

28 Federal Street Attached 2 Family Building

Portland, Maine

EXISTING CONDITIONS

The current building is a 6-unit building with address of 49-51 Hancock Street. This project is an attached building with address of 28 Federal Street.

PROJECT DESCRIPTION

To construct an attached building. The new building footprint expansion (area of disturbance) is 497sf. The new building footprint is 1178sf. The new attached building will provide a new 1 hour fire rated stairwell enclosure to make the building safer for occupants (current rear stair is outside).

New attached building will be a 2 unit building which will also provide extensive storage for occupants in the building.

Garage = 365sf. Unit #1 = 450sf. Unit #2 = 555sf. Storage = 1762sf

Front stairwells will be removed in front portion of existing building. New kitchens and baths will be added to existing units in the existing building. Existing building and attached building will be equipped with a 13R sprinkler system. Existing building and attached building will be separated by a 2 hour rated party wall.

Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way. The project does not significantly increase traffic generation.

The proposed site plan does not add any new curb cuts. 2 existing curb cuts are in place. These curb cuts are legally non-conforming. Applicants seeks a waiver to not close these current curb cuts.

There are no known stormwater impacts from the proposed use or any deficient conditions of stormwater management on the site.

PROJECT CODES

2009 International Building Code

2009 NFPA 101 Life Safety Code

ZONING SETBACKS

Zone: FBC

Front Setback: First Lot Layer

Side Setback: 5'

may be 0' if the cumulative of the side setbacks = 10'

Rear Setback: there is no rear on a corner lot condition

Maximum Impervious Ratio: 90%

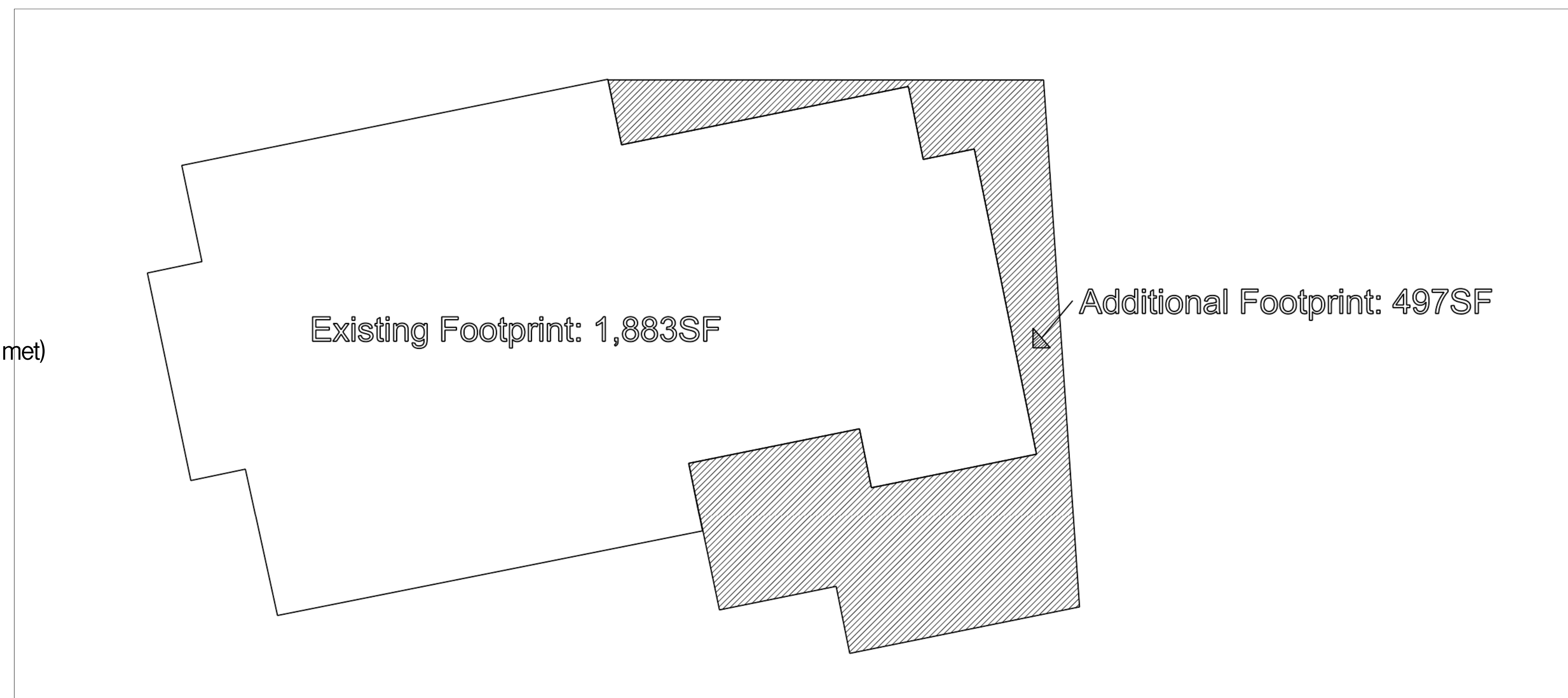
Height Maximum: 45' (bonus floors apply if guidelines are met)

OTHER NOTES

Cost of work less than \$50,000

Drawings do not need to be prepared

by a Design Professional and/or bear their seal.



Sunny Time Solar

PO Box 15372
Portland, ME
04112-0345
fvchase@yahoo.com

PROJECT NO.
2016

PROJECT NAME
49 HANCOCK STREET
PORTLAND, MAINE

REVISIONS

1 - 3/29/16
2 - 6/0/16
3 - 7/11/16
4 -
5 -

PERMITTING
DOCUMENTS

DRAWN BY
LRC

SHEET TITLE
COVER

ISSUE DATE
1/9/15

SHEET SCALE

COV

1.2