

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that JACK RABBITT, INC.

Located At 144 FORE ST

Job ID: 2011-12-2996-ALTCOMM

CBL: 019- A-008-001

has permission to Upgrade & Enlarge existing Bathrooms C & D-2

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2996-ALTCOMM	Date Applied: 12/28/2011	CBL: 019- A-008-001	
Location of Construction: 144 FORE ST	Owner Name: JACK RABBITT, INC.	Owner Address: 44 OAK ST PORTLAND, ME 04102	Phone:
Business Name:	Contractor Name: Michael R Pock dba Pock Carpentry	Contractor Address: 86 Grand ST SOUTH PORTLAND, MAINE 04106	Phone: (207) 799-5462
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALTERATIONS	Zone: B-6
Past Use: Offices, Warehousing & Light Manufacturing	Proposed Use: Same: Offices, Warehousing & Light Manufacturing - to add bathrooms in existing warehouse: Space "C" & "D-2"	Cost of Work: \$7,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: Type: 5 IBC 09
		Signature: <i>[Signature]</i> (58)	Signature: <i>[Signature]</i>
Proposed Project Description: Upgrade & Enlarge existing Bathrooms C & D-2		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input checked="" type="checkbox"/> MM Date: 01/14/12	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

1-24-12 DWM ~~Footies~~ OK Not Ready

1-24-12 DWM/BKL Michael 671-9867 close-in OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-12-2996-ALTCOMM

Located At: 144 FORE ST

CBL: 019- A-008-001

Conditions of Approval:

Fire

All construction shall comply with City Code Chapter 10.

The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.

A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model. This review does not include approval of fire alarm system design or installation.

A separate Suppression System Permit is required for all new suppression systems or sprinkler work effecting more than 20 heads. This review does not include approval of sprinkler system design or installation.

A sprinkler or fire alarm system requires a Knox Box to be installed per city ordinance.

A firefighter Building Marking Sign is required.

Fire extinguishers are required per NFPA 10.

Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit and on the same circuit as the lighting for the area they serve.

Any cutting and welding done will require a Hot Work Permit from Fire Department.

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.



General Building Permit Application

B-6

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>144 FORE ST. SUITE "C" & "D2" PORTLAND, ME</u>			
Total Square Footage of Proposed Structure/Area <u>4,000 ("C"), 6000 ("D2")</u>		Square Footage of Lot <u>193,073</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>19</u> Block# <u>A</u> Lot# <u>B</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Michael R. Pock</u> Address <u>86 Grand St.</u> <u>04106</u> City, State & Zip <u>So. Portland, Me</u>		Telephone: _____
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Jack Rabbit Inc</u> Address <u>44 Oak St.</u> City, State & Zip <u>Portland, Me</u> <u>04102</u>	Cost Of Work: \$ <u>7000</u> C of O Fee: \$ _____ Total Fee: \$ <u>90</u>	
Current legal use (i.e. single family) <u>Warehouse</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>Warehouse</u> Proposed Specific use: <u>Warehouse</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Upgrade and enlarge existing bathrooms in space "C" & "D-2"</u>			
Contractor's name: <u>MICHAEL R. POCK d/b/a POCK CARPENTRY</u> Address: <u>86 Grand Street</u> City, State & Zip <u>So. Portland, Me 04106</u> Telephone: <u>799-5462</u> Who should we contact when the permit is ready: <u>MICHAEL R POCK</u> Telephone: <u>799-5462</u> Mailing address: <u>86 Grand St. South Portland, Me 04106</u>			

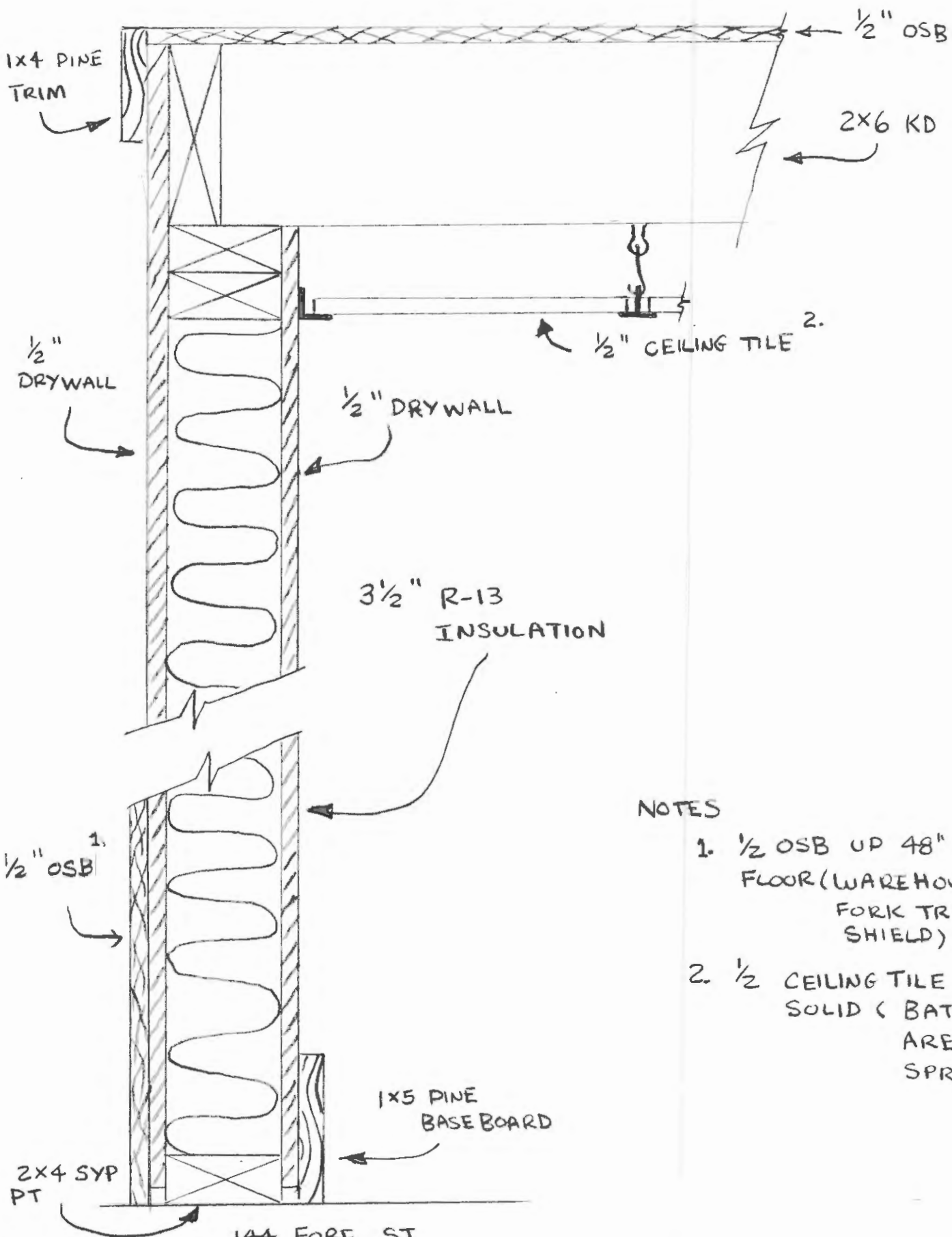
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael R Pock Date: 12/27/2011

This is not a permit; you may not commence ANY work until the permit is issue



NOTES

1. $\frac{1}{2}$ OSB UP 48" FROM FLOOR (WAREHOUSE FORK TRUCK SHIELD)
2. $\frac{1}{2}$ CEILING TILE SOLID (BATHROOMS ARE SPRINKLED)

144 FORE ST.
FRAMING DETAIL
SCALE 3" = 1'-0"

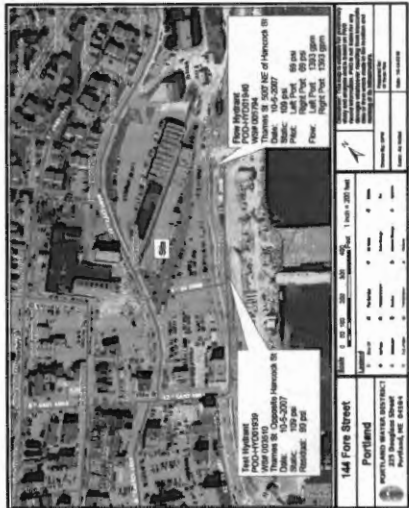
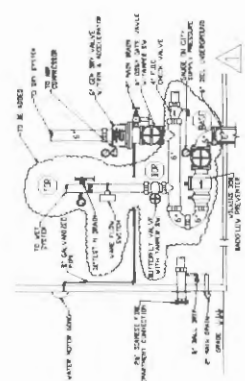


FIGURE 1: PROJECT SITE

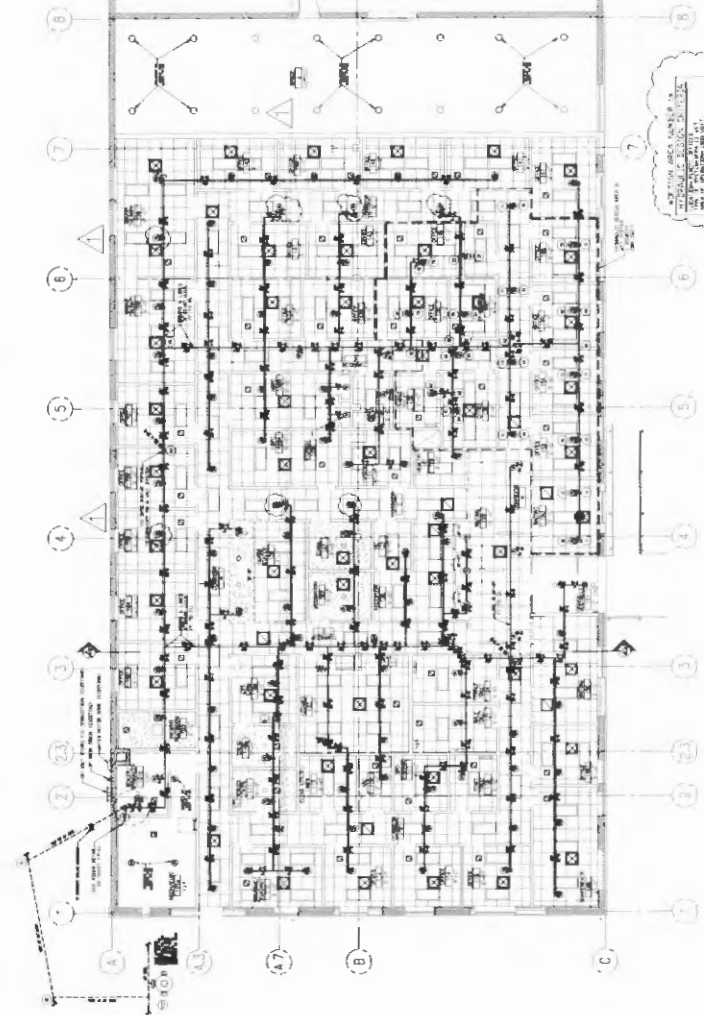


FIGURE 2: FLOOR PLAN



FIGURE 3: FLOOR PLAN

PROJECT DESCRIPTION AND SPECIFICATIONS

PROJECT DESCRIPTION

The project is a new commercial building located at 144 Four Street, Portland, ME. The building is a three-story structure with a total area of 10,000 square feet. The project includes the installation of a fire alarm system and a sprinkler system.

SPECIFICATIONS

The fire alarm system shall consist of a central control unit, manual pull stations, and smoke detectors. The sprinkler system shall consist of a central control unit, manual pull stations, and smoke detectors.

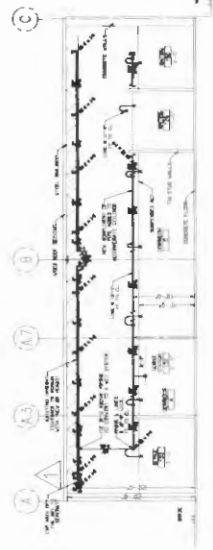


FIGURE 4: FLOOR PLAN



FIGURE 5: FLOOR PLAN

HIGH TECH FIRE PROTECTION

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FIGURE 6: FLOOR PLAN



FIGURE 7: FLOOR PLAN

HIGH TECH FIRE PROTECTION

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SPECIFICATIONS

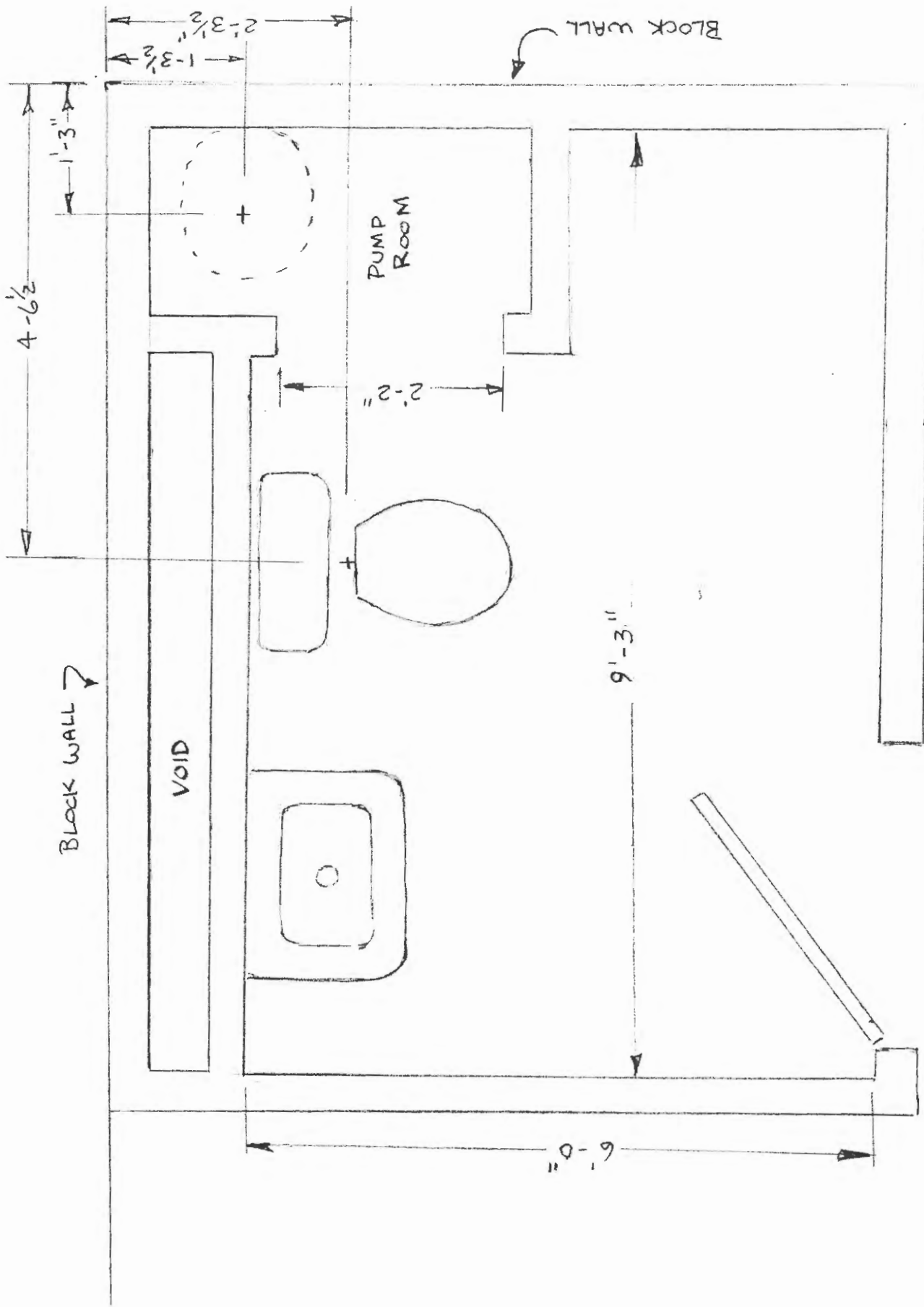
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FIGURE 8: FLOOR PLAN



FIGURE 9: FLOOR PLAN



WAREHOUSE CORNER BATHROOM
 SCALE 3/4" = 1'-0"