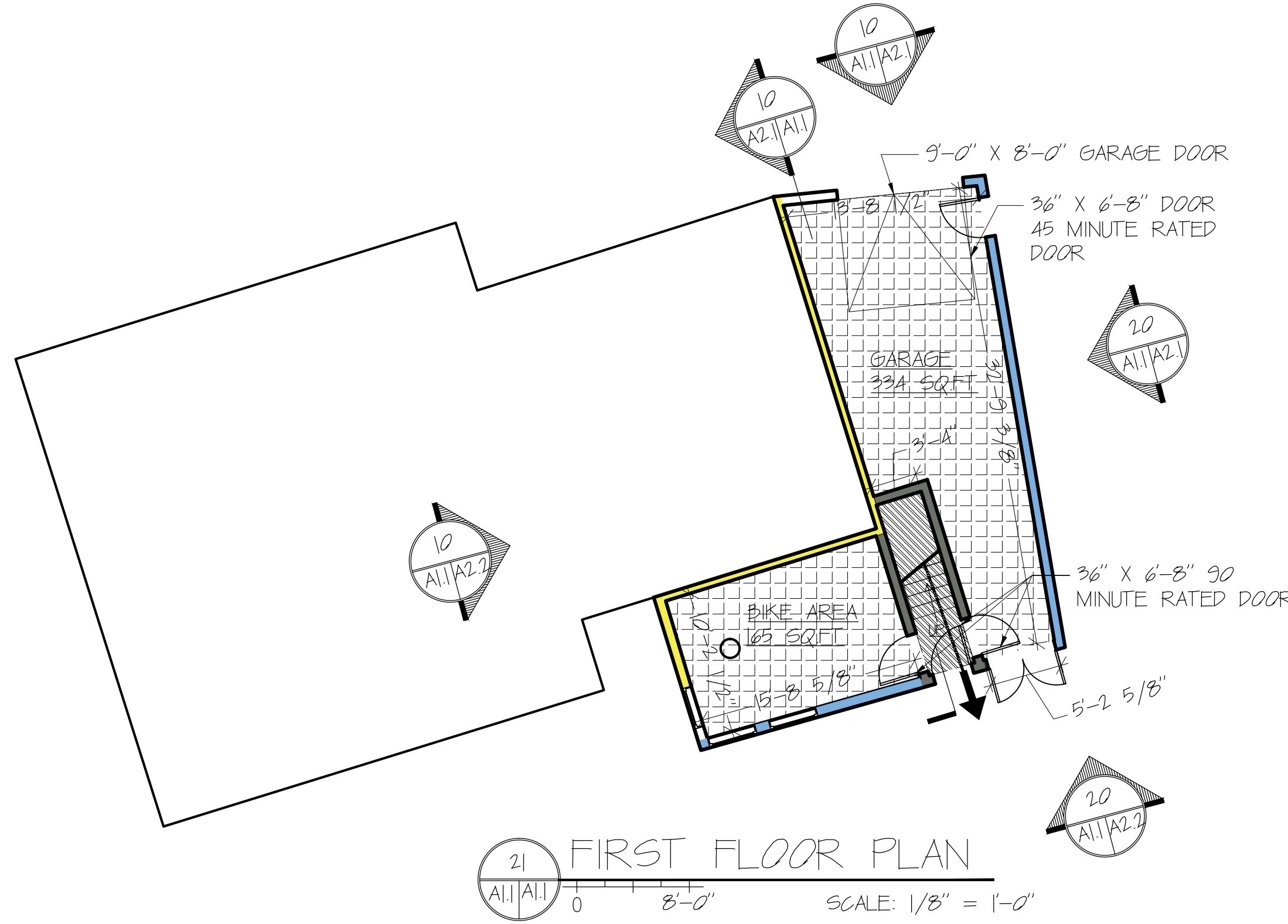
Garage area	334sf
Ground Storage	214sf
Upper Storage	1201sf

Use	IBC	NFPA
R-2 (Apartment)	R-2 (Apartment)	Residential
U (Garage)	U (Garage)	
Sprinkler System	NFPA 13R	NFPA 13R
Occupancy Load	9 people	9 people
Construction Type	VB	Any construction type
Number of exits	1	1

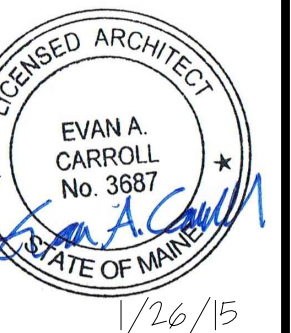
**APPLICANT**  
Liv Chase  
Sunny Time Solar LLC  
PO Box 15372  
Portland, ME 04112

**KEY**

- EXIT DISCHARGE
- 2 HOUR RATED STICK FRAME WALL (UL ASSEMBLY U301)
- 1 HOUR RATED SHAFT WALL (UL ASSEMBLY U455)
- 1 HOUR RATED WALL (UL ASSEMBLY U305)
- 2 HOUR RATED FLOOR ASSEMBLY (UL ASSEMBLY L511)
- 1 HOUR RATED FLOOR (UL ASSEMBLY L512)
- SMOKE DETECTOR
- CO/SMOKE DETECTOR



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**PROJECT NO.**  
14035  
**PROJECT NAME**  
51 HANCOCK STREET  
PORTLAND, MAINE

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**PERMITTING DOCUMENTS**

**PLANS**

**DRAWN BY**  
EAC  
**SHEET TITLE**  
PLANS

**ISSUE DATE**  
1/26/15  
**SHEET SCALE**  
1/8" = 1'-0"

**A**

**1.1**