

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080805

PERMIT ISSUED

AUG 15 2008

CITY OF PORTLAND

This is to certify that COMMITTEE TO RESTORE THE ABYSSINIAN CHURCH here

has permission to Phase I Structural repairs, Historic preservation of 328 Meeting House

AT 73 NEWBURY ST 020 B005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or occupied. Closed-in areas. FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cross

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

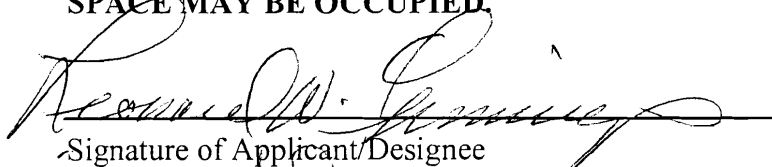
A framing inspection if required by your licensed engineer of the structural work.

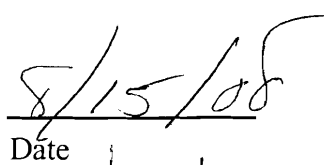
Final inspection required at completion of work.

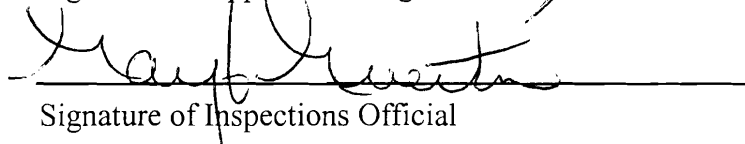
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

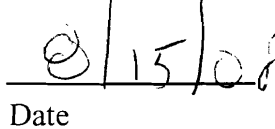
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.


Signature of Applicant/Designee


Date


Signature of Inspections Official


Date

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0805	Issue Date:	CBL: 020 B005001
-----------------------	-------------	---------------------

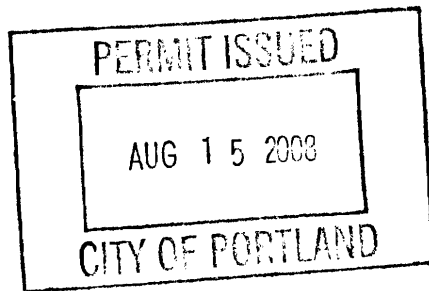
Location of Construction: 73 NEWBURY ST	Owner Name: COMMITTEE TO RESTORE THE	Owner Address: 73 NEWBURY ST	Phone:
Business Name:	Contractor Name: Preservation Timber Framing Inc.	Contractor Address: PO Box 29 Eliot	Phone: 6037815725
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: Bab

Past Use: Multi - Family	Proposed Use: Church & Community Center - Phase I Structural repairs, Historic preservation of 1828 Meeting House	Permit Fee: \$2,885.00	Cost of Work: \$278,160.00	CEO District: 1
Proposed Project Description: Phase I Structural repairs, Historic preservation of 1828 Meeting House		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <i>A-3</i> Type: <i>SB</i> <i>TBC 2003</i>	
		Signature: <i>Greg Carr</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 07/01/2008	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>7/16/08</i>	Date: _____	Date: <i>7/16/08</i>


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0805	Date Applied For: 07/01/2008	CBL: 020 B005001
------------------------------	--	----------------------------

Location of Construction: 73 NEWBURY ST	Owner Name: COMMITTEE TO RESTORE THE	Owner Address: 73 NEWBURY ST	Phone:
Business Name:	Contractor Name: Preservation Timber Framing Inc.	Contractor Address: PO Box 29 Eliot	Phone: (603) 781-5725
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Institutional	

Proposed Use: Church & Community Center - Phase 1 Structural repairs, Historic preservation of 1828 Meeting House	Proposed Project Description: Phase 1 Structural repairs, Historic preservation of 1828 Meeting House
---	---

Dept: Historic	Status: Approved	Reviewer: Deborah Andrews	Approval Date: 07/07/2008
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/16/2008
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 08/15/2008
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) This permit approves the repair of the roof only. Any other work needs separate approvals.			
2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Greg Cass	Approval Date: 07/23/2008
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) The fire dept. Dispatch center shall be notified and flagged as a do not enter structure until such time as structural repairs are complete. Dispatch # 874-8576			
2) This permit is for structural repairs only. Prior to interior fit-up a code summary shall be completed by a lic. Design professional.			

Comments:

8/4/2008-tmm: left message for Aron S. - need framing plans for structural work & need to be stamped by engineer.

8/6/2008-tmm: spoke w/engineer - went over what we needed - will submit.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>73 Newbury St. Portland ME</u>		
Total Square Footage of Proposed Structure/Area <u>1900</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>20</u> Block# <u>B</u> Lot# <u>S</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Committee To Restore</u> <u>The Abyssinian Meeting House</u> Address <u>PO Box 11064</u> City, State & Zip <u>Portland ME 04104</u>	Telephone: <u>1 207 772</u> <u>7767</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>278,160.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) If vacant, what was the previous use? <u>Multi Family Apartments</u> Proposed Specific use: <u>Church and community center</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Historic Preservation of 1828 Meeting House</u> <u>Phase 1: Structural Repairs: (See Exhibit One)</u>		
Contractor's name: <u>Preservation Lumber Framing Inc.</u> Address: <u>PO Box 28 77 Berwick Road</u> City, State & Zip <u>Berwick ME 03901</u> Telephone: <u>207 648 1695</u> Who should we contact when the permit is ready: <u>Arron J. Sturgis</u> Telephone: <u>603 781 5725</u> Mailing address: <u>PO Box 28 Berwick, ME 03901</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Arron J. Sturgis

Date: 7/1/08

This is not a permit; you may not commence ANY work until the permit is issue



Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules *To be refined*
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - b) Travel distance from most remote point to exit discharge
 - c) Location of any required fire extinguishers
 - d) Location of emergency lighting
 - e) Location of exit signs
 - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

PRESERVATION TIMBER FRAMING INC. P.O. BOX 28 BERWICK, MAINE 03901
207 698 1695 cell: 603 781 5725 e-mail: arron@preservationtimberframing.com

To: City of Portland, Maine ABYSSINIAN PERMIT DOCUMENT ONE

Regarding: Permit for Phase One structural repair of The Abyssinian Meeting House
75 Newbury Street
Portland, Maine 04101

Mailing Address: Abyssinian Meeting House
P.O. Box 11064
Portland, Maine 04104

Project Architect: John James Architect
P.O. Box 158
Ashley Falls, MA 01222

Project Engineer: Casco Bay Engineering
Eric Dube
424 Fore St.
Portland, Maine 04101

Project Contractor: Preservation Timber Framing Inc.
Arron J. Sturgis
P.O. Box 28
Berwick, Maine 03901

Building Square Footage: 3800 (two floors of 1900 sq. ft.)

Perimeter: 38 by 50

PRESERVATION TIMBER FRAMING INC. P.O. BOX 28 BERWICK, MAINE 03901
(207) 698-1695 cell: (603) 781 5725 e-mail: ptfajs@aol.com

Abyssinian Restoration Committee
David Paul and Leonard Cummings
P.O. Box 11064
Portland, Maine 04104

June 25, 2008

EXHIBIT ONE:

Dear David and Leonard,

The following estimate includes work outlined originally in my "revised roof quote" dated June 11, 2007. In that document I outlined an overall scope of work and I have revisited the work that must be done to complete structural repairs to the walls and roof of the church.

As you review the summary below, please understand that this phase of work is purely structural and that other work, such as roof trim and roofing the repaired roof structure, is outside of this original scope of work. This is because we had originally tried to keep the phases as specific as possible so that funding could be directed to specific purposes. It is of course very advisable to have the roof trim and a roof covering on this building before winter and I am happy to help you find the right roofing contractors as per your request.

Please let me know if you have any questions about the work outlined below. I look forward to beginning this project very soon and I am excited about working together to preserve the Abyssinian Meeting House.

Respectfully Submitted,

Arron J. Sturgis
Preservation Timber Framing Inc.

ABYSSINIAN MEETING HOUSE: PHASE ONE;
STRUCTURAL REPAIRS:

STABILIZATION: \$53,820.00

- Remove existing second and third story floor framing.
- Install interior staging and cross bracing to access trusses and walls.
- Install temporary cables to hold walls together at each roof truss and at mid-span of wall posts.
- Protect original sanctuary floor.
- Remove selected portions of the perimeter plaster wall to access primary structural components.

RIGGING FOR TIMBER FRAME: \$101,200.00

- Install wall and roof staging to protect and access timber frame.
- Install temporary rubber roof to protect sanctuary.
- Install cribbing and jacks to lift and straighten building.
- Draw in perimeter walls to plumb and original configuration.

ROOF TRUSSES: \$96,140.00

(includes crane costs)

- Remove roof covering.
- Remove roof sheathing.
- Remove common rafters.
- Remove principle purlins and braces.
- Remove remaining truss components.
- Brace gable end walls.
- Repair top plates.
- Repair rafter chords in trusses 1 and 2
- Repair king post foot in trusses 1 and 2
- Create and install struts in trusses 1 and 2
- Create and install new bottom chords in trusses one and two.
- Re-create truss three using trusses 1 and 2 as pattern.
- Remove temporary roof.
- Install trusses, purlins, braces and common rafters.

- Install roof sheathing.
- Protect roof sheathing with “tri-flex” roof paper.

REVISED TIMBER LIST:

<u>TIMBER:</u>	<u>SIZE:</u>	<u>QTY:</u>	<u>COST:</u>
Bottom Chord:	9 x 12 x 38'	3	\$6,000.00
King Posts:	8 x 10 x 14'	3	\$1,200.00
Principal Rafter:	7 x 9 x 22'	4	\$1,200.00
Principal Purlins:	7 x 9 x 12'	10	\$1,600.00
Truss Struts:	4 x 5 x 6'	12	\$400.00
Added struts:	6 x 6 x 10'	6	\$700.00
Common Rafters:	3 x 3 x 16'	50	\$1,200.00
Roof Sheathing:	1 x 10 shiplap	3000 bf	\$3,300.00
Rubber Roof:			\$3,000.00
Fasteners, roof paper etc.			\$4,000.00
Transportation and Equipment:			\$4,400.00
 Total Materials:			 \$27,000.00

SUMMARY:

STABILIZATION:	\$53,820.00
RIGGING FOR TIMBER FRAME:	\$101,200.00
ROOF TRUSSES:	\$96,140.00
MATERIALS:	\$27,000.00
TOTAL ESTIMATED COST FOR STRUCTURAL REPAIRS:	\$278,160.00

Arron and Scott,

This drawing is intended to print out on 11x17.

This is how I am trying to create the connection without significant steel.
Particulars of this connection design include:

1. Using a 9x 12deep tie beam (bottom chord) versus 8x 9deep originally planned.
2. Cutting in a full width shoulder or shoulders into the new tie beam (bot chord) to accept trimmed principal purlin (top chord).
3. Reducing depth of wall plate mortise from about 5" deep to 4" deep, and lowering it by 1 inch, trimming the tenons in the field.
4. Sacrificing the flying purlin mortise and tenon connection, if necessary, to maintain enough relish near the end of the tie beam to make the heel connection work.

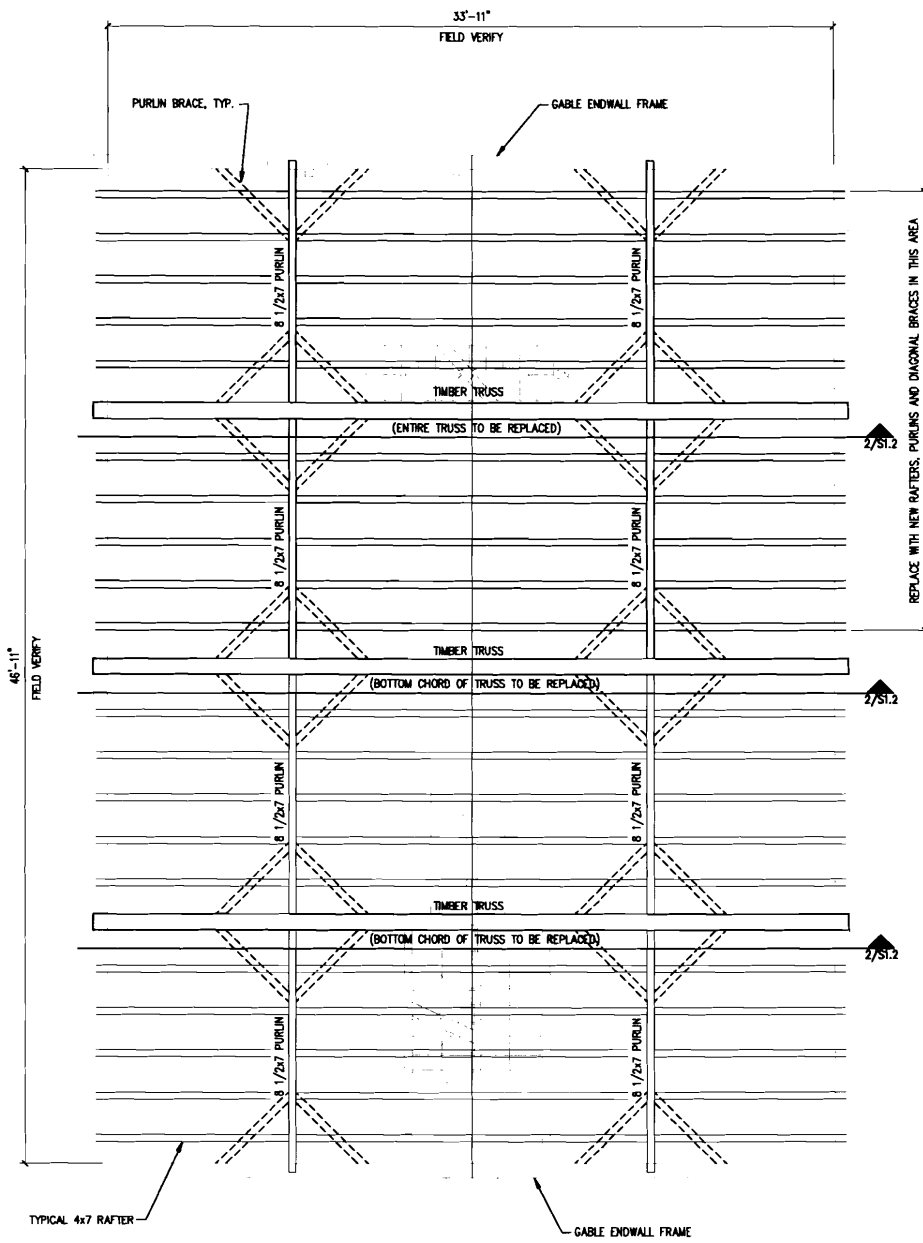
Scott, I was working with a modified (Hankinson's) value of 395-430 psi, for number 2 spf or eastern white pine, depending upon the timbers being "beams and stringers" or "posts and timbers". Assuming 400 psi and 7" top chord width, I'm estimating about 4 inches of bearing length required to make bearing work and transfer forces from top to bottom chords.

Arron, let me know if you think this is feasible to construct.

Let's discuss as you have a chance.

Al

Alfred H. Hodson III, P.E.
Resurgence Engineering & Preservation, Inc.
132 Brentwood Street
Portland, ME 04103
v/f (207) 773-4880



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

1

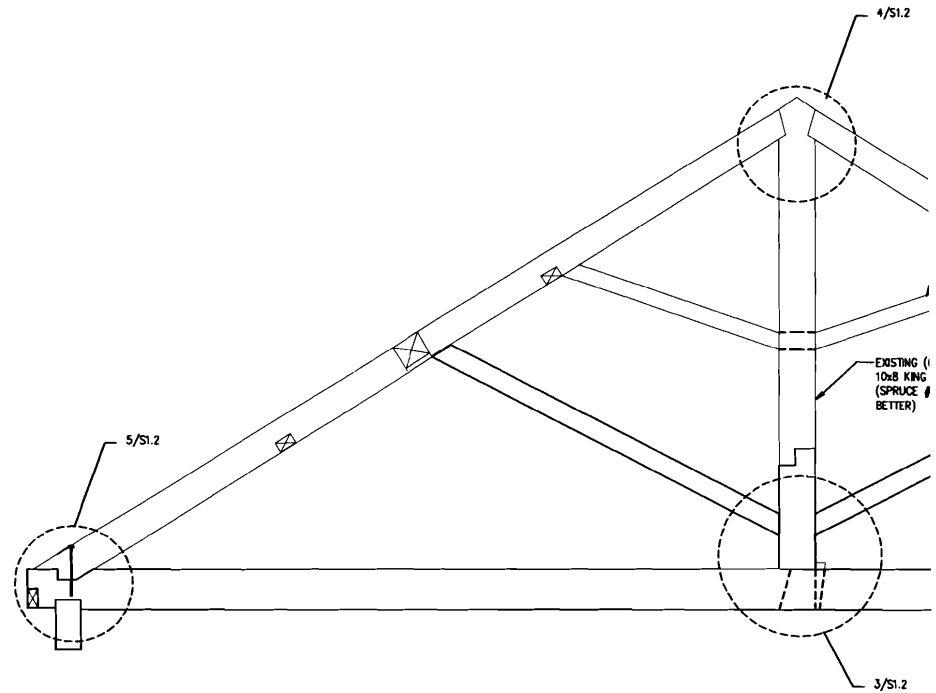
SECTION

SCALE: 1/4"=1'-0"

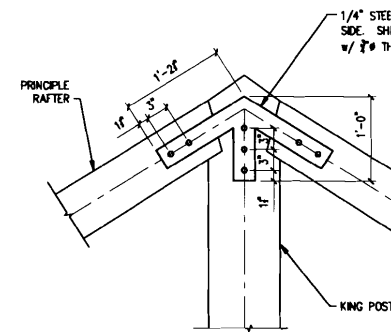
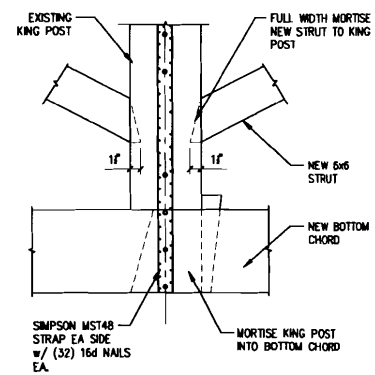
3

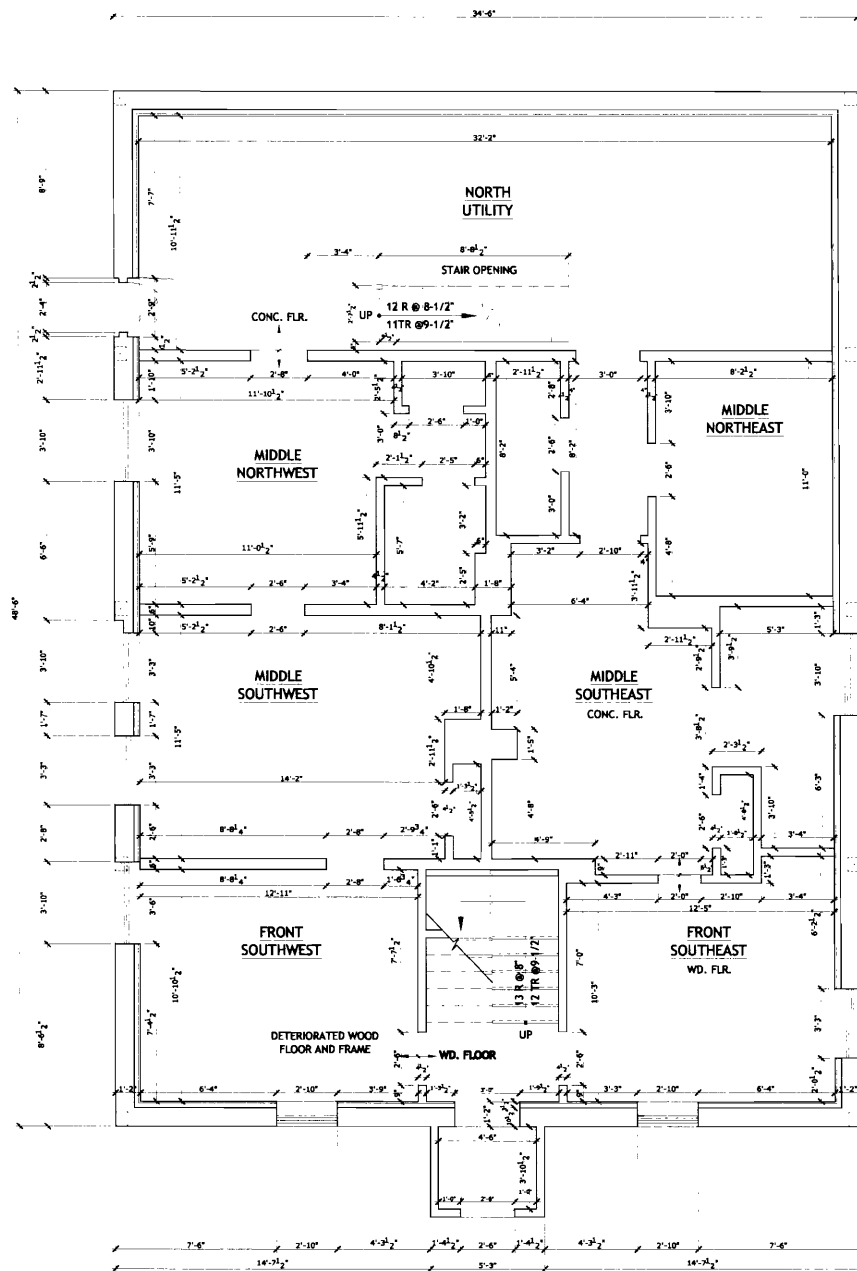
SECTION

SCALE:

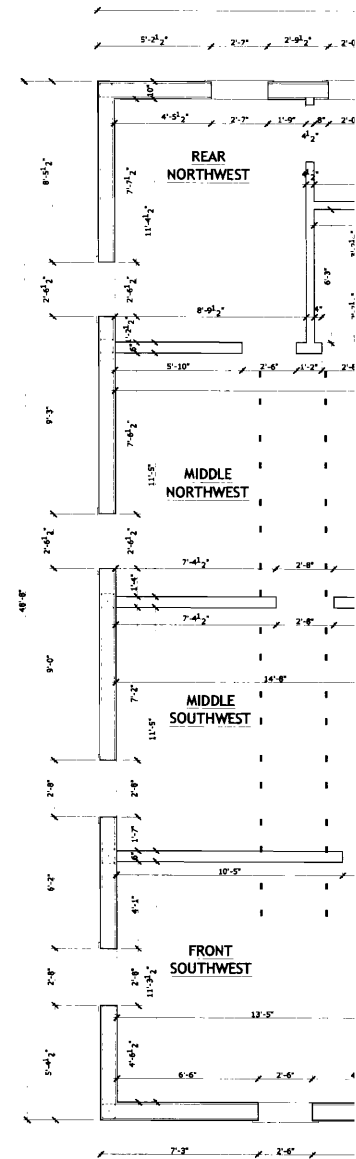


TIMBER TRUSS SECTION

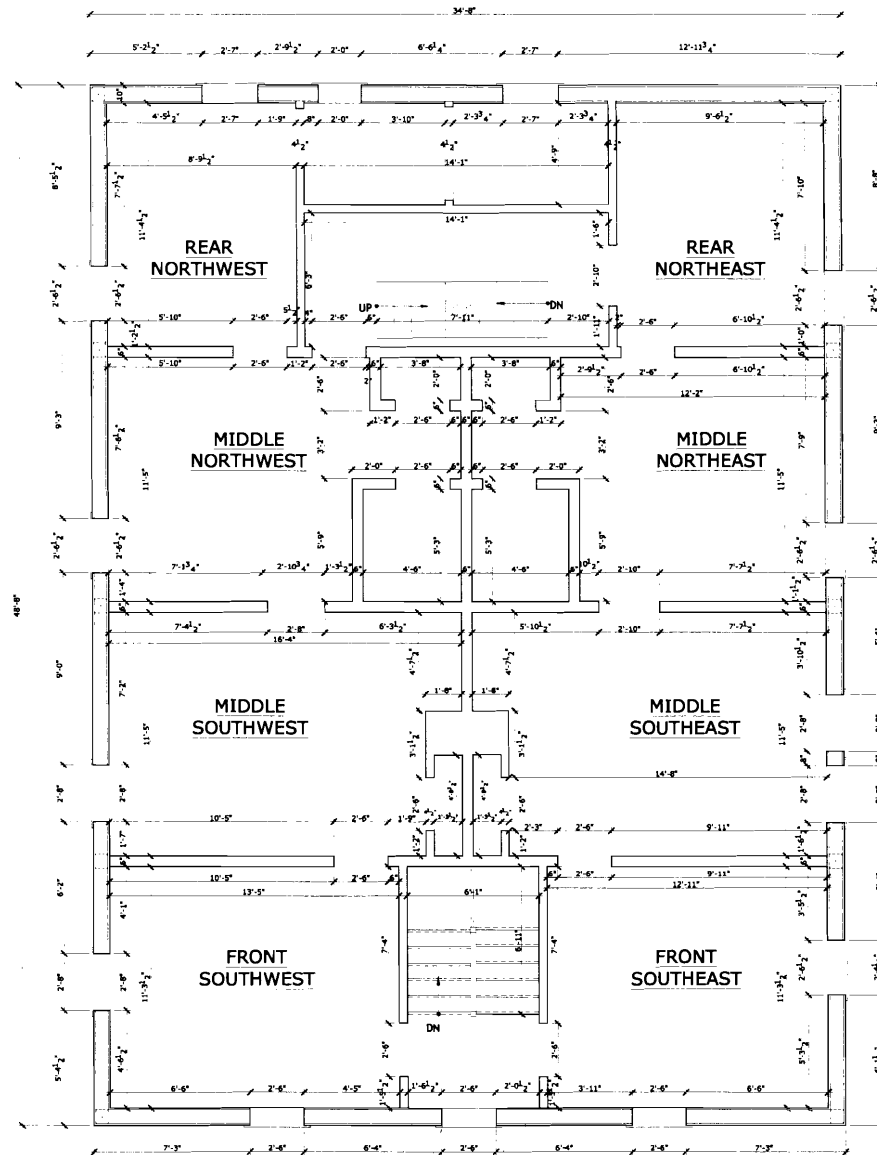




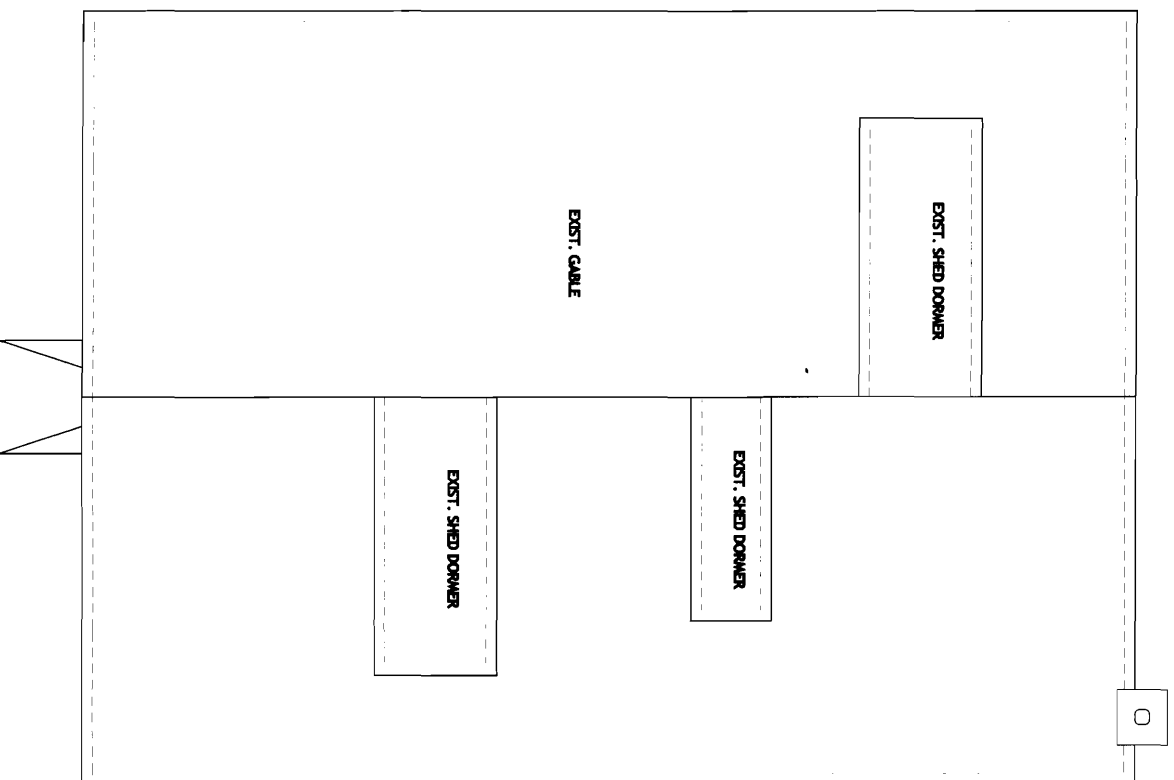
1 EXISTING GROUND FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"



2
A1

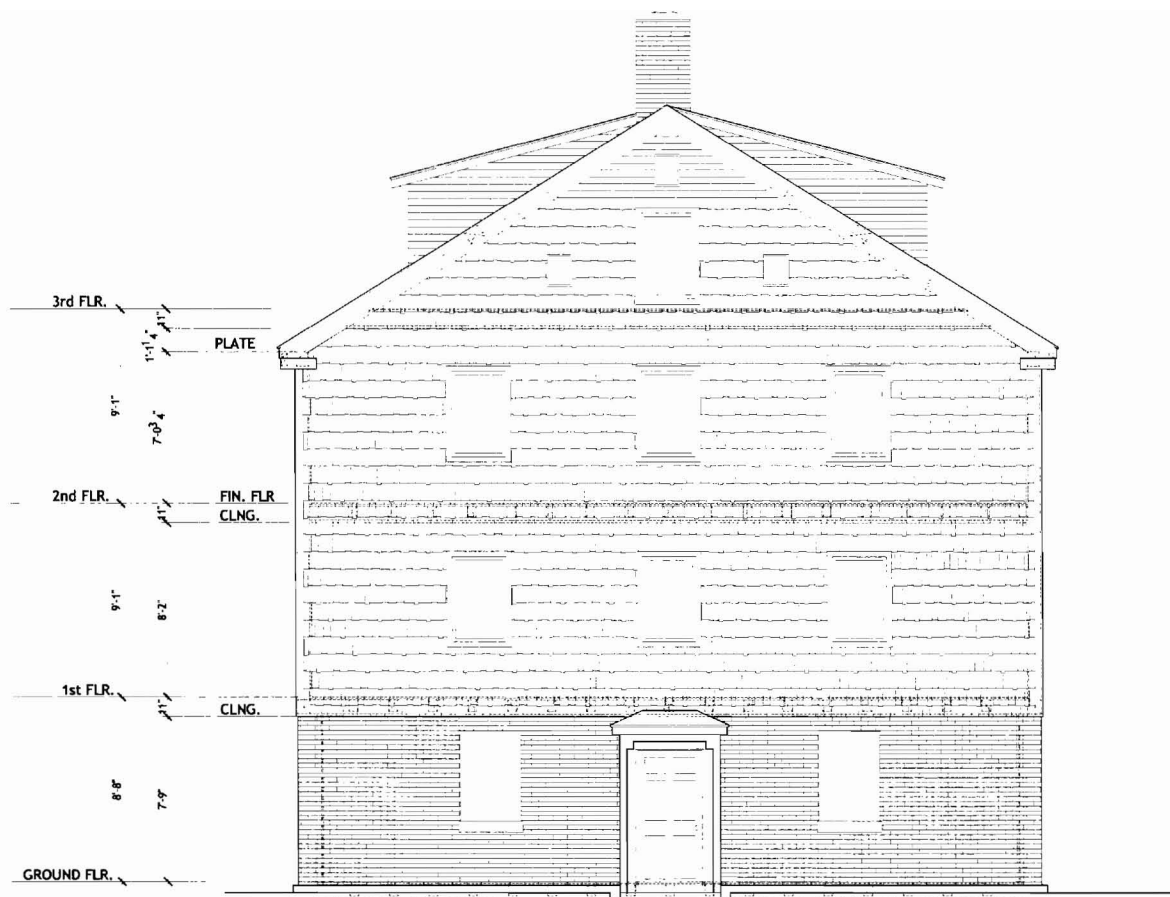


1 EXISTING SECOND FLOOR PLAN
A2 SCALE: 1/4" = 1'-0"



1 EXISTING ROOF PLAN

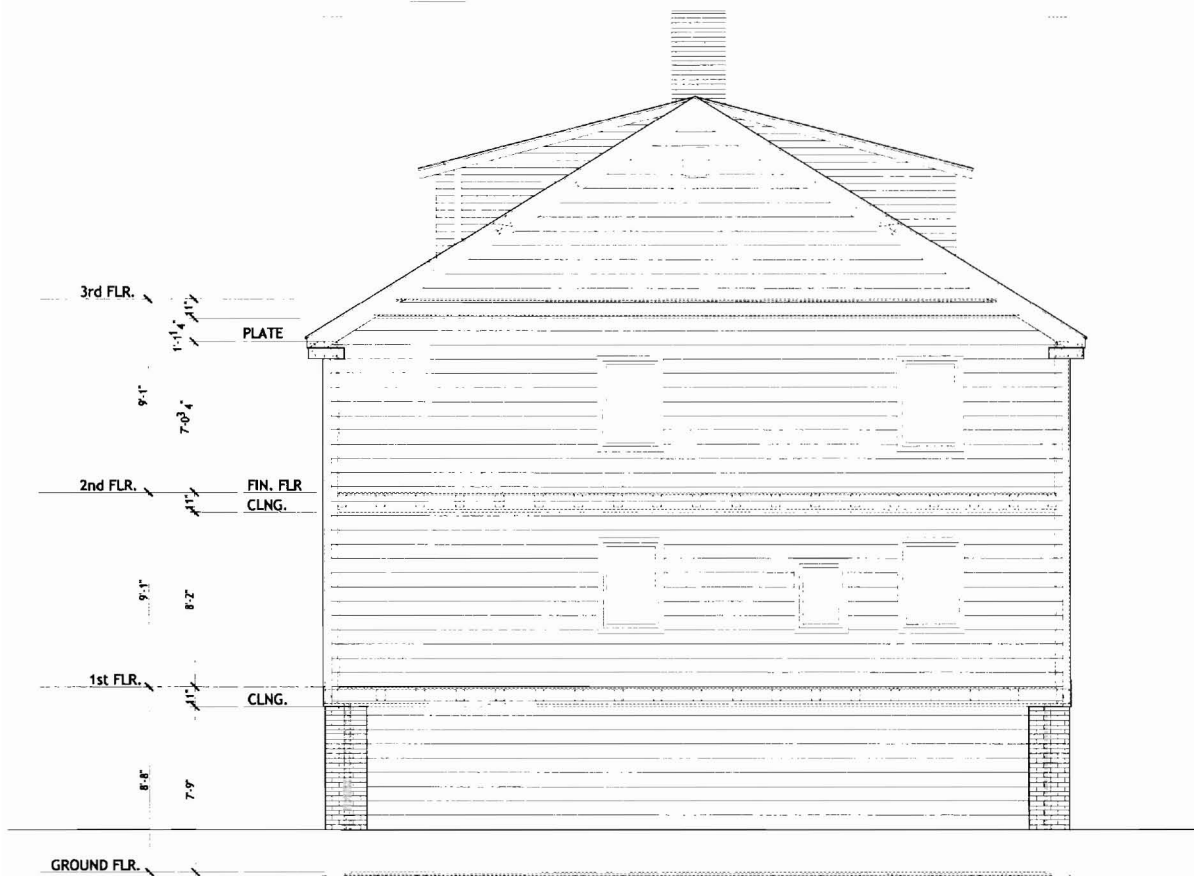
A3 SCALE: 1/4" = 1'-0"



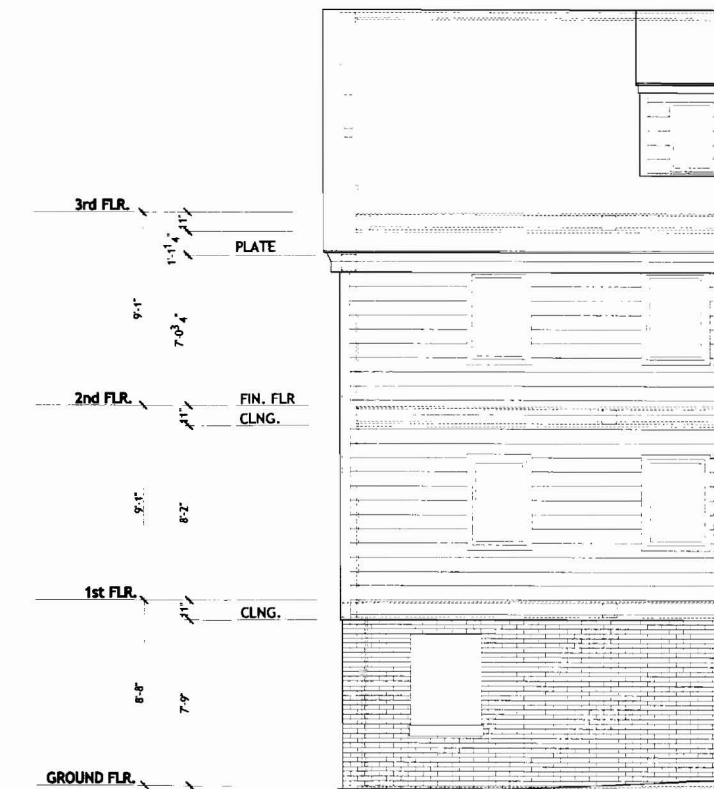
1 EXISTING SOUTH ELEVATION
A4 SCALE: 1/4" = 1'-0"



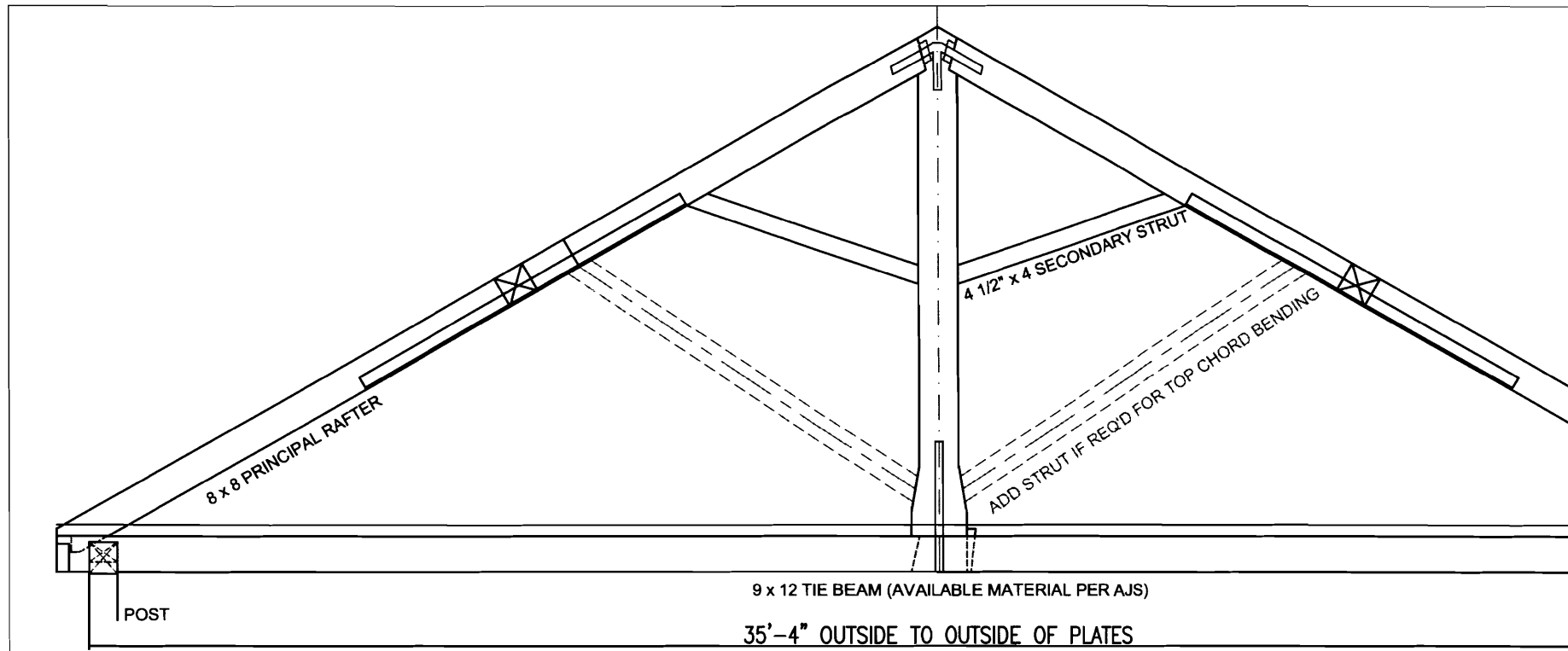
2 E
A4 S



3 EXISTING NORTH ELEVATION
A4 SCALE: 1/4" = 1'-0"

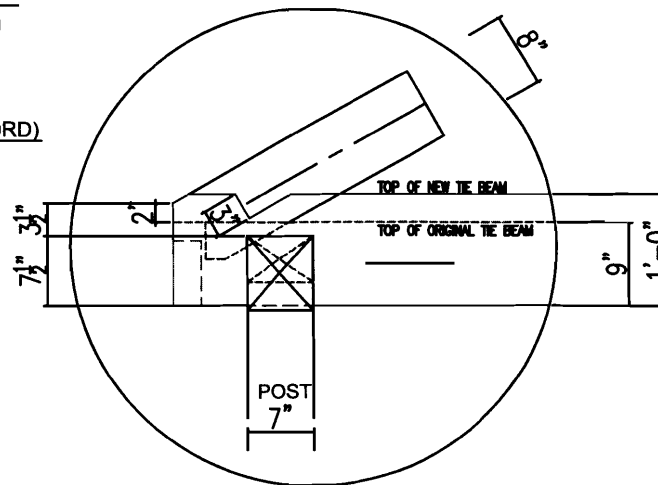
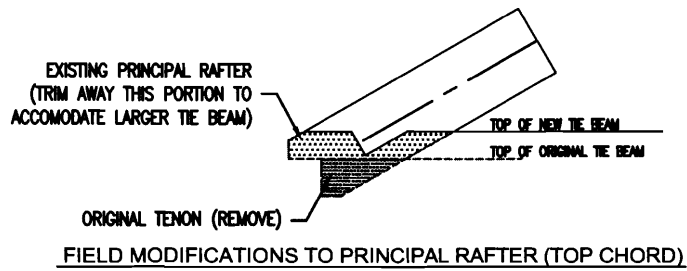


4 E
A4 S

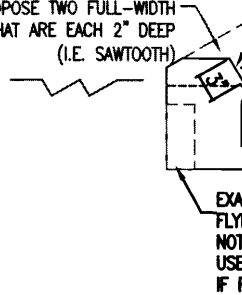


BENT 4 ROOF TRUSS

SCALE: N.T.S.

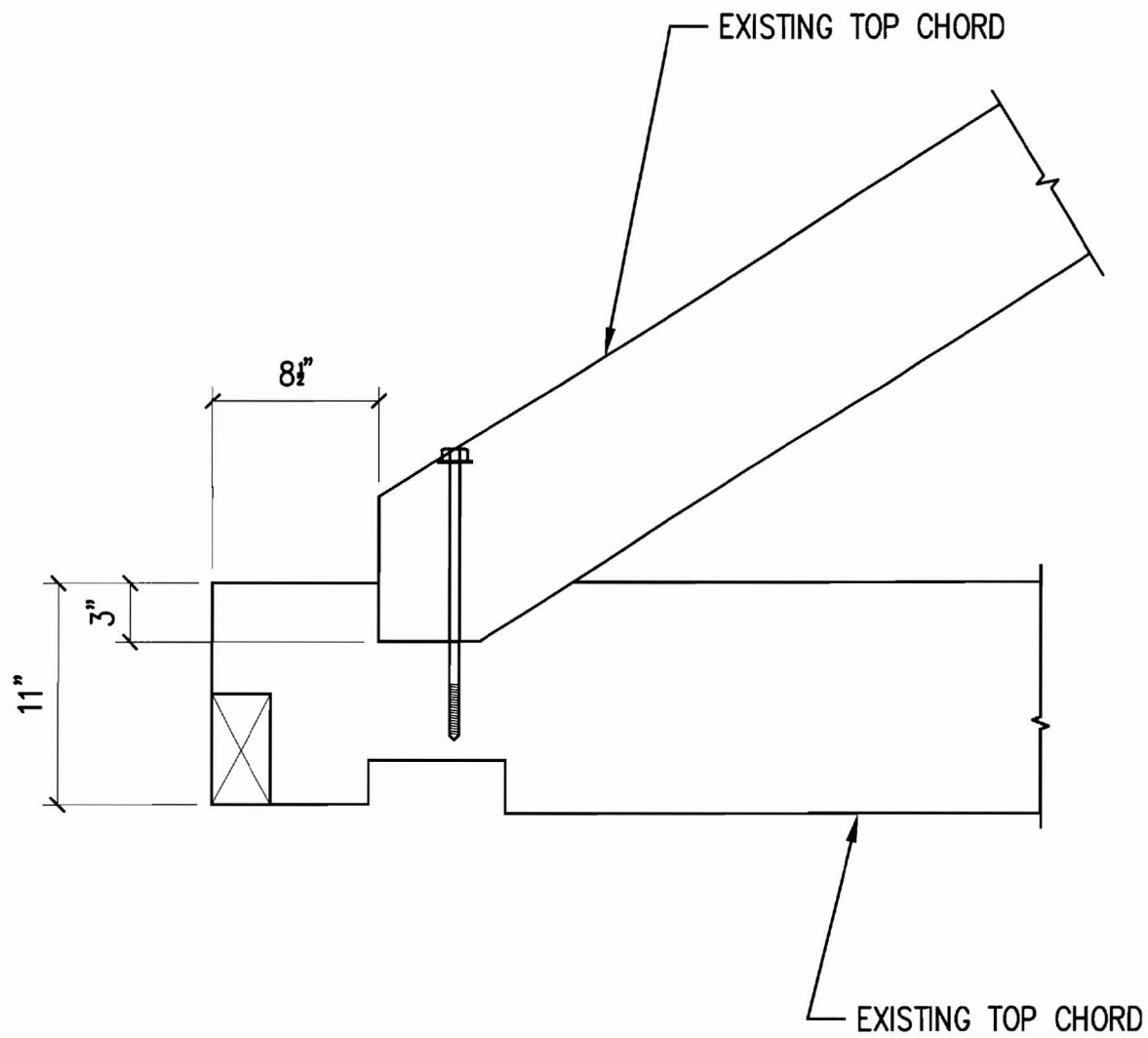


SCOTT -- NEED ABOUT 3 3/4" HERE TO MAKE CALCULATION WORK ACCORDING TO MY NUMBERS. I MAY PROPOSE TWO FULL-WIDTH SHOULDERS THAT ARE EACH 2" DEEP (I.E. SAWTOOTH)



NEW TIE B

FOR REVIEW -- NOT FOR



PROJECT:

ABYSSINIAN

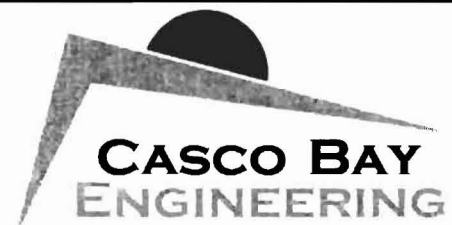
NEWBURY STREET

PORTLAND, MAINE

SHEET TITLE:

SECTION

SCALE: 1"=1'-0"



424 Fore Street, Portland, ME 04101
 Tel. 207.842.2800 Fax 207.842.2828
www.cascobayengineering.com

DESIGNED: SM

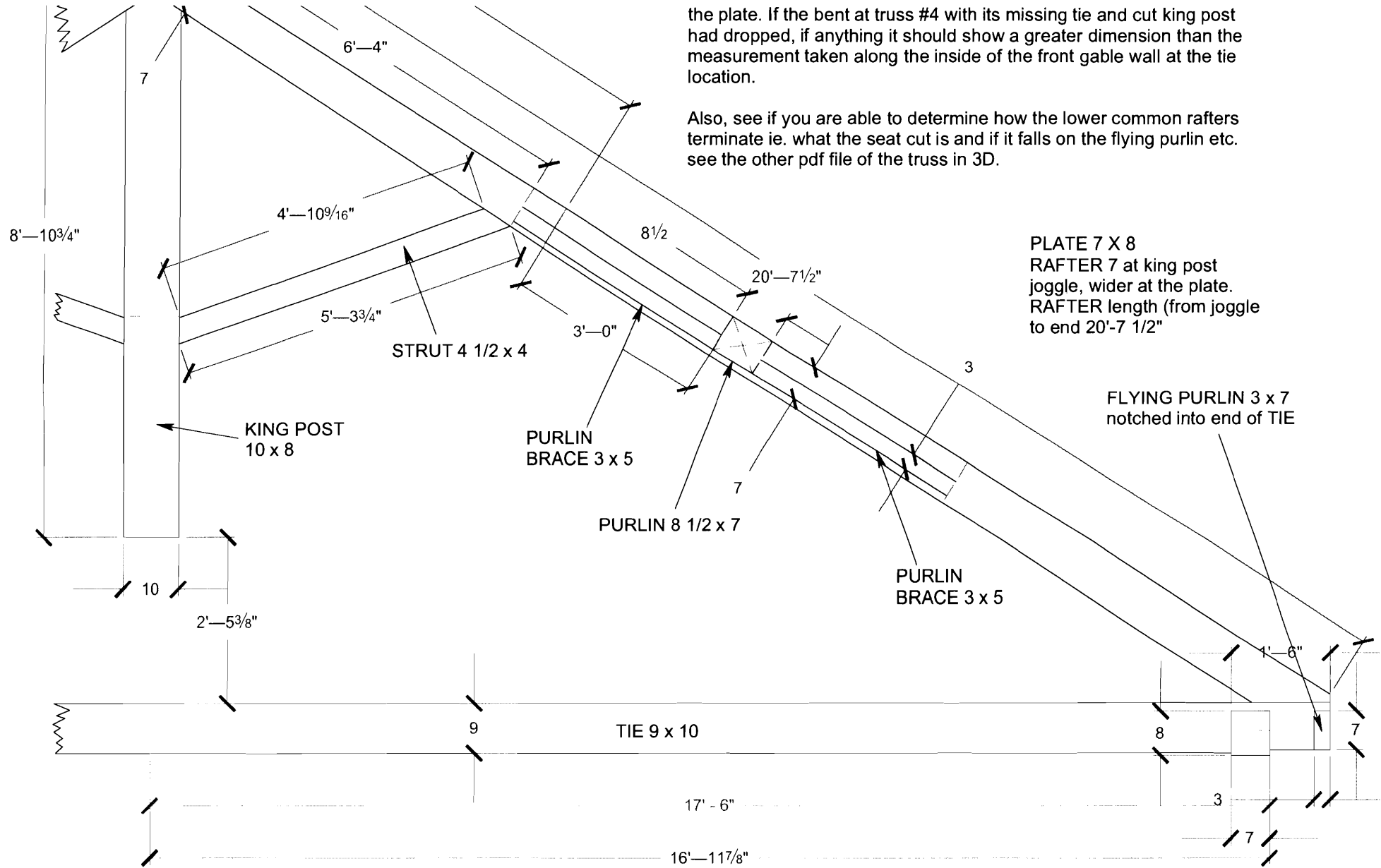
DRAWN: SM

DATE: 4-28-08

REVISION/DATE:

PROJECT NUMBER: 5009

SK4



the plate. If the bent at truss #4 with its missing tie and cut king post had dropped, if anything it should show a greater dimension than the measurement taken along the inside of the front gable wall at the tie location.

Also, see if you are able to determine how the lower common rafters terminate ie. what the seat cut is and if it falls on the flying purlin etc. see the other pdf file of the truss in 3D.

PLATE 7 X 8
 RAFTER 7 at king post
 joggle, wider at the plate.
 RAFTER length (from joggle
 to end 20'-7 1/2"

FLYING PURLIN 3 x 7
 notched into end of TIE

KING POST
 10 x 8

PURLIN
 BRACE 3 x 5

PURLIN
 BRACE 3 x 5

TIE 9 x 10

F1

ARMSBRIAN VERTIG LOUSE
150 SIBBERRY STREET
PORTLAND, MAINE

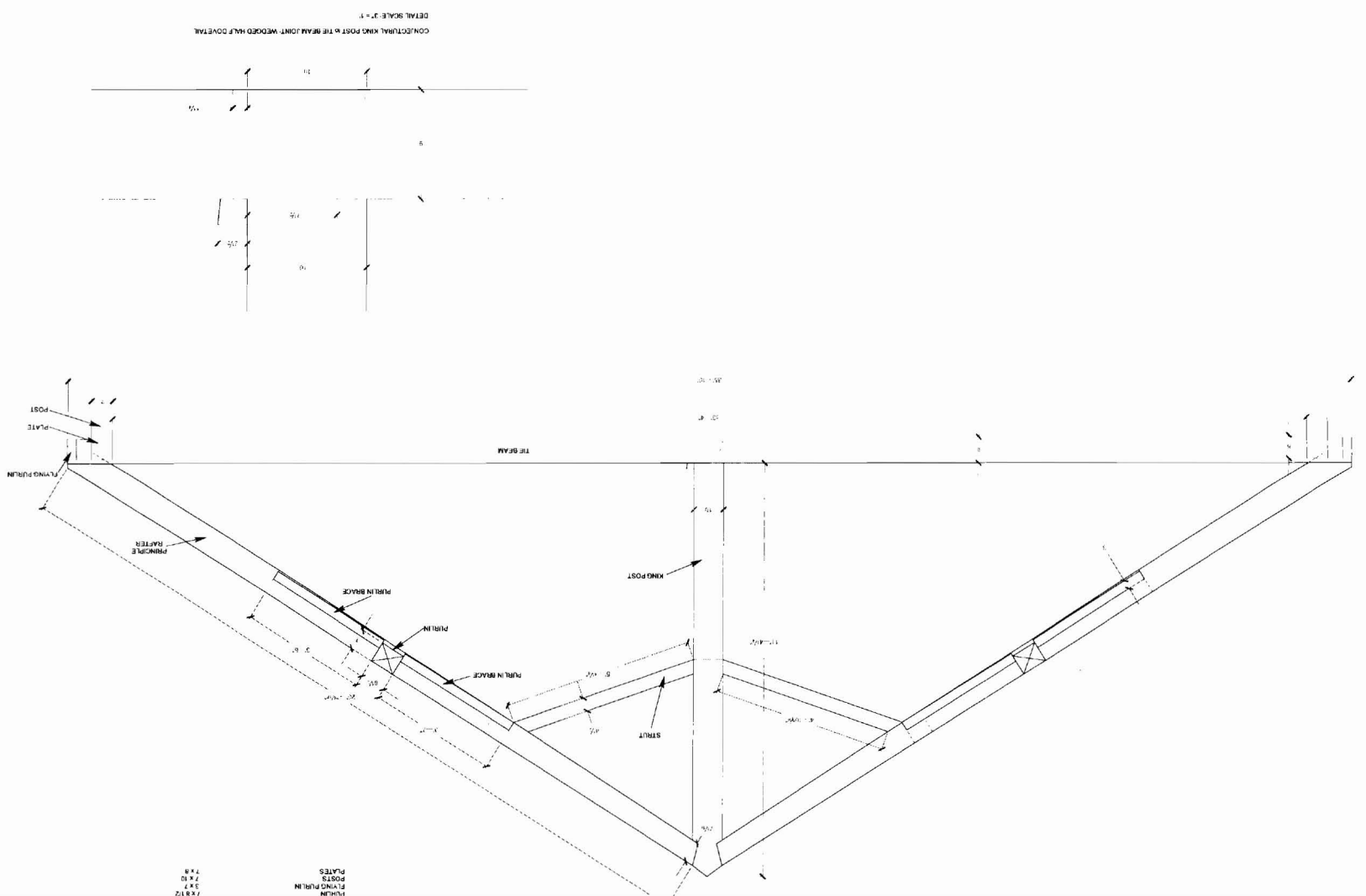
BENT 4 ROOF TRUSS

NAME OF STRUCTURE/OBJECT

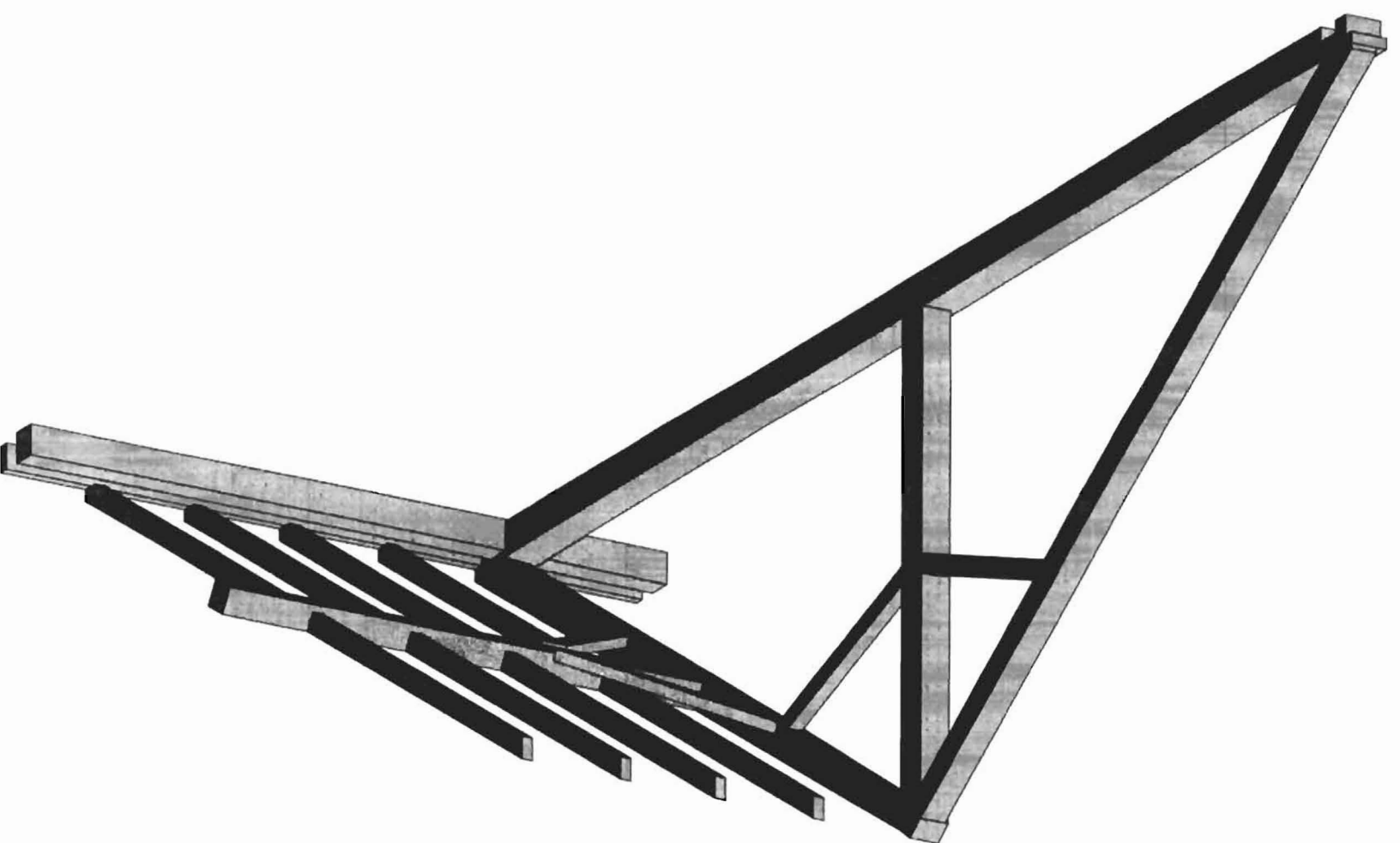
SCALE: 3/4" = 1'

DESIGNED BY: J. SHAW, A. SHAW
DRAWN BY: J. SHAW
DATE: SEPTEMBER 2007

PROJECT: ARMSBRIAN VERTIG LOUSE
NO. 150 SIBBERRY STREET
PORTLAND, MAINE 04106
PK



1/2 X 8
3 X 7
1 X 8
PLATES
POSTS
PURLIN
PURLIN BRACE



F1 3D

ABYSSINIAN MEETING HOUSE
1-3 NERBERA STREET
PORT LINDA, WALES

BENT 4 ROOF TRUSS
NAME OF STRUCTURE OBJECT

SCALE NONE

Modelled by / Issue A / Stage 1
Drawn by / Issue
Date Approved 2007

PROJECT
1001 ABYSSINIAN MEETING HOUSE
1-3 NERBERA STREET
PORT LINDA, WALES
PK