

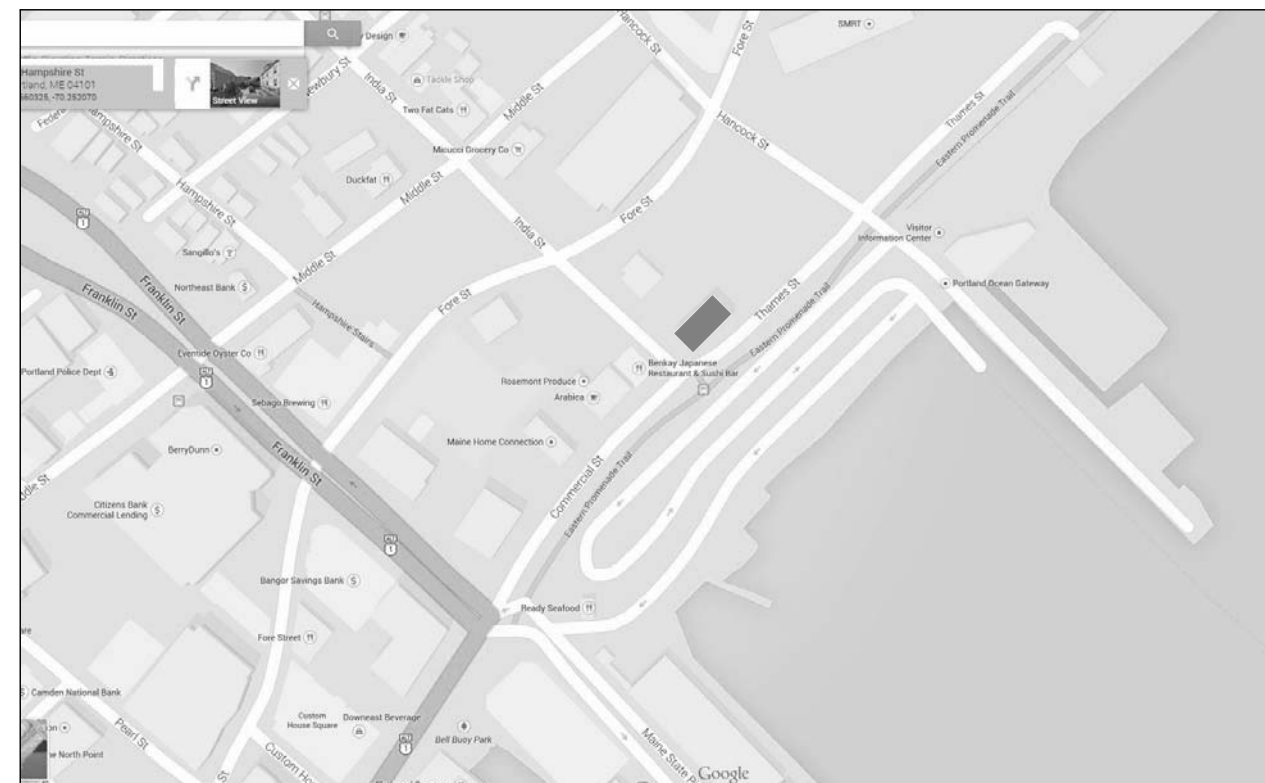
# GRAND TRUNK BUILDING

1 INDIA STREET  
PORTLAND, MAINE



## DATE OF ISSUE

SUBMISSION - DATE



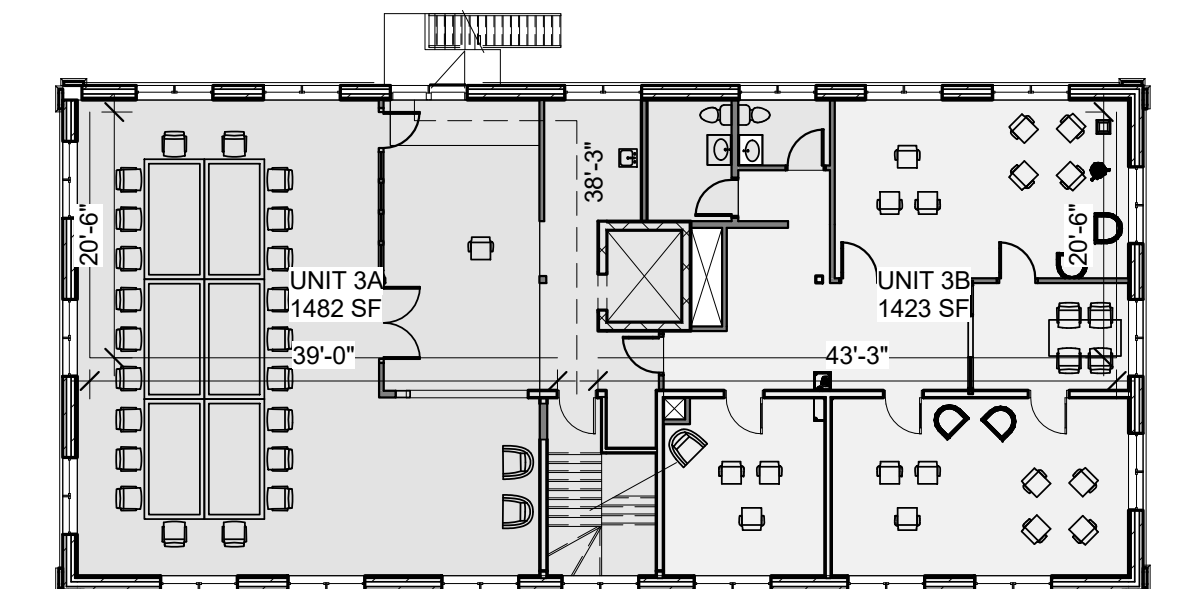
LOCATION MAP NOT TO SCALE

## DRAWING LIST

A8.02	FINISH SCHEDULE		
A8.03	FINISH SCHEDULE		
SITE PLAN			
SP-1.0	SITE PLAN		
BE.12	ROOF PLAN	A1	Unnamed
BE.13	ROOF DETAILS	A2	Unnamed
BE.14	ROOF DETAILS	A3	Unnamed
S1.01	1ST FLOOR FRAMING PLAN	BE.0	PROJECT NOTES, LEGEND AND KEY PLAN
S1.02	2ND AND 3RD FLOOR FRAMING PLAN	BE.00	ELEVATION IMAGES
S1.03	ROOF FRAMING PLAN	BE.01	ELEVATION, NOTES AND KEY PLAN
S2.01	STRUCTURAL SECTIONS AND DETAILS	BE.02	ELEVATION, NOTES AND KEY PLAN
ARCHITECTURAL DRAWINGS			
A1.01	EXISTING FLOOR PLANS WITH DEMO	BE.04	ELEVATION, NOTES AND KEY PLAN
A1.02	PROPOSED FLOOR PLANS	BE.05	ELEVATION, NOTES AND KEY PLAN
A1.03	PROPOSED FLOOR PLANS WITH DEMO	BE.06	WINDOW SCHEDULE AND ELEVATIONS
A3.01	EXISTING BUILDING SECTIONS	BE.07	FIRST FLOOR WINDOW DETAILS
A3.02	PROPOSED SECTIONS	BE.08	SECOND FLOOR WINDOW DETAILS
A6.00	INTERIOR ELEVATIONS	BE.09	SECOND FLOOR WINDOW DETAILS
A7.01	REFLECTED CEILING PLANS	BE.10	ELEVATION, NOTES AND KEY PLAN
A8.01	DOOR SCHEDULE	BE.11	DOOR DETAILS, NOTES, AND MISC. DETAILS

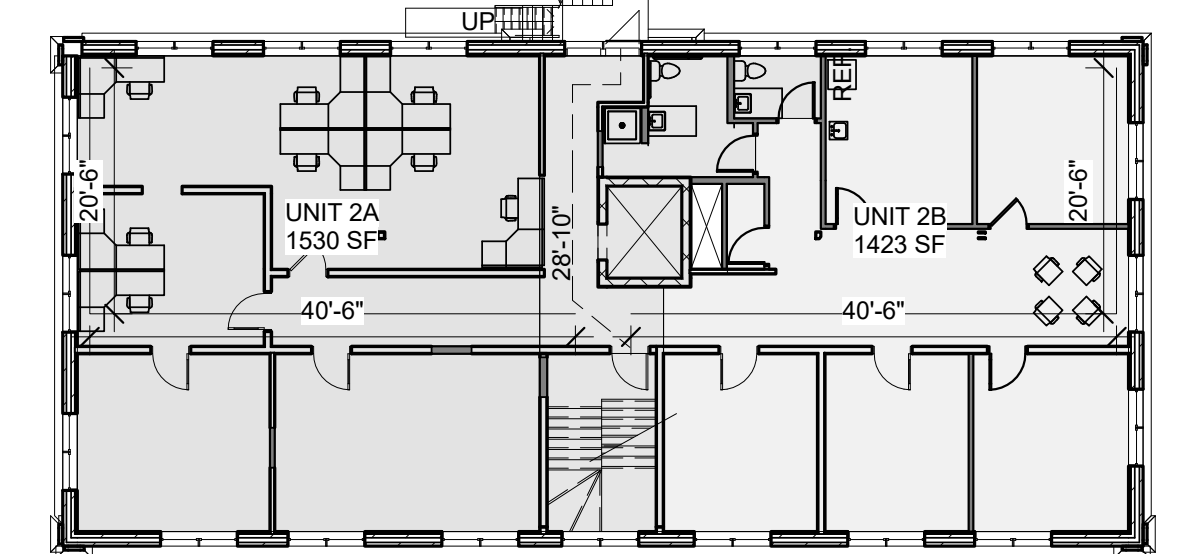
ALLOWABLE COMMON PATH = 100' IBC 1014.3

MIN. EXIT ACCESS SEPARATION - 1/3 OF BUILDING DIAGONAL (95'-2" / 3) = 31'-9"  
1ST FLOOR EXIT ACCESS SEPARATION - 56'-10"  
2ND FLOOR EXIT ACCESS SEPARATION - 28'-10"  
3RD FLOOR EXIT ACCESS SEPARATION - 38'-3"



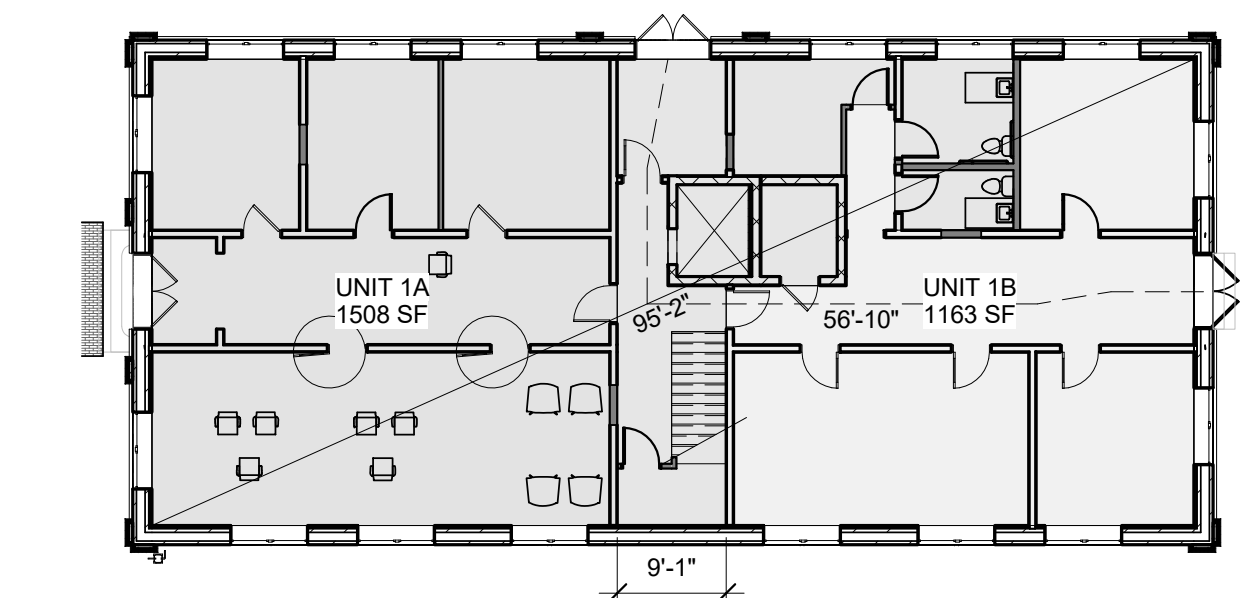
## C | 3RD FLOOR - LIFESAFETY

1/16" = 1'-0"



## B | 2ND FLOOR - LIFESAFETY

1/16" = 1'-0"



## A | 1ST FLOOR - LIFESAFETY

1/16" = 1'-0"

## CONTACTS

**Client:**  
xxxxx  
xxxxx  
xxxxx  
xxxxx  
xxxxx  
xxxxx

**Architect:**  
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**Structural Engineer:**  
xxxxx  
xxxxx  
xxxxx  
xxxxx  
xxxxx  
xxxxx

**Electrical Engineer:**  
xxxxx  
xxxxx  
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**Mechanical Engineer:**  
xxxxx  
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**Civil Engineer:**  
xxxxx  
xxxxx  
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xxxxx  
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xxxxx

## RELEVANT CODES

### INTERNATIONAL EXISTING BUILDING CODE 2009

CONSTRUCTION TYPE 3B  
USE GROUP B  
LEVEL 3 ALTERATION  
THIS IS NOT A CHANGE OF OCCUPANCY  
BUILDING IS LISTED AS HISTORIC  
BUILDING TO BE SPRINKLERED PER NFPA 13 & HAVE FLOW ALARM  
BUILDING IS 3 STORIES  
EXISTING SF = 3791 PER FLOOR  
ALLOWABLE W/ AREA INCREASE=57,000 SF

### MEANS OF EGRESS

OCCUPANT LOAD PER FLOOR = 38  
MIN STAIR = 36"  
EXISTING STAIR WIDTH=51"  
EXISTING STAIR CAPACITY = 51X5=255  
MINIMUM 2 EXIT DISCHARGE DOORS EACH AT 32" CLEAR  
3 EXISTING DISCHARGE DOORS AT 72", 72" AND 42"

### FIRE ESCAPE

EXISTING FIRE ESCAPE MAY REMAIN 305.1.1  
FIRE ESCAPE IS NOT MORE THAN 50% OF EXITS 305.1.4  
CLEARANCE UNDER LOWEST LAND'G=12' 305.2  
REQUIRED LOADING = 100 LBS PER SF 305.3

### HISTORIC BUILDINGS

PROVISIONS OF CODE NOT MANDATORY WHERE SUCH BLDGS ARE JUDGED BY BLDG OFFICIAL TO NOT CONSTITUTE A DISTINCT SAFETY HAZARD 308.1

### ACCESSIBILITY

EXISTING ACCESSIBLE ENTRANCE TO BE MAINTAINED  
EXISTING ELEVATOR TO BE MAINTAINED

### EXISTING STAIR

NO RATING REQUIRED PER 703.2.1 EX 5.2

ENERGY CODE COMPLIANCE NOT REQUIRED EXCEPT WHERE ALTERED 808

### NFPA

FIRE ESCAPE OK IF MEETS 7.2.8 39.2.2.9  
EXISTING FRONT DOORS CAN SWING IN IF OK W/AHJ 43.10.4.4  
AND OTHER EXITS MEET CAPACITY  
EXISTING HANDRAILS OK 43.10.4.9  
HISTORIC FINISHES MAY REMAIN 43.10.6.1  
NO STAIR RATING REQUIRED 43.10.4.7.2

### PLUMBING CALCULATION

3RD FLOOR = 2917 NET SF/100=29/2= 15 (1 TOILET, 1 SINK PER SEX)  
2ND FLOOR = 2965 NET SF/100=30/2= 15 (1 TOILET, 1 SINK PER SEX)  
1ST FLOOR = 2796 NET SF/100=28/2= 14 (1 TOILET, 1 SINK PER SEX)

TOTAL - 2 TOILETS AND 2 SINKS PER FLOOR

## OUTLINE SCOPE OF WORK

### SITE WORK:

CM TO CARRY \$10,000 FOR LANDSCAPING  
NEW BRICK SIDEWALK ALONG INDIA AND COMMERCIAL  
REPAIR EXISTING GRANITE STEPS  
REPLACE CONCRETE STEP AT INDIA ST ENTRY WITH GRANITE  
NEW UNDERGROUND ELECTRICAL SERVICE  
NEW 6 INCH SPRINKLER MAIN AND 1 INCH DOMENSTIC WATER  
CM TO SCOPE EXISTING SANITARY

### MASONRY:

BUILDING 100% REPOINTING  
REPLACE OR REPAIR ALL BROKEN BRICK.  
ALL WORK PER NPS GUIDELINES

### WINDOWS:

REPLACE ALL EXISTING WINDOWS WITH GREEN MOUNTAIN OR EQUAL FINISHES:

ALL NEW INTERIOR GYPSUM WALLS AND CEILINGS.  
EXISTING WOOD FLOORS REFINISHED.  
ALL INTERIOR WALLS, CEILINGS PAINTED.  
REPAIR OR REPLACE ALL EXTERIOR DOOR IN KIND.  
EXISTING WOOD WAINSCOTING, REFINISHED.

### INSULATION:

EXTERIOR WALLS TO RECEIVE 3 INCHES OF CLOSED CELL FOAM.

### ROOFING:

NEW EPDM ROOFING ON RIGID POLYISO R30

### EXISTING ELEVATOR:

EXISTING ELEVATOR TO REMAIN, UPDATE AS NECESSARY, NEW CAB INTERIOR

### EXISTING FIRE ESCAPE:

TEST FOR STRUCTURAL INTEGRITY

### SPRINKLER SYSTEM:

NEW COMPLETE NFPA 13 SPRINKLER SYSTEM

### HVAC, ELECTRICAL, PLUMBING:

ALL NEW COMPLETE SYSTEMS