

28 Federal Street Attached 2 Family Building

Portland, Maine

EXISTING CONDITIONS

The existing building is a 6-unit building with address of 49-51 Hancock Street. This project is an attached building with address of 28 Federal Street and revised floor plans for 5 of the 6 units in the existing building.

PROJECT DESCRIPTION

To construct an attached building. The new building footprint expansion (area of disturbance) is 497sf. The new building footprint is 1178sf. The new attached building will provide a new 1 hour fire rated stairwell enclosure to make the building safer for occupants (current rear stair is outside).

New attached building will be a 2 unit building which will also provide extensive storage for occupants in the building.

Unit #1 = 450sf. Unit #2 = 1337sf. Storage = 1345sf

The rear portion of the existing building and the 2 front stairwells will be removed from the existing building. 5 of the 6 existing kitchens and baths in the existing units will be relocated in the existing building.

Cost of work for this minor renovation and the removal of the rear section of the existing building is already included in the permit fee paid to the City of Portland on September 8, 2016, receipt thereof denoting satisfactory payment for this permit set.

Existing building to remain with all utility connections (water, sewer, electric). Occupant residing in first floor, right side, unit 49-1 to remain (floor plan will remain unchanged and no work will be performed on this unit).

Existing building and attached building will be equipped with a 13R sprinkler system. Existing building and attached building will be separated by a 2 hour rated party wall.

Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way. The project does not significantly increase traffic generation.

The proposed site plan does not add any new curb cuts. 2 existing curb cuts are in place. These curb cuts are legally non-conforming. Applicants seeks a waiver to not close these current curb cuts.

There are no known stormwater impacts from the proposed use or any deficient conditions of stormwater management on the site.

PROJECT CODES

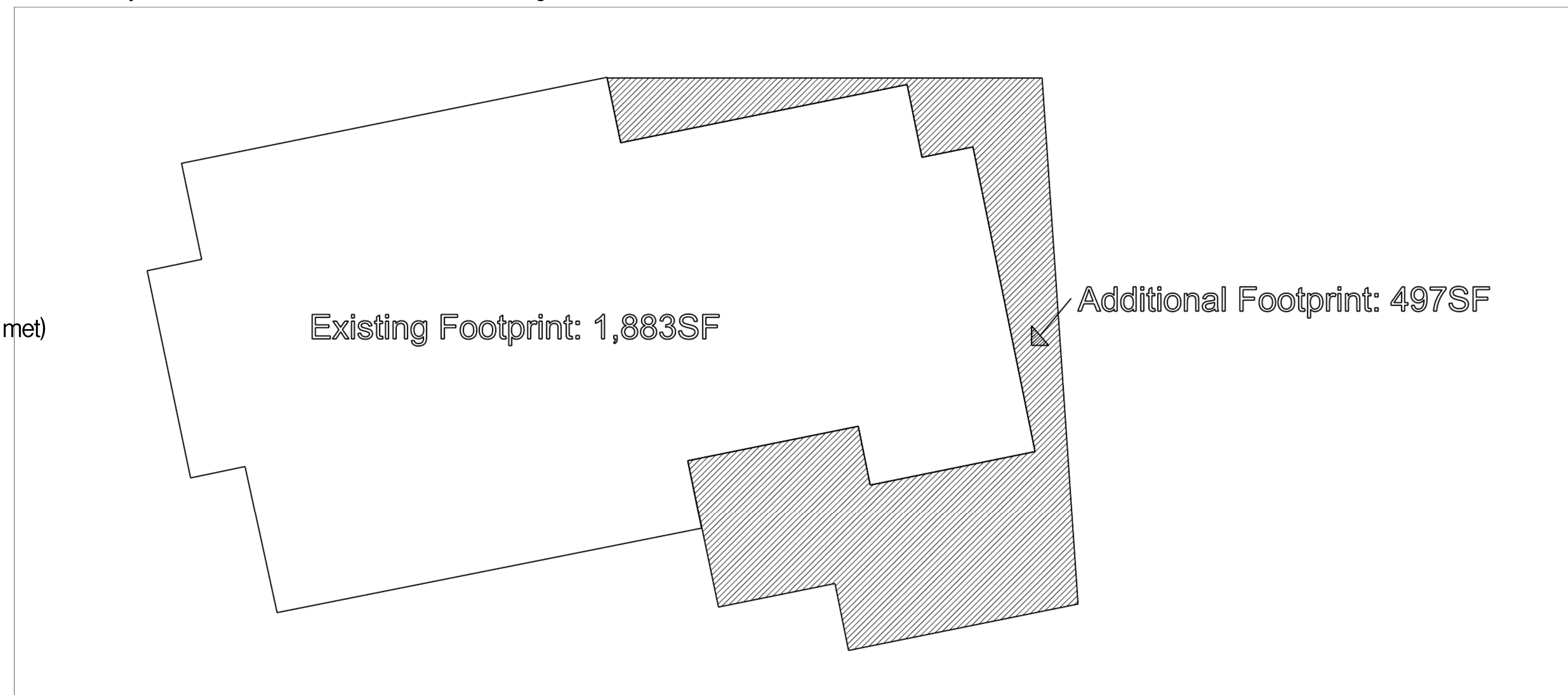
2009 International Building Code
2009 NFPA 101 Life Safety Code

ZONING SETBACKS

Zone: FBC
Front Setback: First Lot Layer
Side Setback: 5'
may be 0' if the cumulative of the side setbacks = 10'
Rear Setback: there is no rear on a corner lot condition
Maximum Impervious Ratio: 90%
Height Maximum: 45' (bonus floors apply if guidelines are met)

OTHER NOTES

Level 1 Permit Application for 2 family



REScheck Software Version 4.6.2 Compliance Certificate

Project: 28 Federal Street

Energy Code: 2009 IECC
Location: Portland, Maine
Construction Type: Multi-family Addition
Climate Zone: 6 (7378 HDD)
Permit Number:

Construction Site:
28 Federal Street
Portland, ME 04103

Owner/Agent:
LIV Chase
Sunny Time Solar
P.O. Box 15372
Portland, ME 04112
207524845
lvchase@yahoo.com

Designer/Contractor:
Hiroko Lindsey
Lindsey Architects, LLC
4 Market Place Drive Suite 201B
York, ME 03909
2076419739
hiroko@lindseyarchitects.com

Compliance: Passed using UA trade-off

Compliance: 12.7% Better Than Code Maximum UA: 612 Your UA: 534
This is better or better than Code trade-off. You did not complete the trade-off based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling 1: Flat Ceiling on Scissor Truss	858	49.0	0.0	0.026	23
Wall 1: Wood Frame, 14" o.c.	4,713	21.0	0.0	0.057	219
Window 1: Vinyl/Fiberglass Frame Double Pane with Low-E	649			0.260	169
Door 1: Glass	224			0.260	58
Floor 1: Slab-On-Grade Unheated Insulation depth: 4.0"	92		10.0	0.084	63

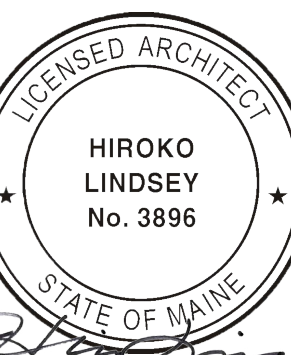
Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.6.2 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Hiroko Lindsey Signature: [Signature] Date: 10-14-16

Project Title: 28 Federal Street
Data filename: Untitled.rck

Report date: 10/15/16
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Sunny Time Solar
PO Box 15372
Portland, ME
04112
207524845
lvchase@yahoo.com



PROJECT NO. 2016
PROJECT NAME 49 HANCOCK STREET
PORTLAND, MAINE

REVISIONS
1 - 3/29/16
2 - 6/10/16
3 - 7/11/16
4 - 8/19/16
5 - 10/10/16

PERMITTING DOCUMENTS

DRAWN BY LRC
SHEET TITLE COVER

ISSUE DATE 1/9/15
SHEET SCALE

COV

1.2