

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

PERMIT ISSUED

BUILDING PERMIT

Permit Number: 101119 OCT 13 2010

ad
And
ly,

I certify that JACKRABBIT LIMITED LIABILITY COMPANY, Edgewood City of Portland

on to "Dept of Veterans Affairs" Interior build on minor re works 10,000 sq ft office space

REST CB 2019 A008001

I that the person or persons, firm or corporation accepting this permit shall comply with all provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating construction, maintenance and use of buildings and structures, and of the application on file in department.

Public Works for street line
if nature of work requires
information.

Notification of inspection must be
given and written permission procured
before this building or part thereof is
lath or other work is done-in. 24
HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be
procured by owner before this build-
ing or part thereof is occupied.

NEEDER REQUIRED APPROVALS

APT. 2. *[Signature]*

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1119	Issue Date:	CBL: 019 A008001
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Location of Construction: 144 FORE ST	Owner Name: JACKRABBIT LIMITED LIABILI	Owner Address: 44 OAK ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: 2077671866
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-4
Past Use: Commercial - Vacant Space	Proposed Use: Commercial - Office - "Dept of Veterans Affairs" Interior build out & minor site works for 10,000 sq ft office space	Permit Fee: \$14,165.00	Cost of Work: \$1406,508.00
Proposed Project Description: "Dept of Veterans Affairs" Interior build out & minor site works for 10,000 sq ft office space		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions Signature: (KG)	INSPECTION: Use Group: B Type: SB IPC-2003 Signature: Amb 10/13/10
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.E.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	

Permit Taken By: ldobson	Date Applied For: 09/07/2010	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 10-79900012 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 9/9/10	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
		PERMIT ISSUED OCT 13 2010 City of Portland		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**

NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-1119	09/07/2010	019 A008001

Location of Construction: 144 FORE ST	Owner Name: JACKRABBIT LIMITED LIABILITY	Owner Address: 44 OAK ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone: (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Commercial - Office - "Dept of Veterans Affairs" Interior build out & minor site works for 10,000 sq ft office space	Proposed Project Description: "Dept of Veterans Affairs" Interior build out & minor site works for 10,000 sq ft office space
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 09/09/2010
Note: Ok to Issue: ☒

- 1) Required HVAC permits shall contain information concerning noise generation. All noise generated shall meet the maximum noise requirements of the B-6 zone in which this property is located.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for any new signage.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 10/13/2010
Note: Ok to Issue: ☒

- 1) A Separate permit is required for the canvas awning details.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) An inspection of the installation of the steel columns and structural bracing for the canopy and reinforcement in CMU walls shall be conducted by a licensed engineer and a letter with his/her certification shall be submitted to this office stating compliance with the approved plans by the final inspection or CO.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire Status: Approved with Conditions Reviewer: Capt Keith Gautreau Approval Date: 09/21/2010
Note: Ok to Issue: ☒

- 1) All construction shall comply with City Code Chapter 10.
- 2) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 3) A separate Fire Alarm Permit is required for new systems; or for work effecting more than 5 fire alarm devices; or replacement of a fire alarm panel with a different model.
- 4) Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 5) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 6) Fire extinguishers required. Installation per NFPA 10

Location of Construction: 144 FORE ST	Owner Name: JACKRABBIT LIMITED LIABILI	Owner Address: 44 OAK ST	Phone:
Business Name:	Contractor Name: Ledgewood Construction	Contractor Address: 27 Maine St. So. Portland	Phone (207) 767-1866
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

7) All smoke detectors and smoke alarms shall be photoelectric. Carbon Monoxide detectors are required in the dwelling units by State law.

Comments:

10/13/2010-jmb: Spoke with David L. At SMRT regarding special inspections for the structural work on the canopy and wall reinforcement. The report will be submitted prior to the CO.

Jeanie Bourke - 144 Fore Street, VA Medical Offices - Building Permit

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 10/4/2010 12:47 PM
Subject: 144 Fore Street, VA Medical Offices - Building Permit
CC: Fraser, Jean

Hi all, this project, the VA Medical Offices at 144 Fore Street, meets minimum DRC site plan requirements for the issuance of the building permit. Please see HTE for sign off.

Thanks.

Phil



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

9.7. 20 10

Received from

Kelly Good.

Location of Work

144Tone St

Cost of Construction

\$

Building Fee:

14080

Permit Fee

\$

Site Fee:

Certificate of Occupancy Fee:

75

Total:

14155

Building (01) ☒

Plumbing (15) ☐

Electrical (12) ☐

Site Plan (12) ☐

Other

CEL:

1948

Check #:

Total Collected \$ 14155

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by:

SPJ

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
Portland, Maine 04101

INVOICE FOR PERMIT FEES

Application No:	10-1119	Applicant:	JACKRABBIT LIMITED LIABILITY
Project Name:		Location:	144 FORE ST
CBL:	019 A008001	Development Type:	
Invoice Date:	09/07/2010		

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$14,165.00		\$14,155.00		\$10.00	On Receipt

First Billing

Previous Balance

\$0.00

Fee Description	Qty	Fee/Deposit Charge
Certificate of Occupancy	1	\$75.00
Change of Use First \$1000	1	\$30.00
Change of Use Add'l \$1000	1	\$14,060.00
		<u>\$14,165.00</u>
Total Current Fees:		+ \$14,165.00
Total Current Payments:		- \$14,155.00
Amount Due Now:		<u>\$10.00</u>

Detach and remit with payment

CBL 019 A008001

Application No: 10-1119

Invoice Date: 09/07/2010

Invoice No: 38366

Total Amt Due: \$10.00

Payment Amount:

Bill to: JACKRABBIT LIMITED LIABILITY COMPANY
44 OAK ST
PORTLAND, ME 04101

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>144 Fore Street, Portland ME</u>		
Total Square Footage of Proposed Structure/Area <u>10,000</u>		Square Footage of Lot <u>N/A</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Tuckrabbat LLC</u> Address <u>44 Oak St.</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>772-7647</u>
Lessee/DBA (If Applicable) <u>Dept. of Veterans Affairs</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1406,508</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>14,155</u>
Current legal use (i.e. single family) <u>N/A</u> If vacant, what was the previous use? <u>Printer</u> Proposed Specific use: <u>Office</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Interior build out & minor site work for 10000 SF office space</u>		
Contractor's name: <u>Ledgewood Construction</u> Address: <u>27 Main St.</u> City, State & Zip <u>S. Portland ME 04106</u> Telephone: <u>767-1866</u> Who should we contact when the permit is ready: <u>Chris Marin</u> Telephone: <u>767-1866</u> Mailing address: <u>same as above GC</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 9-7-10

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design

Date:

7 SEPTEMBER 2010

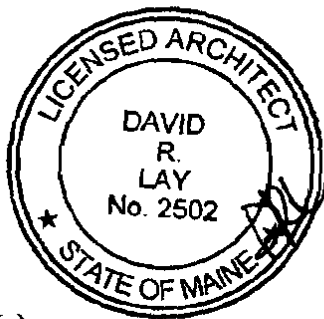
From:

DAVID R. LAY

TO THE BEST OF MY KNOWLEDGE, INFORMATION, & BELIEF
These plans and / or specifications covering construction work on:

VA - PORTLAND (SMRT*10022)
144 FORE ST.

Have been designed ~~and drawn up~~ by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



(SEAL)

Signature:

[Handwritten Signature]

Title:

ARCHITECT

Firm:

SMRT, Inc.

Address:

144 FORE ST / PO Box 618
Portland, ME 04101

Phone:

772-3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Accessibility Building Code Certificate

Designer:

DAVID R. LAY

Address of Project:

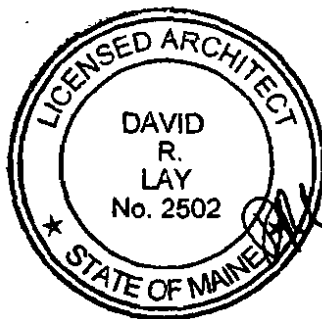
144 Fore Street

Nature of Project:

VA - PORTLAND - PATIENT SERVICES
(Medical Offices)
RENOVATION OF EX. BUILDING

To the best of my knowledge, information & belief,

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature:

David R. Lay

Title:

ARCHITECT

Firm:

SMRT, Inc

Address:

144 Fore Street / PO Box 618
Portland, ME 04101

Phone:

772-3846

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

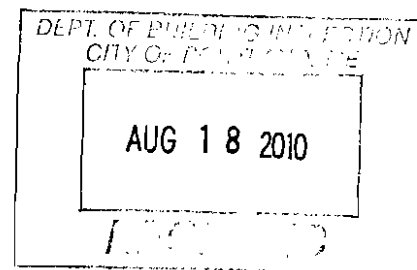


Strengthening a Remarkable City. Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littall, Director

Planning Division
Alexander Jaegerman, Director



August 16, 2010

Diane Rollins
Jackrabbit, LLC
44 Oak Street
Portland, ME 04101

Andrew D. Johnston, PE, LEED AP
SMRT Inc
144 Fore Street
PO Box 618
Portland, ME 04104

**Re: 144 Fore Street : Change of Use to Professional Offices (for VA Medical Office),
Building Renovation and Minor Site Plan
Applicant: Jackrabbit, LLC
Application # (HTE) 10-79900012**

Dear Ms. Rollins and Mr. Johnston,

On August 16, 2010, the Portland Planning Authority approved a minor site plan for 144 Fore Street for building renovation and associated site works for a change of use to Professional Offices for the VA Medical Office, as submitted by the applicant and shown on the approved plan prepared by SMRT, Inc (Site Plan CP101 dated 8.13.2010; Planting Plan Sheet 4 dated 7.27.2010 and Lighting Plan ES101 dated 7.27.2010) with the following conditions:

- i. That the 40 parking spaces that serve the medical offices shall be located near the building entrance, west of the dumpster storage area and adjacent to Fore Street/Hancock Street; and
- ii. That the crosswalk from Hancock Street into the site shown on Site Plan CP101 (dated 8.13.2010) shall be revised, for review and approval by the Planning Authority prior to the issuance of a building permit, to avoid crossing the main drive entrance from Hancock Street. One of the two pedestrian links between the building and adjacent streets (Fore Street and Hancock Street) shall be ADA compliant; and
- iii. That the applicant shall submit documentation, to the satisfaction of the Zoning Administrator prior to the issuance of a building permit, to confirm that the cumulative noise levels of the external HVAC and any other exterior mechanical equipment comply with the noise standards of the B6 Zone, where the maximum permissible sound levels for the HVAC units are sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m. and fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m. as measured at or within the boundaries of any residential zone; and

8/30/10
spoke to
Mark Johnson

- iv. That the details (including dimensions and materials) of any proposed sound baffles, shielding or other enclosures for the HVAC and any other roof equipment, shall be submitted for review and approval by the Planning Authority prior to the issuance of a building permit; and
- v. That the crosswalks within the parking and drive areas shall be a painted "block" style crosswalk; and
- vi. That a photometric plan shall be submitted prior to the issuance of a building permit to document that the proposed wall mounted lighting on the west elevation (as measured without including the ambient light from street lights) meets the City Lighting Standards regarding maximum light levels; and
- vii. Routine testing of the emergency generator must be scheduled between 9:00 a.m. and 5:00 p.m. Monday through Friday; and
- viii. That any new signage would require a separate building permit and this site plan approval does not imply an approval to any signage; and
- ix. That the applicant is advised that there is existing ponding in the parking area and regrading (when resurfacing) to address this problem is advisable.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,


Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Traffic Engineering Reviewer
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

Attachment 9 - Rooftop HVAC Units



General Data

Table 1. General data — cooling 12½-15 tons standard efficiency

	12½ Tons Downflow & Horizontal Units		15 Tons Downflow & Horizontal Units	
	TC*150E3,4,W,K	YC*150E3,4,WL/H,K	TC*180E3,4,W,K	YC*180E3,4,WL/H,K
Cooling Performance^(a)				
Gross Cooling Capacity	153,000	153,000	185,000	185,000
EER (Downflow/Horizontal) ^(b)	11	11	11	11
Nominal CFM / ARI Rated CFM	5000 / 4400	5000 / 4400	6000 / 5300	6000 / 5300
ARI Net Cooling Capacity	148,000	148,000	178,000	178,000
Integrated Energy Efficiency Ratio (IEER) ^(c)	12.2	12.2	12.8	12.8
Percent Capacity @ part load (Stage 1/Stage 2)	47/100	47/100	66/100	66/100
System Power (kW)	13.45	13.45	16.18	16.18
Compressor				
Number/Type	2 / Scrolls	2 / Scrolls	2 / Scrolls	2 / Scrolls
Sound				
Outdoor Sound Rating (BELS) ^(d)	9.2	9.2	9.2	9.2
Outdoor Coil				
Type	Hi-Performance	Hi-Performance	Hi-Performance	Hi-Performance
Tube Size (in.) OD	0.3125	0.3125	0.3125	0.3125
Face Area (sq. ft.)	27.12	27.12	35.30	35.30
Rows/FPI	3 / 16	3 / 16	3 / 16	3 / 16
Indoor Coil				
Type	Hi-Performance	Hi-Performance	Hi-Performance	Hi-Performance
Tube Size (in.) ID	0.3125	0.3125	0.3125	0.3125
Face Area (sq. ft.)	17.50	17.50	26.00	26.00
Rows/FPI	4 / 15	4 / 15	3 / 15	3 / 15
Refrigerant Control	Short Orifice	Short Orifice	Short Orifice	Short Orifice
Drain Connection Number/Size (in.)	1/1.00 NPT	1/1.00 NPT	1/1.00 NPT	1/1.00 NPT
Outdoor Fan				
Type	Propeller	Propeller	Propeller	Propeller
Number Used/Diameter (in.)	2 / 26	2 / 26	2 / 26	2 / 26
Drive Type/No. Speeds	Direct / 1	Direct / 1	Direct / 1	Direct / 1
CFM	10,300	10,300	11,000	11,000
Number Motors/HP	2 / 0.50	2 / 0.50	2 / 0.50	2 / 0.50
Motor RPM	1,100	1,100	1,100	1,100
Indoor Fan				
Type	FC Centrifugal	FC Centrifugal	FC Centrifugal	FC Centrifugal
Number Used/Diameter (in.)	1 / 15x15	1 / 15x15	1 / 18x18	1 / 18x18
Drive Type/No. Speeds	Belt / 1	Belt / 1	Belt / 1	Belt / 1
Number Motors	1	1	1	1
Motor HP (Standard/Oversized) ^(e)	3.0 / 5.0	3.0 / 5.0	3.0 / 5.0	3.0 / 5.0
Motor RPM (Standard/Oversized)	1,740 / 3,450	1,740 / 3,450	1,740 / 3,450	1,740 / 3,450
Motor Frame Size (Standard/Oversized)	145T / 145T	145T / 145T	145T / 145T	145T / 145T

General Data

Table 1. General data — cooling 12½-15 tons standard efficiency (continued)

	12½ Tons Downflow & Horizontal Units		15 Tons Downflow & Horizontal Units	
	TC*150E3,4,W,K	YC*150E3,4,WL/H,K	TC*180E3,4,W,K	YC*180E3,4,WL/H,K
Filters				
Type Furnished ^(f)	Throwaway	Throwaway	Throwaway	Throwaway
Number Size Recommended				
Downflow	(2)20x20x2 (4)20x25x2	(2)20x20x2 (4)20x25x2	(4)20x20x2 (4)20x25x2	(4)20x20x2 (4)20x25x2
Horizontal	(2)20x20x2 (4)20x25x2	(2)20x20x2 (4)20x25x2	(8)20x25x2	(8)20x25x2
Refrigerant Charge (Pounds of R-410A)^(g)				
Downflow	12.3 / 11.9	12.3 / 11.9	18.2 / 10	18.2 / 10
Horizontal	12.1 / 12.4	12.1 / 12.4	18.5 / 11	18.5 / 11

(a) Cooling Performance is rated at 95°F ambient, 80°F entering dry bulb, 67°F entering wet bulb. Gross capacity does not include the effect of fan motor heat. ARI capacity is net and includes the effect of fan motor heat. Units are suitable for operation to ±20% of nominal cfm. Certified in accordance with the Unitary Large Equipment Certification Program, which is based on ARI Standard 340/360-93.

(b) EER is rated at ARI conditions and in accordance with ARI Standard 210/240 or 360.

(c) Integrated Energy Efficiency Ratio (IEER) is rated in accordance with AHRI standard 210/240 or 360.

(d) Outdoor Sound Rating shown is tested in accordance with ARI Standard 270 or 370.

(e) For 380V/60Hz units, the oversized motor (Indoor Fan) is used as the standard motor. Refer to oversized motor data.

(f) An optional 2 inch pleated filter is also available.

(g) Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.

Table 2. General data — heating — 12½-15 tons standard efficiency

	12½ Tons Downflow & Horizontal Units			15 Tons Downflow & Horizontal Units		
	Heating Performance ^(a) (Gas/Electric Only)					
Heating Models	Low	High	Modulating Turn Down = 5:1	Low	High	Modulating Turn Down = 5:1
Heating Input (Btuh)	150,000	250,000	350,000	250,000	350,000	350,000
1st Stage (Btu)	100,000	175,000	70,000	175,000	250,000	70,000
Heating Output (Btuh)	122,000	203,000	283,500	203,000	284,000	283,500
1st Stage (Btu)	81,000	142,000	56,700	142,000	203,000	56,700
AFUE% (DF/HF) ^(b)						
Downflow/Horizontal	81.0/81.0	80.7/79.9	80.1/79.1	80.7/79.9	80.1/79.1	80.1/79.1
Steady State Efficiency%	81.0	81.0	81.0	81.0	81.0	81.0
No. Burners	1	1	1	1	1	1
No. Stages	2	2	N/A	2	2	N/A
Gas Supply Line Pressure (in w.c.)	2.5/14.0	2.5/14.0	2.5/14.0	2.5/14.0	2.5/14.0	2.5/14.0
Natural or LP (minimum/maximum)	Natural or LP	Natural or LP	Natural Only	Natural or LP	Natural or LP	Natural Only
Gas Connection Pipe Size (in.)	1/2	1/2	3/4	1/2	3/4	3/4

(a) Heating Performance limit settings and rating data were established and approved under laboratory test conditions using American National Standards Institute standards. Ratings shown are for elevations up to 2000 feet. For elevations above 2000 feet, ratings should be reduced at the rate of 4% for each 1000 feet above sea level.

(b) AFUE is rated in accordance with DOE test procedures.



General Data

Table 7. General data — 12½, 15 ton high efficiency

	12½ Tons Downflow & Horizontal Units		15 Tons Downflow & Horizontal Units	
	TC*151E3,4,W ^(a)	YC*151E3,4,W ^(a)	TC*181E3,4,W ^(b)	YC*181E3,4,W ^(b)
Cooling Performance^(c)				
Gross Cooling Capacity	149,000	150,000	181,000	181,000
EER ^(d)	12	12	12	12
Nominal CFM / ARI Rated CFM	5000 / 4400	5000 / 4400	6000 / 4800	6000 / 4800
ARI Net Cooling Capacity	148,000	148,000	178,000	178,000
Integrated Energy Efficiency Ratio (IEER) ^(e)	12.6	12.6	13.6	13.6
Percent Capacity @ part load (Stage 1/Stage 2/Stage 3)	^(f) 35/65/100	35/65/100	^(f) 32/68/100	32/68/100
System Power (kW)	12.33	12.33	14.83	14.83
Compressor				
Number/Type	2 / Scrolls	2 / Scrolls	2 / Scrolls	2 / Scrolls
Sound				
Outdoor Sound Rating (BELS) ^(g)	9.2	9.2	9.2	9.2
Outdoor Coil				
Type	Hi-Performance	Hi-Performance	Hi-Performance	Hi-Performance
Tube Size (in.) OD	0.3125	0.3125	0.3125	0.3125
Face Area (sq. ft.)	35.20	35.20	35.20	35.20
Rows/FPI	3 / 16	3 / 16	3 / 16	3 / 16
Indoor Coil				
Type	Hi-Performance	Hi-Performance	Hi-Performance	Hi-Performance
Tube Size (in.) ID	0.3125	0.3125	0.3125	0.3125
Face Area (sq. ft.)	26.00	26.00	26.00	26.00
Rows/FPI	3 / 15	3 / 15	4 / 15	4 / 15
Refrigerant Control	Short Orifice	Short Orifice	Short Orifice	Short Orifice
Drain Connection Number/Size (in.)	1/1.00 NPT	1/1.00 NPT	1/1.00 NPT	1/1.00 NPT
Outdoor Fan				
Type	Propeller	Propeller	Propeller	Propeller
Number Used/Diameter (in.)	2 / 26	2 / 26	2 / 26	2 / 26
Drive Type/No. Speeds	Direct / 1	Direct / 1	Direct / 1	Direct / 1
CFM	11,000	11,000	10,700	10,700
Number Motors/HP	2 / 0.50	2 / 0.50	2 / 0.50	2 / 0.50
Motor RPM	1,100	1,100	1,100	1,100
Indoor Fan				
Type	FC Centrifugal	FC Centrifugal	FC Centrifugal	FC Centrifugal
Number Used/Diameter (in.)	1 / 18x18	1 / 18x18	1 / 18x18	1 / 18x18
Drive Type/No. Speeds	Belt / 1	Belt / 1	Belt / 1	Belt / 1
Number Motors	1	1	1	1
Motor HP (Standard/Oversized) ^(h)	3.0 / 5.0	3.0 / 5.0	3.0 / 5.0	3.0 / 5.0
Motor RPM (Standard/Oversized)	1,740 / 3,450	1,740 / 3,450	1,740 / 3,450	1,740 / 3,450
Motor Frame Size (Standard/Oversized)	145T / 145T	145T / 145T	145T / 145T	145T / 145T

General Data

Table 7. General data — 12½, 15 ton high efficiency (continued)

	12½ Tons Downflow & Horizontal Units		15 Tons Downflow & Horizontal Units	
	TC*151E3,4,W ^(a)	YC*151E3,4,W ^(a)	TC*181E3,4,W ^(b)	YC*181E3,4,W ^(b)
Filters				
Type Furnished ⁽ⁱ⁾	Throwaway	Throwaway	Throwaway	Throwaway
Number Size Recommended				
Downflow	(4)20x20x2 (4)20x25x2	(4)20x20x2 (4)20x25x2	(4)20x20x2 (4)20x25x2	(4)20x20x2 (4)20x25x2
Horizontal	(8)20x25x2	(8)20x25x2	(8)20x25x2	(8)20x25x2
Refrigerant Charge (Pounds of R-410A) ^(j)				
Standard-Downflow	16.9/10.25	16.9/10.25	21.9 / 11.8	21.9 / 11.8
Standard-Horizontal	18 / 11	18/11	21.3 / 11.5	21.3 / 11.5
TXV/Face-Split Option (Downflow Only)	15.5 / 9.5	15.5 / 9.5	20.3 / 10	20.3 / 10
Optional Hot Gas Reheat Coil	14.6 / 13.3	14.6 / 13.3	13.6 / 13	13.6 / 13

- (a)TXV/Face-Split Option (Downflow Only) YCD151E3,4,W (EER):12; (System Power kW): 12.33; (Refrigerant Control): Expansion Valve;
 (b)TXV/Face-Split Option (Downflow Only) YCD181E3,5,W (EER):12; (System Power kW): 14.83; (Refrigerant Control): Expansion Valve;
 (c)Cooling Performance is rated at 95°F ambient, 80°F entering dry bulb, 67°F entering wet bulb. Gross capacity does not include the effect of fan motor heat. ARI capacity is net and includes the effect of fan motor heat. Units are suitable for operation to ±20% of nominal cfm. Certified in accordance with the Unitary Large Equipment Certification Program, which is based on ARI Standard 340/360-93.
 (d)EER is rated at ARI conditions and in accordance with ARI Standard 210/240 or 360.
 (e)Integrated Energy Efficiency Ratio (IEER) is rated in accordance with AHRI standard 210/240 or 360.
 (f) *3 stages not available with Face-Split coil or Reheat models.
 (g)Outdoor Sound Rating shown is tested in accordance with ARI Standard 270 or 370.
 (h)For 380V/60Hz units, the oversized motor (Indoor Fan) is used as the standard motor. Refer to oversized motor data.
 (i) An optional 2 inch pleated filter is also available.
 (j) Refrigerant charge is an approximate value. For a more precise value, see unit nameplate and service instructions.

Table 8. General data — heating — 12½, 15 ton high efficiency

	12½ Tons Downflow & Horizontal Units			15 Tons Downflow & Horizontal Units		
	Heating Performance ^(a) (Gas/Electric Only)					
			Modulating Turn Down = 5:1			Modulating Turn Down = 5:1
Heating Models	Low	High		Low	High	
Heating Input (Btuh)	150,000	250,000	350,000	250,000	350,000	350,000
1st Stage (Btu)	100,000	175,000	70,000	175,000	250,000	70,000
Heating Output (Btuh)	122,000	203,000	283,500	203,000	284,000	283,500
1st Stage (Btu)	81,000	142,000	56,700	142,000	203,000	56,700
AFUE% (DF/HF) ^(b)						
Downflow/Horizontal	81.0 / 81.0	80.7 / 79.9	80.1/79.1	81.7 / 79.9	80.1 / 79.1	80.1/79.1
Steady State Efficiency%	81	81	81.0	81	81	81.0
No. Burners	1	1	1	1	1	1
No. Stages	2	2	N/A	2	2	N/A
Gas Supply Line Pressure (in w.c.)	2.5 / 14.0	2.5 / 14.0	2.5/14.0	2.5 / 14.0	2.5 / 14.0	2.5/14.0
Natural or LP (minimum/maximum)			Natural Only			Natural Only
Gas Connection Pipe Size (in.)	1/2	1/2	3/4	1/2	3/4	3/4

- (a)Heating Performance limit settings and rating data were established and approved under laboratory test conditions using American National Standards Institute standards. Ratings shown are for elevations up to 2000 feet. For elevations above 2000 feet, ratings should be reduced at the rate of 4% for each 1000 feet above sea level.
 (b)AFUE is rated in accordance with DOE test procedures.



Dimensional Data

Figure 7. Cooling with optional electric heat and gas/electric models - 12½ tons standard efficiency

• All dimensions are in Inches/millimeters.

• 1/2 NPT Gas Connection = (Y_C Models only); 2" Electrical Connection: Single Point Power When Heat Installed (T_C Models only.)

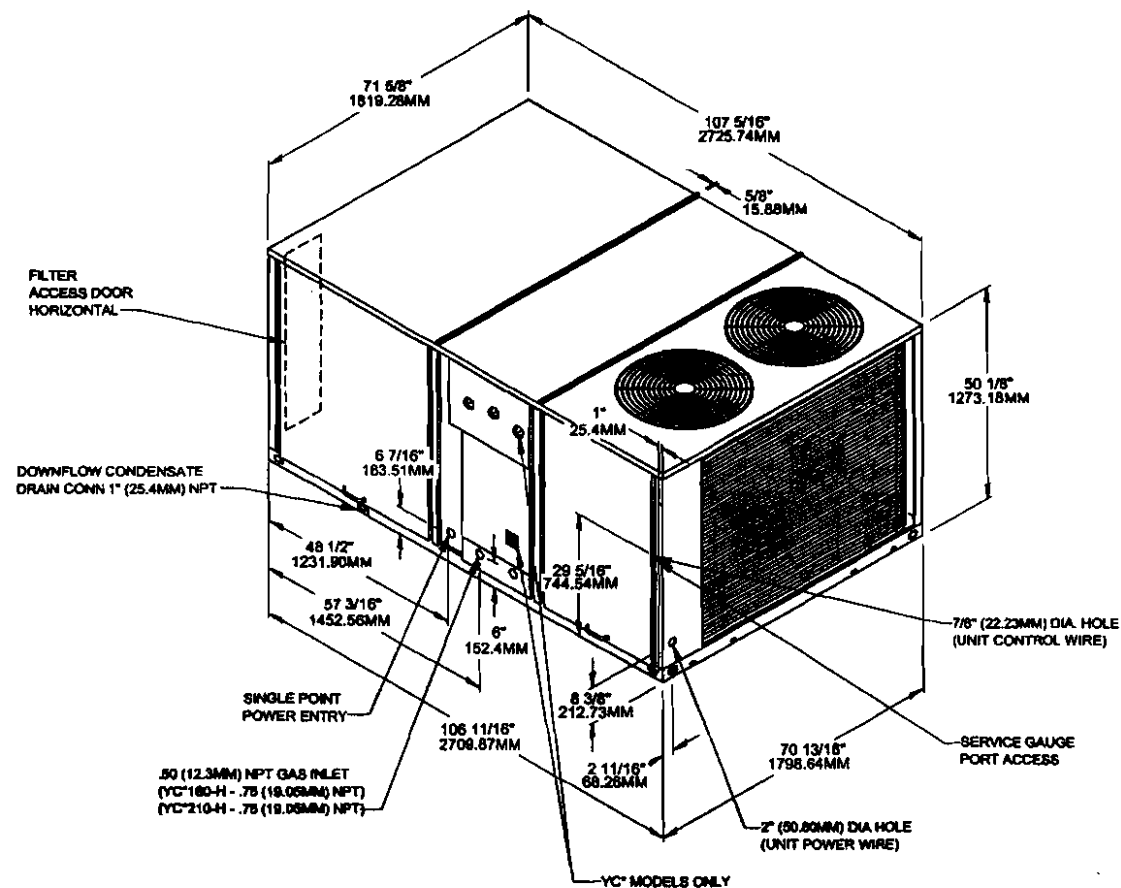


Figure 8. Cooling with optional electric heat and gas/electric models - 12½ tons standard efficiency horizontal unit clearance

* All dimensions are in inches/millimeters.

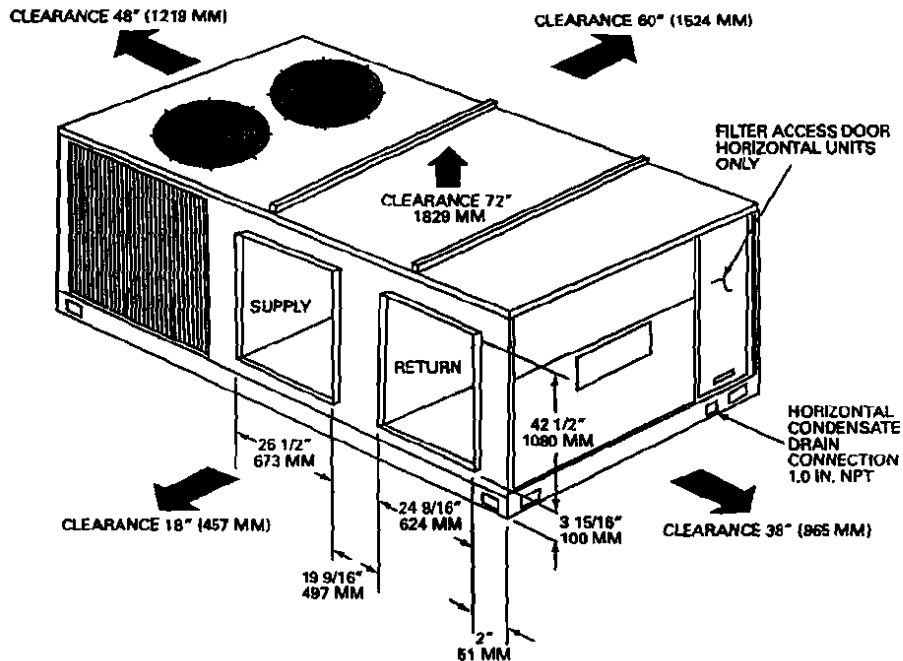
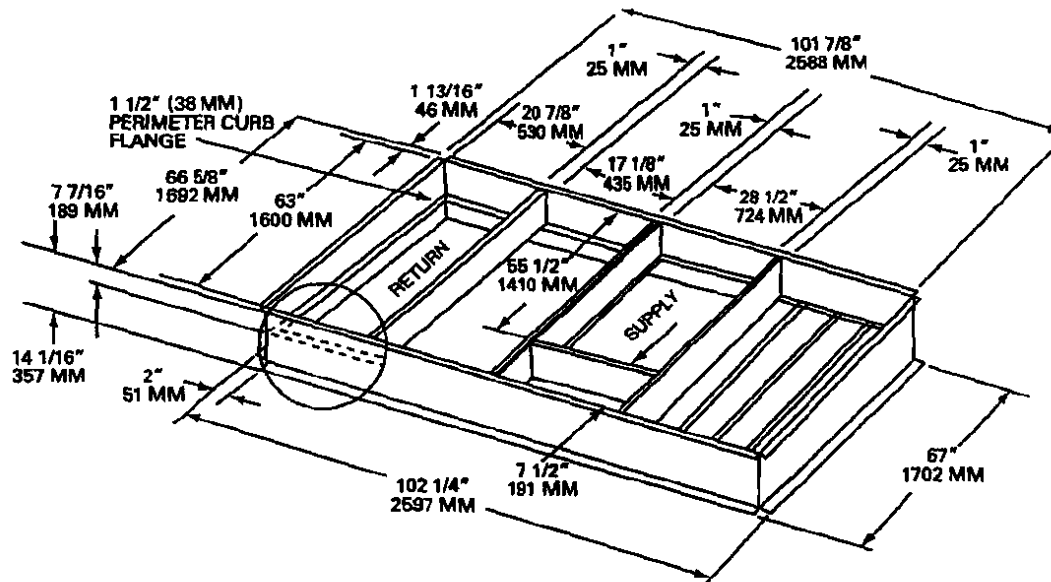


Figure 9. Cooling with optional electric heat and gas/electric models 12½ tons standard efficiency - roof curb

* All dimensions are in inches/millimeters.



Applicant: SMRT/JACK RABBIT Date: 6/12/10
Address: 144 Fox & Mike Mann C-B-L: 19-A-8

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location -

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area - 70,567[#] given

Lot Coverage/ Impervious Surface -

Area per Family - N/A

OK Off-street Parking - Governed by A-5262(2)b. 106 given as exty - 5 bikes per

Loading Bays -

Site Plan - 10-79900012 - ~~minor~~ minor - under 10,000[#]

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 14 - Zone C

SIGNAGE - Separate permits

HVAC units Section #9 shown in BELS - No dBA

yes was the copy #10-1119 - confirm with S.F. #10-1119
western end (retail printing) professional office space
Bldg renovation with a change of use
9990[#]

[REDACTED]



PORTLAND MAINE

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*Penny St. Louis Littell- Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

April 15, 2010

Dennis V. Jud, ASLA LEED AP
SMRT
144 Fore Street
PO Box 618
Portland, ME 04101

COPY

RECEIVED
APR 16 2010
SMRT, INC.

RE: 144 Fore Street - 019-A-008 (the "Property") - B-6

Dear Mr. Jud,

I am in receipt of your request for a determination letter concerning the Property. The Property is located entirely within the B-6 Eastern Waterfront Mixed Zone which specifically lists under section 14-269(a)1 the use of "Professional, business and general offices". Professional offices are further defined in the Land Use Zoning Ordinance as "The office of a doctor, dentist, optometrist, psychologist, accountant, lawyer, architect, engineer or similar professional."

Your cover letter to me explains the proposed intended use of the Property for offices of doctors, psychiatrists and psychologists who are visited by appointment, not walk-ins and without beds. Based upon your supplied information and the text of the Land Use Zoning Ordinance, I have determined that the described offices are permitted by right under the B-6 Zone.

This determination should not be considered a substitute for a change of use application. There is still the necessity to apply for a change of use permit from Inspection Services to allow the intended new use. All of the other requirements of the B-6 zone requirements must be met, such as parking. All of the other Fire and Building Code requirements must also be met prior to occupancy. If you have any questions regarding this matter, please do not hesitate to contact me at 874-8695.

You have the right to appeal my decision. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Very truly yours,

Marge Schmuckal
Marge Schmuckal, Zoning Administrator

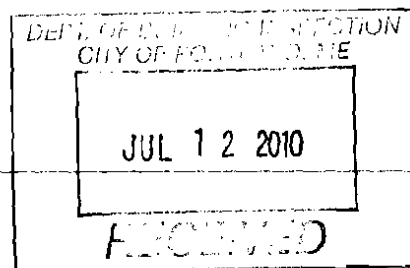
Room 315 - 389 Congress Street - Portland, Maine 04101 (207) 874-8695 - FAX: (207) 874-8716 - TTY: (207) 874-3936

*MGS, PSS, DRL, RW, File 10022/22
Mike Marino*



Marge Schmuckal - Fwd: 144 Fore St Parking analysis

From: Jean Fraser
To: Schmuckal, Marge
Date: 7/12/2010 12:35 PM
Subject: Fwd: 144 Fore St Parking analysis
Attachments: Parking Numbers to City 07-09-10.pdf



As mentioned.....

>>> "Andrew Johnston" <ajohnston@smrtinc.com> 7/9/2010 10:46 AM >>>

Dear Jean,

Further to our conversation earlier this week, I have drafted some responses to the initial comments that you forwarded by email to me. I have also included a sketch showing the parking numbers that were used in our analysis. I hope that these initial responses assist in clarifying some of the items, and we look forward to receiving further staff comments early next week. Please do not hesitate to contact me if you have any other questions in the mean time.

Floor Area

The scale stated at the foot of the Floor Plan Drawing is incorrect. This should read $1/8" = 1'$. The floor areas stated for the individual rooms are correct. The total floor area is as stated in the application. Copies of the revised drawing will be sent to the City next week.

Parking Requirements

The code requirement for parking at the building has been calculated using the City of Portland Land Use Ordinance (Section 14-332). Division 15.1, Section 14-273 (f) of the City Land Use ordinance states that, for uses in the B-6 zone off-street parking and loading requirements shall be determined by the Site Plan Standards (Section 14-526a (2)b). However, it appears that the referenced sections related to parking requirements cannot be applied to this project. Section 14-526 (a) 2 (a) applies to "new structures having a total floor area in excess of 10,000 square feet, but less than 50,000 square feet, or building additions having a total floor area in excess of 5,000 square feet". Section 14-526 (a) 2 (b) applies to "construction of new structures having a total floor area in excess of 50,000 square feet". This project comprises the renovation of an existing structure with a total project floor area of less than 10,000 square feet, and clearly does not meet either of the criteria stated in the referenced sections of the Land Use Ordinance. Therefore, we consider it appropriate to refer back to the zoning ordinance for the parking requirement calculation. The determination letter issued by the City of Portland for this project and included in Section 2 of the application submission states that the proposed use meets the definition of "Professional, business, and general offices". The parking requirement for Professional Office, as stated in Section 14-332 of the Land Use Ordinance is 1 parking space per 400 square feet. This figure has been used to determine the code parking requirement for the project. Furthermore, there does not appear to be any ordinance requirement for a parking study for this type, or size of project.

A sketch showing the parking numbers used in the analysis for the entire building is attached for your review.

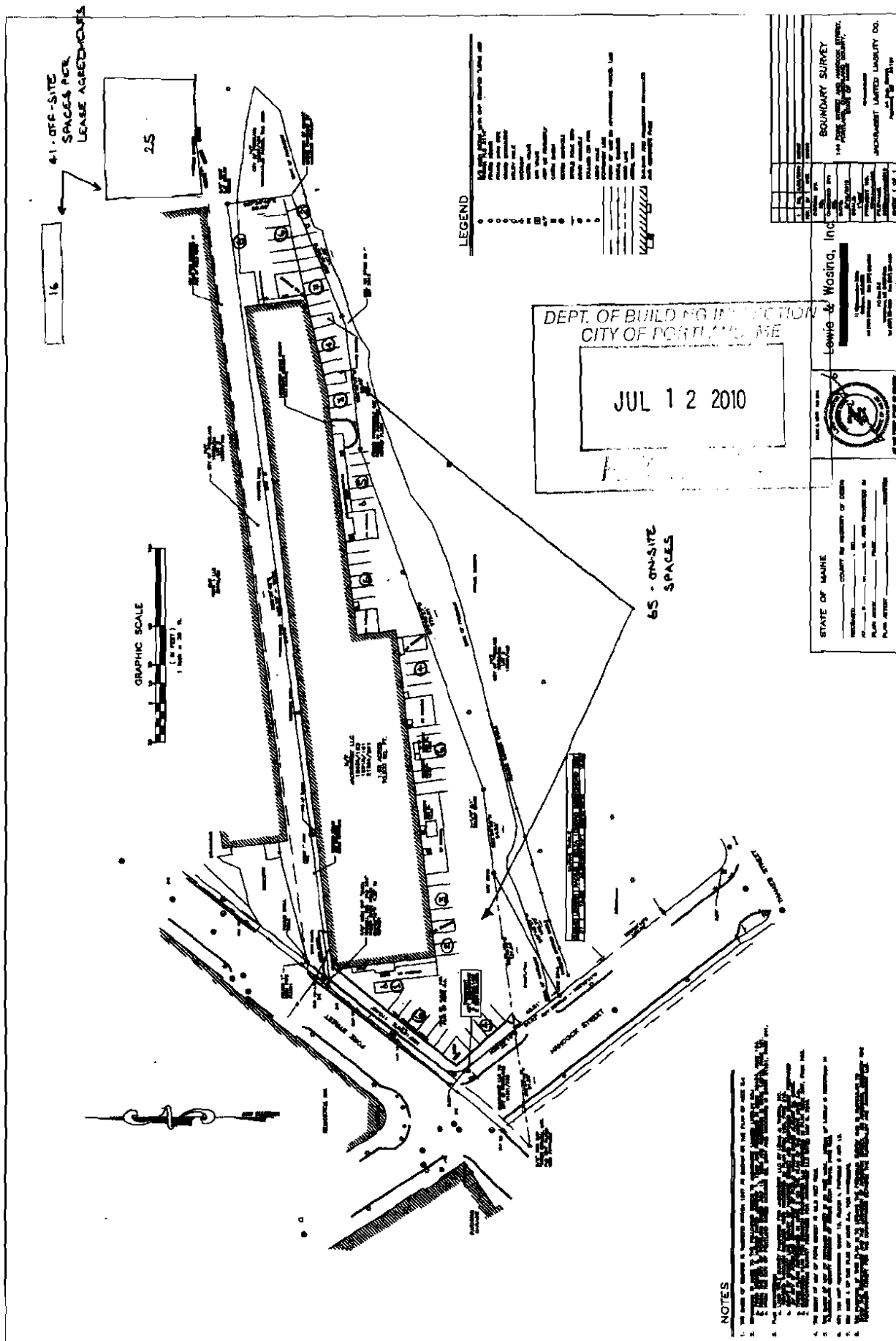
Sound

The sound information submitted for the rooftop HVAC units is stated in BELS. One BEL equals ten decibels (dBA). We are awaiting information on the performance of the sound shielding for these units from the manufacturer and will forward it to the city as soon as it is received.

Andrew D. Johnston, PE,
CEng., CEnv., MCIWEM, LEED AP
Senior Civil Engineer

www.smrtinc.com
 144 Fore Street, PO Box 618 Portland, Maine 04104
 p 207.772.3846 f 207.772.1070







From: Jean Fraser
To: Barhydt, Barbara; Errico, Thomas; Schmuckal, Marge
Date: 7/9/2010 11:37 AM
Subject: Fwd: Re: 144 Fore Street add'l info
Attachments: Parking Numbers to City 07-09-10.pdf

To all:

Here is some of the further information that Marge and Tom requested in written comments; you will see I have asked for a bit more.

You will see that he is querying the basis for raising the question over medical office parking (as in Tom's comments) or even for asking for a parking analysis beyond that related to zoning (I e-mailed Marge and Barbara about this a few days ago because I could see this was a likely sticking point).

I am striving to get a final review letter completed right after our Wed Dev Rev on 7.14.2010 and hope we can make a final determination re all this asap.

thanks
Jean

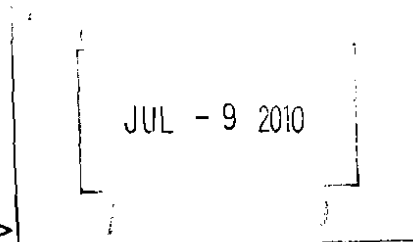
>>> Jean Fraser 7/9/2010 11:10 AM >>>
Andrew,

Thank you and as we discussed I will get back to you re the ordinance interpretation and forward this information to the relevant reviewers.

Re the parking information, what we need is the parking supply off site- based on your parking analysis in Tab 7 the project needs at least 20 spaces off site and you have supplied 2 leases for off -site parking (one with Cacoulidis and one with the City).

Could you please clarify (show on plan) the number and location of the Cacoulidis parking spaces and the number and location of the City spaces as referred to in the submitted leases.

Thank you
Jean
Jean Fraser, Planner
City of Portland
874 8728



>>> "Andrew Johnston" <ajohnston@smrtinc.com> 7/9/2010 10:46 AM >>>

Dear Jean,

Further to our conversation earlier this week, I have drafted some responses to the initial comments that you forwarded by email to me. I have also included a sketch showing the parking numbers that were used in our analysis. I hope that these initial responses assist in clarifying some of the items, and we look forward to receiving further staff comments early next week. Please do not hesitate to contact me if you have any other questions in the mean time.

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Andrew D. Johnston, PE,
CEng., CEnv., MCIWEM, LEED AP
Senior Civil Engineer

www.smrinc.com

144 Fore Street, PO Box 618 Portland, Maine 04104

p 207.772.3846 f 207.772.1070



**ZONING ADMINISTRATOR
MARGE SCHMUCKAL**

June 24, 2010

This proposal is to change the use of the western end of the building from retail Express Copy and warehousing space to professional offices. The property is located in a B-6 Eastern Waterfront Mixed Zone which does allow professional offices as a permitted use.

The application states that the amount of area that is being changed is 9990 square feet in size. However, using the floor plan and given scale, the area of the change of use differs quite a bit from the proposed square footage. The applicant should verify the scale of the project to confirm the appropriate type of review.

Parking in the B-6 Zone is governed by section 14-526a(2)b of the site plan ordinance and not by zoning parking section.

The project requires a separate building permit application from Inspection Services once a site plan review has been reviewed and approved. Separate permits are required for any new signage.

The applicant has submitted information on the new HVAC units. However, the sound information on the units are given in BELS where the City's noise regulations are in dBAs. I would request information to give the noise/sound levels in dBAs for review.



3. *Maximum permissible sound levels:* The maximum permissible sound level of any continuous, regular or frequent source of sound produced by an activity shall be as follows:
- a. Sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m.
 - b. Fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m., as measured at or within the boundaries of any residential zone.

In addition to the sound level standards established above, all uses located within this zone shall employ best practicable sound abatement techniques to prevent tonal sounds and impulse sounds or, if such tonal and impulse sounds cannot be prevented, to minimize the impact of such sounds in residential zones.

4. *Exemptions:*

- a. Noises created by construction and maintenance activities between 7:00 a.m. and 10:00 p.m. are exempt from the maximum permissible sound levels set forth in subsection (a)3 of this section. Construction activities on a site abutting any residential use between the hours of 10:00 p.m. of one (1) day and 7:00 a.m. of the following day shall not exceed fifty (50) dBA.
- b. The following uses and activities shall also be exempt from the requirements of subsection (a)3 of this section:
 - i. The noises of safety signals, warning devices, emergency pressure relief valves, and any other emergency devices.
 - ii. Traffic noise on public roads or noise created by airplanes and railroads.
 - iii. Noise created by refuse and solid waste collection, provided that the activity is conducted between 6:00 a.m. and 7:00 p.m.
 - iv. Emergency construction or repair work by public utilities, at any hour.



shall comply with the following standards:

- (a) *Storage:* Any storage of new materials, finished products, or related equipment must be suitably screened from the public way and from abutting properties by a solid fence at least five (6) feet in height. All waste shall be stored in covered containers that do not leak or otherwise permit liquids or solids to escape from the container. All food processing waste shall be stored within a completely enclosed structure and if not refrigerated shall be removed from the site in an enclosed container within forty-eight (48) hours of its generation. All enclosed and exterior areas shall be cleaned and sanitized on a regular basis. Outdoor storage of refuse or debris shall be in an appropriate container or located within a designated, screened area.

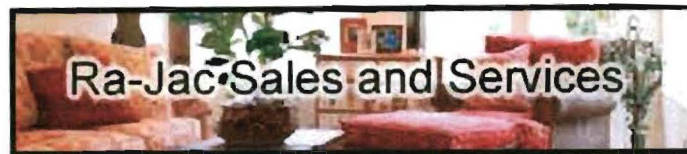
(b) *Noise:*

1. *Definitions:*

- a. Tonal sounds are defined as sound waves usually perceived as a hum or whine because their instantaneous sound pressure varies essentially as a simple sinusoidal function of time.
- b. Impulse sounds are defined as sound events characterized by brief excursions of sound pressure, each with duration of less than one (1) second.

2. *Measurement:* Sound levels shall be measured with a sound level meter with a frequency weighting network manufactured according to standards prescribed by the American National Standards Institute (ANSI) or its successor body. Measurements shall be made at all major lot lines of the site, at a height of at least four (4) feet above the ground surface. In measuring sound levels under this section, sounds with a continuous duration of less than sixty (60) seconds shall be measured by the maximum reading on a sound level meter set to the A weighted scale and the fast meter response (L maxfast). Sounds with a continuous duration of sixty (60) seconds or more shall be measured on the basis of the energy average sound level over a period of sixty (60) seconds (LEQ₁).





- | | | | |
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| 5 Common Problems | Saving Money | HVAC Resource | |

Sound rating number SRN



Sound Rating Numbers or SRN is a method of measuring and comparing sound levels of air conditioners. Sound is not relevant to the efficiency of a unit but it can affect your comfort level. If your unit has a low sound level, you will hardly notice it is operating while high levels may mean many sleepless nights and annoyed neighbors.

Air conditioning and heating equipment is rated by a sound rating number or SRN which is based on American Refrigeration Institute tests and range from from 6.8 which is the quietest to 13 which is the loudest. Most air conditioners operate at from 7 to 9 bels. It doesn't sound like much but a unit operating at 9 bels is actually 10 times louder than a unit operating at 8 bels.

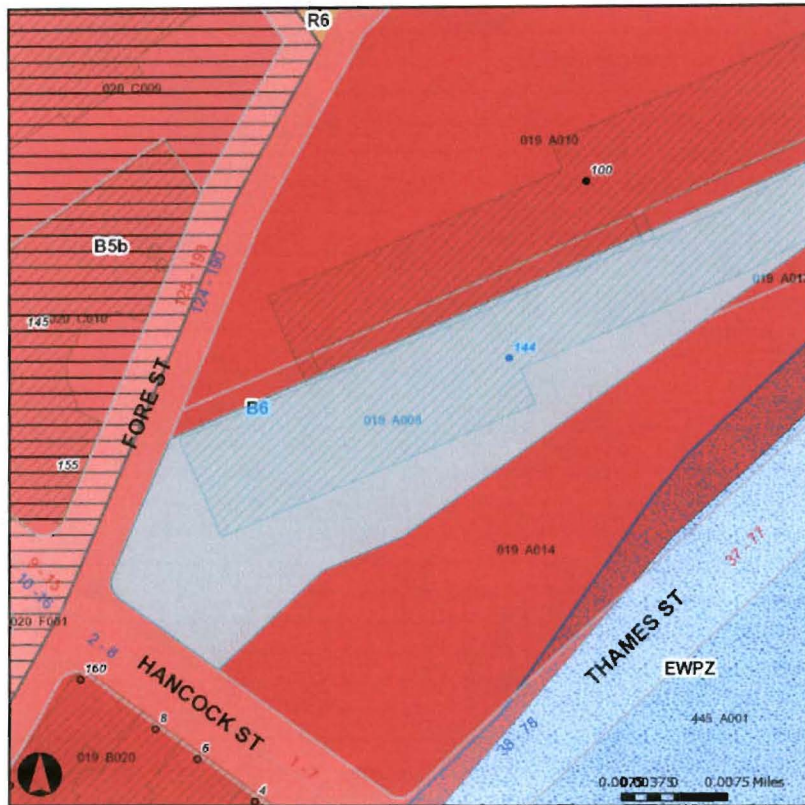
For more on choosing an air conditioning system click here.

-
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| Pre-service checklis | Repair or Replace? | Select a Contractor | Choosing a System |
| 5 Common Problems | Saving Money | HVAC Resource | |

If you are in the Bacliff, Bayou Vista, Clear Lake, Dickinson, Galveston, Hitchcock, Kemah, La Marque, League City, Nasa, San Leon, Santa Fe, Seabrook, Texas City, Tiki Island, or the Webster Texas area and want a professional to install repair or maintain your air conditioning, heating or air cleaning and filtration system contact us at (409) 945-4171. We provide 24-hour emergency service to keep your home and office air conditioner and heater working efficiently and effectively. Your comfort is our top priority.

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Map



Parcels	Island Zoning	Zoning (continued)	Zoning (continued)
Interstate	C43	R6 Residential	C31
Streets	I-B	ROS Recreation Open Space	none
Buildings	I-TS	RP Residential Professional	B2c
Building	I-R1	RPZ Resource Protection	C32
Out Building	I-R2	WCZ* Waterfront	C33
Parcels	I-R3	WPDZ Waterfront	C34
	ROS	WSU7 Waterfront	C35
	RPZ		C36
Traveled Ways	Zoning		B6
Stream	AB Airport Business	C1	C37
Wetland	EWPZ	C2	C38
Swamp	C44	C3	C39
Lake/Pond	C45	C5	C40
under_road	B7	C7	C41
waterbody	B1 Neighborhood Business	C8	C42
Jetport	B1b Neighborhood Business	C9	
Coastal Bluff	B2 Business Community	C10	Historic Landmarks
	B2b Business Community	C11	Historic Cemeteries
	B3* Downtown Business	C13	Historic Landscapes
	B3c Downtown Business	C14	Historic Districts
	B4 Commercial Business	C15	County Streets
Overlay Zones	B5 Urban Commercial	C16	
DEOZ	B5b Urban Commercial	C17	
FH	IH Industrial - High Impact	C18	
Helistop Overla	IL Industrial - Low Impact	C19	
R 7	ILb Industrial - Low Impact	C20	
USM	IM Industrial - Moderate Impact	C21	
Shoreland Overlay Zone		C22	
Stream Overlay Zone		C23	
		C24	
		C25	
		C26	

ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING

SMRT

15th June 2010

Ms. Barbara Barhydt
Development Review Services Manager
City of Portland
389 Congress Street
Portland, Maine 04101

RE: 144 Fore Street - Building Renovation Project

Dear Barbara:

Further to our recent meeting and on behalf of our client, Jackrabbit, LLC we are pleased to submit this application for a Minor Site Review for the referenced project. Attached are seven copies of the project drawings and supporting documentation for your review. Also included is a check for \$400 for to cover the application fee.

We trust that you will find the application and supporting documentation complete and ready for review. However, please do not hesitate to contact us if you require any clarifications, or additional supporting information. Thank you for your attention to this matter.

Sincerely,
SMRT



Andrew D. Johnston, PE, LEED AP
CEng, CEnv, MCIWEM
Senior Civil Engineer

JUN 23 2010

144 Fore Street
P.O. Box 618
Portland, ME 04104
p 207.772.3846 f 207.772.1070 email: ajohnston@smrtinc.com

Encl.

cc. Mike Marino, Jackrabbit, PSS, DVJ
File 10022/15.1

Submitted
format
8/3/10

ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING

SMRT

July 27th 2010

JUL 28 2010

7/28

Ms. Jean Fraser, City of Portland Planning Department
City Hall,
389 Congress Street
Portland, Maine 04101-3509

RE: 144 Fore Street: Change of Use to Professional Offices (for VA Medical Office),
Building Renovation and Minor Site Plan Application

Dear Jean,

We have received planning staff comments on the application and plans and submitted for the referenced project offer the responses, clarifications and revisions described below. The original comments are shown in bold with the responses below. Amended site plans are included with this submission for your review.

Planning Staff Review Comments:

1. Parking Analysis

Section-273(f) requires that all projects, regardless of size, are governed by 14-526(a)(2)b in the Site Plan Standards and not by Divisions 20 or 21. As such, the total floor area requirement mentioned in Section 14-526(a)(2)b does not apply, and the requirement needs to be set by the Planning Authority based on a parking analysis submitted by the applicant, reviewed by and upon the recommendation of the city traffic engineer. Therefore, as per the previously forwarded comments of the City's Traffic Engineer (Tom Errico; copy attached) in paragraph 1, we have requested further explanation of the proposed VA operations and whether it will function more as medical offices than professional offices from the point of view of parking generation. This information will assist in making a determination of the parking requirement under 14-526(a)(2)b. Thank you for the plans showing off-site parking space locations and for the "Parking Demand Summary" received last week. However, we would also require actual data (as mentioned in my email of 7.12.2010) documenting the level of parking demand that has been evidenced at the existing VA facility or a similar facility. Also please update page 1 of the submitted "*Attachment 7 - Parking Analysis and Lease Agreements*" to reflect the additional information. Other relevant information would be the level of public transit that serves this site and how that might affect parking demand.

Response: Please find attached information from the Department of Veterans Affairs describing the parking requirement for this facility. The facility will require a total of forty parking spaces, twenty-five for staff and fifteen for patients. There are sufficient spaces immediately adjacent to the building to accommodate patient, and some staff parking. Remaining staff parking spaces will be provided elsewhere on the property.

2. Parking Provision: The parking analysis and requested information will be used to determine the total required parking for this use, which may be more than the 25 that you have identified. We would like to know how the parking will be managed to ensure that spaces for VA visitors are near the new front entrance. Also please note that leases for off-site parking that is counted to meet parking requirements normally need to be for more than one year. The number of bicycle racks required is related to the number of parking

spaces required, so this will need to be reviewed once the parking requirement is determined.

Response: Parking adjacent to the new facility will be designated for VA Visitor Use Only, in a similar manner to areas elsewhere on the property designated for SMRT use.

3. **Pedestrian Access and Accommodations:** As proposed on the submitted plans, the pedestrian accommodations are inadequate in three respects:
- a. **Between the front entrance and parking areas and pedestrian routes out of the site:**
The layout of the parking area in front of the building seems to establish a pedestrian corridor behind the perpendicular parked vehicles. For safety reasons, a pedestrian walkway should be established along the immediate frontage of the building and connect with other pedestrian paths/routes.
 - b. **Linking front entrance to Hancock Street:** Pedestrians accessing the front entrance from Hancock Street must cross the turning drive into the parking area facing Fore Street. This connection should be more clearly delineated. This route would be a likely access for those attending the offices by public transit.
 - c. **Linking front entrance to Fore Street:** The proposals have closed off the existing access from Fore Street by locating planting, a generator and bicycle racks so that pedestrian access to the front entrance is impossible. I calculate that pedestrians walking from Munjoy Hill area to use this facility would need to walk an additional 180 feet (approx.) because this access is closed off. A direct and safe pedestrian path should be created between Fore Street and the new front entrance.

Response: The parking layout has been revised to show pedestrian access along the front of the spaces, adjacent to the building. Stairs and a striped crosswalk has been added to connect to Hancock Street, and a stair/sidewalk connection has been established to Fore Street. A revised Site Plan is attached for your review.

4. **Drainage:** There is a general note on the Site Layout Plan that states "*Remove and replace existing bituminous pavement.*" Please show the precise extent of pavement replacement. The Department of Public Services requests that the submissions also show site surface drainage, and that the applicant should consider applying some means of stormwater treatment.

Response: The existing pavement will be milled and overlaid, maintaining the existing grades and drainage patterns. There is no plan to re-construct the entire pavement structure and/or alter the grades and drainage patterns on the site. The area currently drains by sheet flow towards a catch basin on the adjacent city parking lot. This is shown on the survey plan, and a sketch showing general flow paths is included for your review. No provision for additional stormwater capture and treatment is planned as part of this project.

5. **Landscape/Planting:** Please address the 7.8.2010 comments of the City Arborist below:
After looking at the building as it exists today, improving pedestrian circulation from Fore Street seems advisable. With this in mind, there seems to be space enough to include the proposed landscape planting as shown and use some of the non-parking lot pavement. The proposed generator should be screened from the sidewalk with fencing or landscape treatment. An additional "street-tree" should be planted in the corner of the parking area or island. The corner of Fore Street & Hancock Street should include additional landscape treatment with "cape-cod" bituminous curbing to the sign area near Fore Street. This space could be landscaped or improved to lawn or ground cover and still be used as winter snow storage.

Response: Screening and additional plantings have been added around the generator. In addition, two trees have been added along the Hancock Street frontage to match existing trees at this location.

6. **Generator:** We understand that emergency generators are tested on a regular basis and the associated noise can be disturbing to nearby occupants/residents. The proposals should include substantial measures to mitigate/attenuate noise from the generator; please submit this information. Also, routine testing of the generator must be set to occur during regular business hours and not at night or on weekends.

Response: The generator has been re-located and a wood screen fence has been added between the generator and Fore Street to mitigate noise impacts. These are shown on the revised Site Plan. The generator tests will be scheduled to occur during regular business hours.

7. **Lighting:** Please submit a photometric plan showing the lighting levels for the site as proposed, including all new wall mounted lights and the existing lighting for the pedestrian, parking and vehicle access routes and areas. The Site Plan Ordinance requires that lighting be adequate for the safety of occupants or users of the site; it should meet the City standards. The elevations in A1 shown four wall mounted lights near the front entrance which are not indicated on the Site Layout Plan, for which catalog cuts were not submitted, and which do not appear to be "cut off" type fixtures; please clarify locations for wall mounted lighting and submit the catalog cuts for these lights.

Response: A photometric plan showing the site lighting levels is attached for your review. The Photometric Plan and Site Plan show the correct location of lights on the building. The previously submitted building elevation is a conceptual level drawing that will be updated to show correct light locations and fixtures.

8. **Dumpster:** Please submit a detail showing how the dumpster will be enclosed.

Response: A detail of the new dumpster enclosure is attached.

9. **Signage:** Please note that this aspect of the proposal is not covered by the minor site plan review and that separate permits are required for any new signage.

Response: A separate signage permit application will be submitted to the City.

We hope that these responses and the attached supporting information clarify these items sufficiently. Please do not hesitate to contact us if you have any questions regarding the attachments, or require any additional information to support this application.

Sincerely,
SMRT



Andrew Johnston PE, LEED AP
CEng, CEnv. MCIWEM
Senior Civil Engineer

144 Fore Street
P.O. Box 618
Portland, ME 04104
p 207.772.3846 f 207.772.1070
Encl.

ZONING SPECIALIST

ANN MACHADO

August 3, 2010

Marge Schmuckal's comment dated June 24, 2010 requested that the information for the noise/sound levels on the new HVAC units be submitted as dBAs for review instead of BELS since the City's noise regulations are in dBAs. In an email sent on 7/12/2010, Andrew Johnson stated that "one BEL equals ten decibels (dBA)." He went on to say "We are awaiting information on the performance of the sound shielding for these units from the manufacturer and will forward it to the city as soon as it is received". We have yet to receive this information. The maximum permissible sound levels for the HVAC units are sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m. and fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m. as measured at or within the boundaries of any residential zone. Also "all uses within this zone shall employ best practicable sound abatement techniques".



ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING

JUL 28 2010

Memo

Date: July 27, 2010

Project Name: Portland VA - 144 Fore Street

To: Team

Project No: 10022

From: ADJ

Subject: Updated Parking Calculation

The following describes parking requirements for the 144 Fore building and proposed occupancy inclusive of the VA facility and existing tenants Arabica Coffee and SMRT which are to remain.

Parking for the VA facility is taken from the VA issued SFO. Parking for the remainder of the building is calculated per city ordinance. Parking in the vicinity of the VA is per current proposed plan for spaces immediately abutting the building south face, but leaves the existing parking in the site northwest corner as is (11 spaces).

City parking requirements are more than adequately covered with proposed on-site parking plus existing lease arrangements.

Space / Area (s.f. net)	Use	Parking Req'd. per code	Total
VA / 9,999	Professional Office	40 spaces (per VA SFO)	40
Arabica Coffee (D1) / 1,557	Manufacturing	1.0 per 1,000 sf	2
SMRT / 18,693	Professional Office	2.5 per 1,000 sf	47
Vacant / 10,958	Warehouse	1.0 per 1,000 sf	11
Total required			100
Total on-site (per existing conditions at front end plus proposed VA layout plus existing at remainder of building)			65
Total off-site (Cacoulidis property)			41
Total supplied			106

cc: file 10022/13.4



1.10 SITE:

The Site offered must meet the following minimum requirements:

Any configurations will be considered provided the space can adequately accommodate the building program, design requirements and designated activities;

Topography shall be without steep grades and shall not be affected by the 100-year flood plain, rock outcroppings or adverse subsurface conditions;

~~Be free of environmental hazards or restrictions;~~

Provide prominent visibility of the facility from major public thoroughfares.

Main ingress/egress for on-site pedestrian and vehicular circulation shall be easily accessible from major public thoroughfares.

1.11 PARKING AND SITE AMENITIES:

1.11.1 PARKING:

Forty (40) on-site vehicle parking spaces, paved and striped, must be provided for use by patients, staff and official Government vehicles, and must be included as part of the rental consideration. Of these, 3 spaces must be provided immediately adjacent to the building's main entrances for handicap use. The remainder must be within 500 feet of the building on the site. The Lessor must provide the greater of the following: the number of parking spaces required by local building or zoning regulations, or the number of parking spaces indicated above. See Paragraph 5.2.6 for additional requirements.

1.11.2 PEDESTRIAN CIRULATION:

Pedestrian routes, complying with accessibility criteria, shall be provided from public streets and public transportation stops or public entries.

1.12 BUILDING:

The Offeror shall design and construct a building to suit the Government's requirements. The Government may consider space in existing buildings of sound and substantial construction which can be made adaptable as modern office and outpatient space. If not in a new building, the space offered must be in a building that has undergone, or will undergo by occupancy, restoration of adaptive reuse for office and outpatient space with modern conveniences. If the restoration work is under way or proposed, then design or construction documents acceptable to the Contracting Officer must be submitted as part of the offer. Acceptability of the proposed restoration will be judged against the requirements of this SFO. Buildings which have incurable functional obsolescence and/ or are unsuitable in configuration for medical space floor plan

→ Z

HAMILTON MARINE

DISSEMINATE FLORA

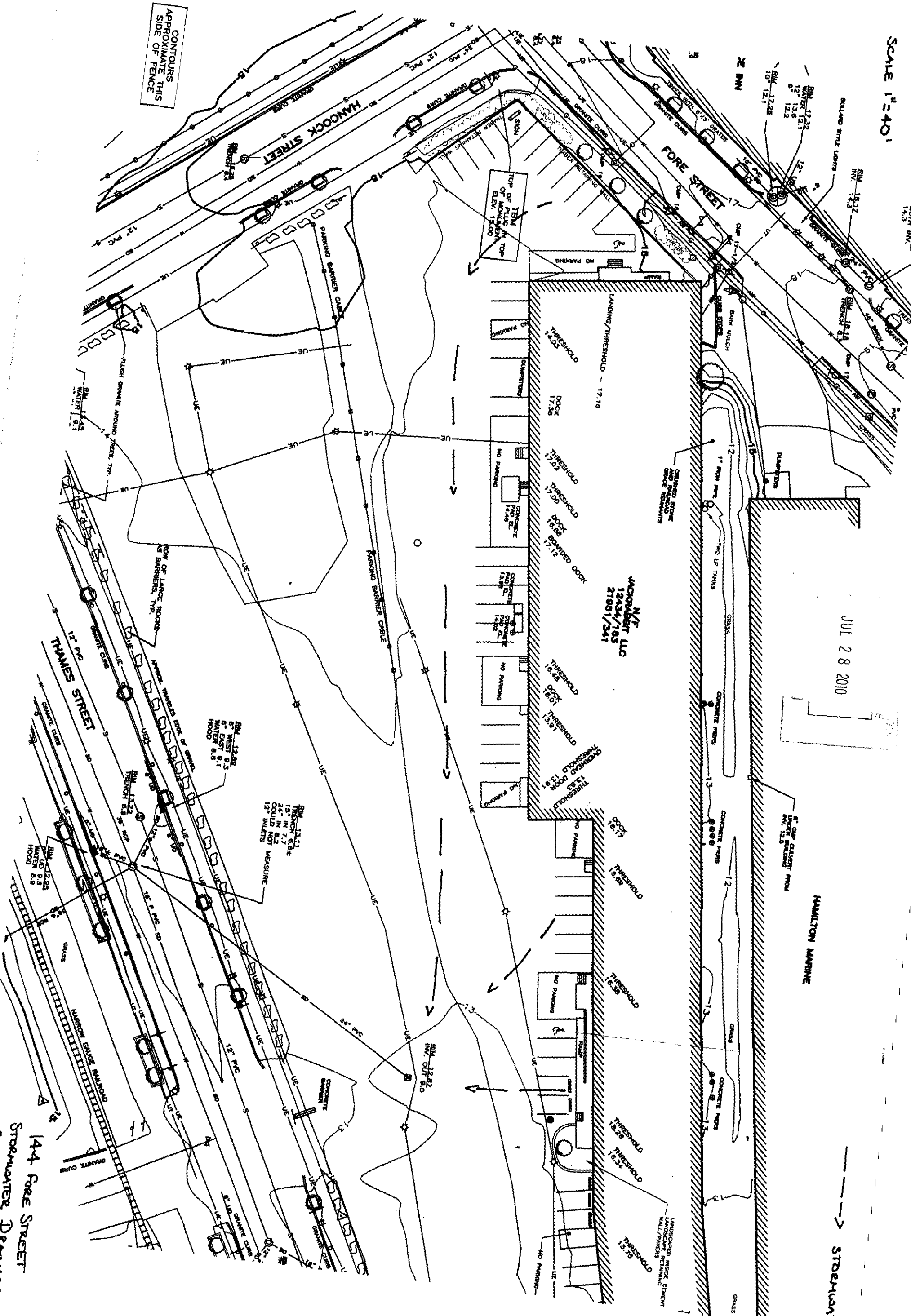
CONTOURS
APPROXIMATE THIS
SIDE OF FENCE

HANCOCK STREET

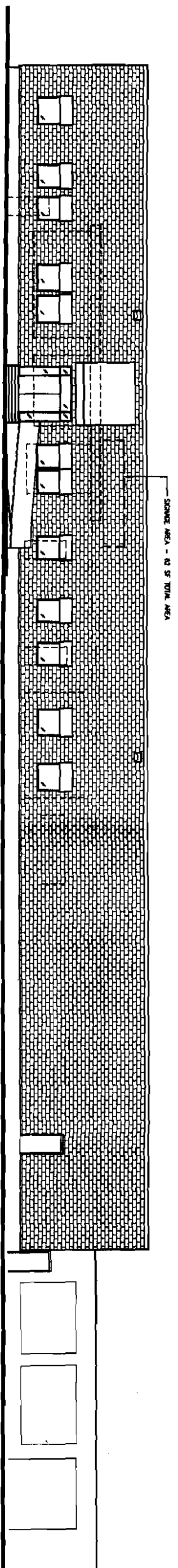
FORE STREET

THAMES STREET

1444 FORE STREET
STONEMASTER DRAINAGE
PATTERN SKETCH
ADD 07-26-10

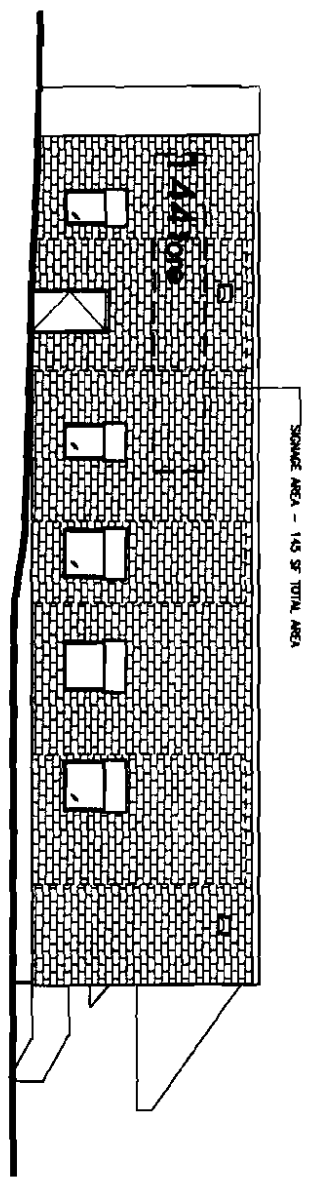


1 SOUTH ELEVATION - SIGNAGE
 $\frac{1}{8}'' = 1'-0''$



JUL 28 2010

1 WEST ELEVATION - SIGNAGE
 $\frac{1}{8}'' = 1'-0''$



7/27/2010 4:00:00PM



Jackrabbit LLC
 144 Pine Street
 Signage Elevations



PORTLAND MAINE

Planning Division
Jean Fraser, Planner

9-10-10

Marge

144 Fox St - Post-Approval
Compliance with Conditions

Please see those highlighted for
which I would appreciate a
sign-off from you asap please.

Thanks

Jan.

(I have attached the
approval letters for your
reference)



Strengthening a Remarkable City. Building a Community to Last.

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

August 16, 2010

Diane Rollins
Jackrabbit, LLC
44 Oak Street
Portland, ME 04101

Andrew D. Johnston, PE, LEED AP
SMRT Inc
144 Fore Street
PO Box 618
Portland, ME 04104

B-6

**Re: 144 Fore Street : Change of Use to Professional Offices (for VA Medical Office),
Building Renovation and Minor Site Plan
Applicant: Jackrabbit, LLC
Application # (HTE) 10-79900012**

19-A-0

Dear Ms. Rollins and Mr. Johnston,

On August 16, 2010, the Portland Planning Authority approved a minor site plan for 144 Fore Street for building renovation and associated site works for a change of use to Professional Offices for the VA Medical Office, as submitted by the applicant and shown on the approved plan prepared by SMRT, Inc (Site Plan CP101 dated 8.13.2010; Planting Plan Sheet 4 dated 7.27.2010 and Lighting Plan ES101 dated 7.27.2010) with the following conditions:

- i. That the 40 parking spaces that serve the medical offices shall be located near the building entrance, west of the dumpster storage area and adjacent to Fore Street/Hancock Street; and
- ii. That the crosswalk from Hancock Street into the site shown on Site Plan CP101 (dated 8.13.2010) shall be revised, for review and approval by the Planning Authority prior to the issuance of a building permit, to avoid crossing the main drive entrance from Hancock Street. One of the two pedestrian links between the building and adjacent streets (Fore Street and Hancock Street) shall be ADA compliant; and
- iii. That the applicant shall submit documentation, to the satisfaction of the Zoning Administrator prior to the issuance of a building permit, to confirm that the cumulative noise levels of the external HVAC and any other exterior mechanical equipment comply with the noise standards of the B6 Zone, where the maximum permissible sound levels for the HVAC units are sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m. and fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m. as measured at or within the boundaries of any residential zone; and

- iv. That the details (including dimensions and materials) of any proposed sound baffles, shielding or other enclosures for the HVAC and any other roof equipment, shall be submitted for review and approval by the Planning Authority prior to the issuance of a building permit; and
- v. That the crosswalks within the parking and drive areas shall be a painted "block" style crosswalk; and
- vi. That a photometric plan shall be submitted prior to the issuance of a building permit to document that the proposed wall mounted lighting on the west elevation (as measured without including the ambient light from street lights) meets the City Lighting Standards regarding maximum light levels; and
- vii. Routine testing of the emergency generator must be scheduled between 9:00 a.m. and 5:00 p.m. Monday through Friday; and
- viii. That any new signage would require a separate building permit and this site plan approval does not imply an approval to any signage; and
- ix. That the applicant is advised that there is existing ponding in the parking area and regrading (when resurfacing) to address this problem is advisable.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

- 1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein.
- 2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
- 3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
- 4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
- 5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
- 6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,


Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
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Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
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John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Traffic Engineering Reviewer
Dan Goyette, Woodward & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING



September 7, 2010

Ms. Jean Fraser, Planner
City of Portland
Planning & Development Department
389 Congress Street
Portland, ME 04101

Re: 144 Fore Street Building Renovation and Minor Site Plan
Portland, Maine
Application # (HTE) 10-79900012

Dear Ms. Fraser,

On behalf of the applicant, Jackrabbit LLC, we submit herewith plans and documentation in fulfillment of conditions of Minor Site Plan approval as listed in letter received from the city dated August 16, 2010.

The following details our response to the specific approval conditions:

- i. *That the 40 parking spaces that serve the medical offices shall be located near the building entrance, west of the dumpster storage area and adjacent to Fore Street/Hancock Street.* **Response: The 40 spaces are located as requested. Please refer to attached plan CP401 DETAIL PLAN.**
- ii. *That the crosswalk from Hancock Street into the site shown on Site Plan CP101 (dated 8.13.2010) shall be revised, for review and approval by the Planning Authority prior to the issuance of a building permit, to avoid crossing the main drive entrance from Hancock Street. One of the two pedestrian links between the building and adjacent streets (Fore Street and Hancock Street) shall be ADA compliant.* **Response: Both pedestrian access links are now ADA compliant as a result of site grading modifications incorporated into the design. Please refer to attached plan CP401 DETAIL PLAN.**
- iii. *That the applicant shall submit documentation, to the satisfaction of the Zoning Administrator prior to the issuance of a building permit, to confirm that the cumulative noise levels of the external HVAC and any other exterior mechanical equipment comply with the noise standards of the B6 Zone, where the maximum permissible sound levels for the HVAC units are sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m. and fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m. as measured at or within the boundaries of any residential zone.* **Response: HVAC equipment for the renovated space has been consolidated into one unit, which will be mounted on the roof in a location central to the space, providing maximum separation from the surroundings at all locations. The unit will incorporate acoustic blanket insulation. The combined effect of the blanket plus distance from the nearest property boundary (required measuring point per B6 zoning) is a reduction in sound level of the unit of 37 dBA (this is conservative and could be as high as 41dBA according**

to the manufacturer) over the frequency range of 63Hz to 4KHz, resulting in an average level of 56 dBA, meeting daytime (≤ 60 dBA) requirements. To meet nighttime (≤ 50 dBA) requirements, the condensing function of the units will be programmed to be off, leaving only the fans on, significantly reducing the noise level. No data is available for the actual amount of noise reduction possible by leaving the condensers off, however, conservative estimates are in the 15 dBA range. Please refer to the attached calculations and information.

- iv. *That the details (including dimensions and materials) of any proposed sound baffles, shielding, or other enclosures for the HVAC and any other roof equipment, shall be submitted for review and approval by the Planning Authority prior to the issuance of a building permit. Response: Please see response above. No other rooftop equipment is proposed. No other sound attenuation measures are proposed other than the acoustic blanket attached herein.*
- v. *That the crosswalks within the parking and drive areas shall be a painted "block" style crosswalk. Response: Painted crosswalks shall be block style as requested. Please refer to the attached plans.*
- vi. *That a photometric plan shall be submitted prior to the issuance of a building permit to document that the proposed wall mounted lighting on the west elevation (as measured without including the ambient light from the street lights) meets the City Lighting Standards regarding maximum light levels. Response: Light levels for the four proposed wall-mounted light fixtures was modeled in a point-by-point plan without inclusion of surrounding street fixtures. Average illumination and light level at the property line fall within city standards. Light levels immediately under the fixtures are predictably slightly higher than the 5 fc maximum as can be expected given the mounting heights and types of fixtures. Please refer to the attached lighting plan.*
- vii. *Routine testing of the emergency generator must be scheduled between 9:00 a.m. and 5:00 p.m. Monday through Friday. Response: Routine emergency generator testing will be scheduled as requested.*
- viii. *That any new signage would require a separate building permit and this site plan approval does not imply an approval to any signage. Response: New signage will be submitted for review, approval, and permit in accordance with city requirements.*
- ix. *That the applicant is advised that there is existing ponding in the parking area and regrading (when resurfacing) to address this problem is advisable. Response: So noted. Please refer to the attached plan CP401 DETAIL PLAN for revised grading as described above.*

Fraser
September 7, 2010
Page 3 of 3

We believe that the information contained herein addresses the conditions of site plan approval and that, upon receipt of these and the performance guarantee which is in process, immediate issuance of a building permit will be possible. Please let us know if you have any questions, or require any further information at this time. We look forward to hearing from you.

Sincerely,
SMRT



Andrew D. Johnston, P.E., LEED AP
Senior Civil Engineer

144 Fore Street
P.O. Box 618
Portland, ME 04104
p 207.772.3846 f 207.772.1070 email: ajohnston@smrtinc.com

Encl.

- CP401 DETAIL PLAN
- HVAC information: Paths Report and Acoustic Blanket information
- Point-by-point Plan dated 9-7-10

cc. Mike Marino (Jackrabbit LLC)
DRI PSS MCI file 10022/15 1

Paths Report

Project Name: 144 Fore Street
Location: Portland, ME
Building Owner:
Project ID:

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	Comments
---------	------	-------	-------	-------	------	------	------	----------

Custom Element	98	95	93	91	88	84	79
Custom Element	-6	-6	-6	-6	-6	-6	-6
Outdoor	-31	-31	-31	-31	-31	-31	-31
Sum	81	58	56	54	51	47	42

NC 50

RC 51(N)

56 dBA

25 ton Trane packaged rooftop - Model YCD300E
Insultech Compressor Wrap
Distance to Receiver: 20 ft source to ground, 5 ft receiver to ground and 43 ft source to receiver

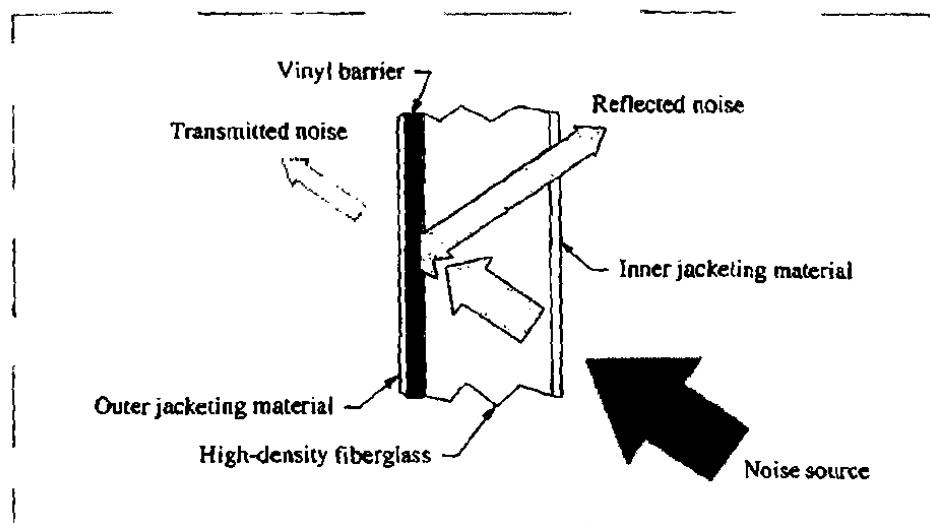
60 dbas measured at boundary end
7:00 AM to 10:00 PM

50 dbas 10:00 PM to 7:00 AM
measured to resident, ALZs

INSULTECH

About Acoustic Blanket Insulation

Insultech Acoustic Blanket Insulation is an extremely versatile and efficient solution to common industrial noise problems. It combines high density fiberglass mat with a mass-loaded Vinyl sandwiched between a weatherproof jacketing. The purpose of the fiberglass is to reduce reflected noise and to absorb noise energy, while the mass-loaded vinyl blocks transmitted noise. The fiberglass also has excellent thermal insulation qualities. While combining both an absorbing material and a well matched barrier material, the acoustic blanketing yields a highly efficient and cost effective means for solving industrial noise control problems.



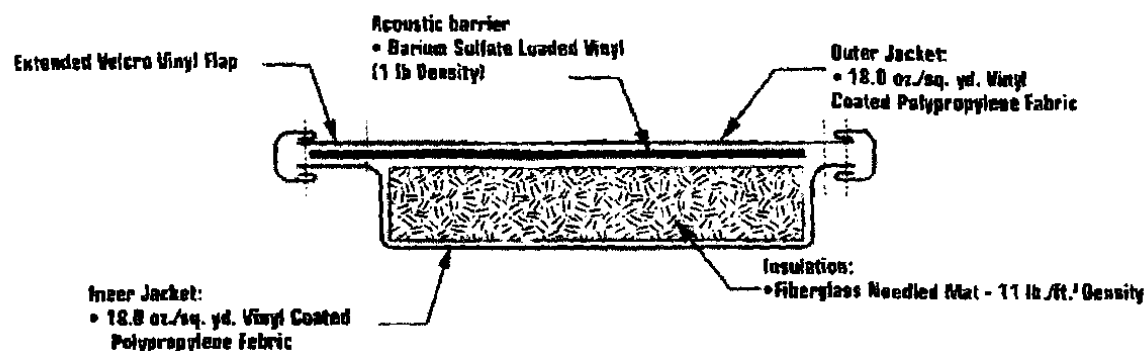
Insultech Acoustic Blanket Insulation is completely custom fit to meet your application's needs. Its flexibility and strength add to the versatility of this type of system, while the chemical resistance and high-temperature capabilities of the outer jacketing material allow **Insultech** Acoustic Insulation to perform extremely well in nearly every industrial environment.

INSULTECH

**Specification
LT250A-VP**

TRANE Acoustic Blanket System

Design Specification:						LT250A-VP	
Service	Temperature		Permeability Pervious / Impervious	Outdoor Use	Chemical Resist	Abrasives Resist	Fire Rating
Process	250		✓	Good	Good	Good	Nonflammable
Application • Compressor Housing • Suction Line • Discharge Line • Oil Separator • Evaporator Shell • Condensor Shell • Equipment operating above OSHA required sound limits • Commercial Industrial OEM							
Design Components:							



Blanket Thickness Surface Temperature Reference:

Operating Temperature	Thickness / Surface Temperature	
250°F (121°C)	1.5'	92.0°F

- * The reference cold face surface temperatures should be used as guidelines for blanket thickness design.
- * The cold face surface temperature of the blanket should achieve ambient temperature conditions.
- * The economic thickness of the blanket should consider blanket cost to thermal performance.
- * Heat loss calculations are based on a 70°F ambient using a flat surface condition.

Blanket Thickness to Acoustic Performance:

dBA Reduction Range	Thickness	Surface Mass
6 - 10	1.5'	1.82 - 3.10 lb/SF

- * The dBA reductions are approximations. These figures are only guidelines of performance. True estimates should include field verification of dBA levels and frequency concentrations.

INSULTECH

Specification
LT250A-VP

Fabrication Requirements

Blanket Construction

Blanket construction is a double sewn lock stitch with a 7 stitches per inch minimum. All raw jacket edges have a tri-fold Teflon cloth binding stitched with Teflon coated fiberglass thread. No raw cut jacket edge will be exposed.

Resistant Flap

To avoid penetrating noise at mating seams, blanket pieces will include an extended 2" wide fabric vinyl flap. This flap will cover the exposed seam and will minimize any potential noise leaks.

ID Plates

For easy identification and location, a stainless steel or aluminum name plate tag is riveted to each blanket piece. 1/8" Embossed lettering shows location, description, size, pressure rating and tag number sequence.

Quality Pins

To enhance blanket quality and to maintain uniform thickness, stainless steel quilting pins will be placed at random locations no greater than 18" apart. This will prevent shifting of the insulation filler.

Blanket Insulation Weight

When designing blanket insulation for large equipment where a multi-piece construction is necessary, the total number of pieces will be minimized. Any one piece will not exceed 50 lbs. in weight.

Assembly Drawing Requirements

Each blanket insulation project will include an instruction package shipped with the blanket material. This package will include Assembly Drawings identifying piece location, a Material List of all pieces and Instructions for Installation on how blanket insulation will be installed. The latest and most accurate records must be kept by the supplier on a CAD file for a minimum of ten years to assure re-orders and replacement.

Guaranteed Fit

All blanket designs will accommodate vibration probes, gauges, tubing, piping, brackets, etc. All blanket pieces are guaranteed to fit for optimum acoustic performance.

Fastening Options

1) Wiretwists

A 20 gauge stainless steel wire is doubled up and twisted in a spiral fashion with a minimum of 4 twists per inch. Wiretwist length will be 16" or longer. The Wiretwist will be secured to the facing pin at the pin stem. Lacing pin stems will be 14 gauge.

2) Velcro Flaps

A 2" wide hook will be stitched to the blanket and a 2" wide loop will be stitched to an extended outer jacketing flap. Velcro is rated for temperatures up to 350°F.

Design Guidelines

To access the true limitations of this recommended design, refer to the technical data sheets on each product component. Following these guidelines will produce the highest achievable service life. Blanket design quality can be reduced or enhanced by changing any one component. If a question arises regarding deviations from those stated guidelines, please contact your regional representative or call Shannon direct.

Project Qualifications

All items to be insulated will require a field takeoff prior to bid submittal, and must be reviewed for proper cost estimation. Upon receipt of project contract, each and every item must be accurately measured for retrofitting to existing field conditions and tagged with an aluminum or stainless steel identification tag showing an item number for installation reference. At the time of installation, blankets must have a corresponding item number shown on the blanket tag and must match to existing tagging on fitting. No standard blanket designs will be accepted. This will assure good thermal performance.

Warranties

All blankets will carry an 18 month warranty covering the replacement cost of the blanket. This warranty will cover blanket failure due to premature degradation from either blanket components used in the blanket, the blanket design construction or workmanship.

Point-by-point Plan

LitePro 2.026 Point-By-Point Results

9/7/2010

PROJECT: CITY OF PORTLAND/JACKRABBIT LLC/10022 GROUP: SITE W/O HOTEL AREA: NEW SITE GRID: New Grid

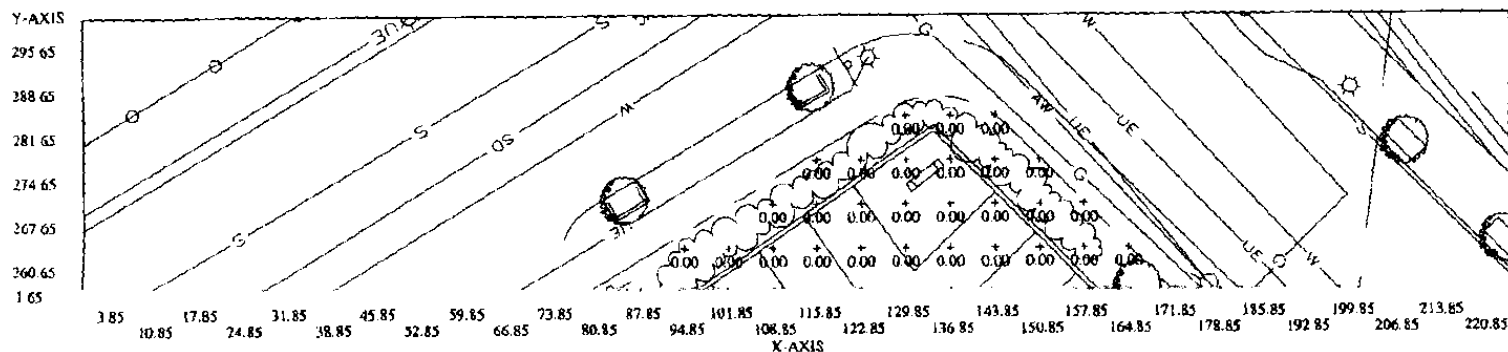
PREPARED BY: JHEBERT

VALUES ARE FC, SCALE: 1 IN= 30.0FT, HORZ GRID (U), HORZ CALC, Z= 0.0

Computed in accordance with IES recommendations

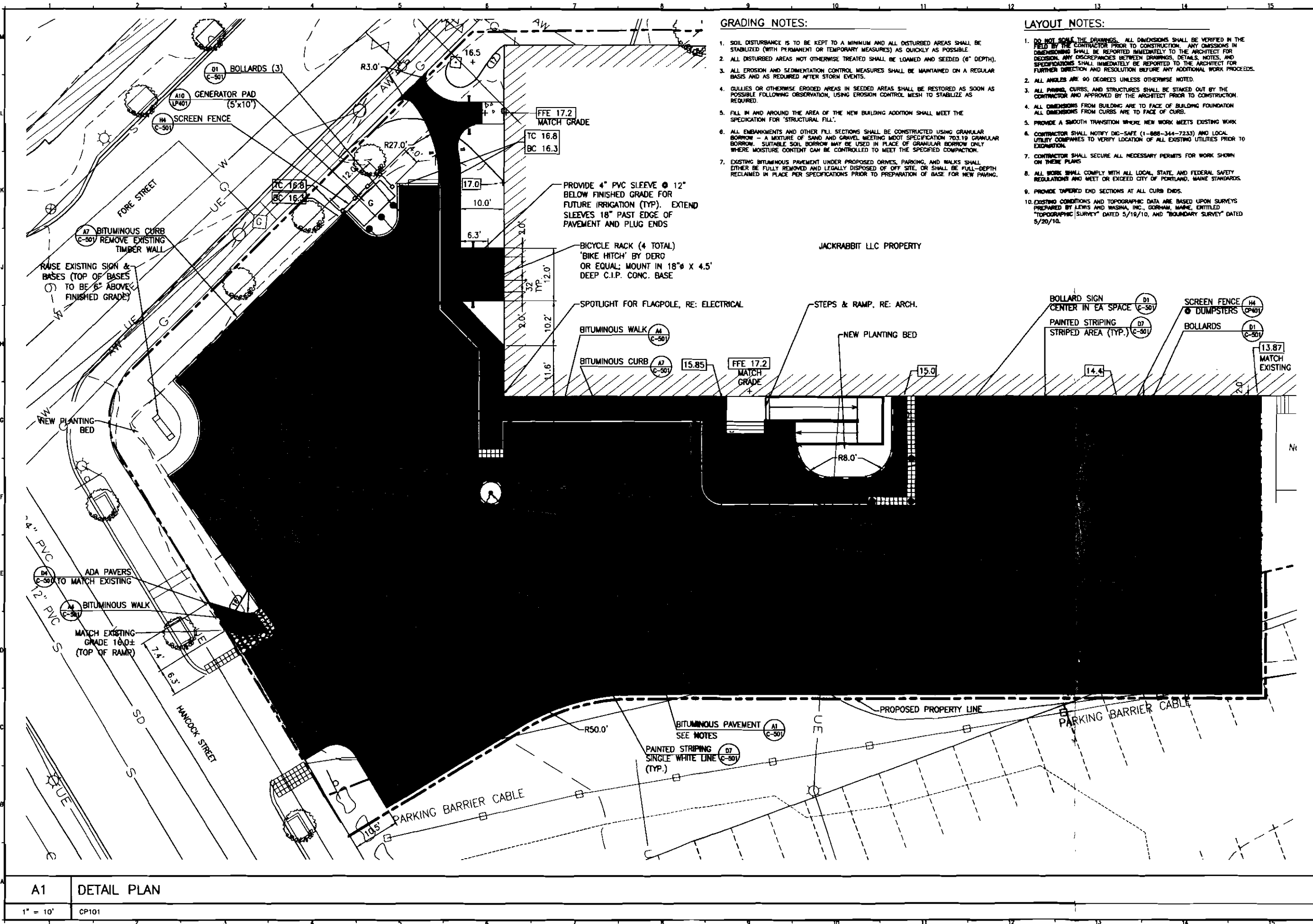
Statistics

GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.00	7.64	1.20	N/A	N/A



*Coer has
original*

CP401 DETAIL PLAN (dated 9-1-10 IFC)



GRADING NOTES:

1. SOIL DISTURBANCE IS TO BE KEPT TO A MINIMUM AND ALL DISTURBED AREAS SHALL BE STABILIZED (WITH PERMANENT OR TEMPORARY MEASURES) AS QUICKLY AS POSSIBLE.
2. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDED (6" DEPTH).
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED ON A REGULAR BASIS AND AS REQUIRED AFTER STORM EVENTS.
4. GULLIES OR OTHERWISE ERODED AREAS IN SEEDED AREAS SHALL BE RESTORED AS SOON AS POSSIBLE FOLLOWING OBSERVATION, USING EROSION CONTROL MESH TO STABILIZE AS REQUIRED.
5. FILL IN AND AROUND THE AREA OF THE NEW BUILDING ADDITION SHALL MEET THE SPECIFICATION FOR 'STRUCTURAL FILL'.
6. ALL EMBANKMENTS AND OTHER FILL SECTIONS SHALL BE CONSTRUCTED USING GRANULAR BORROW - A MIXTURE OF SAND AND GRAVEL MEETING MOOT SPECIFICATION 703.19 GRANULAR BORROW. SUTABLE SOIL BORROW MAY BE USED IN PLACE OF GRANULAR BORROW ONLY WHERE MOISTURE CONTENT CAN BE CONTROLLED TO MEET THE SPECIFIED COMPACTION.
7. EXISTING BITUMINOUS PAVEMENT UNDER PROPOSED DRIVES, PARKING, AND WALKS SHALL EITHER BE FULLY REMOVED AND LEGALLY DISPOSED OF OFF SITE, OR SHALL BE FULL-DEPTH RECLAIMED IN PLACE PER SPECIFICATIONS PRIOR TO PREPARATION OF BASE FOR NEW PAVING.

LAYOUT NOTES:

1. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR CORRECTION. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES, AND SPECIFICATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
2. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
3. ALL PAVING, CURBS, AND STRUCTURES SHALL BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS FROM BUILDING ARE TO FACE OF BUILDING FOUNDATION. ALL DIMENSIONS FROM CURBS ARE TO FACE OF CURB.
5. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING WORK.
6. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND LOCAL UTILITY COMPANIES TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
7. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR WORK SHOWN ON THESE PLANS.
8. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS AND MEET OR EXCEED CITY OF PORTLAND, MAINE STANDARDS.
9. PROVIDE TAPERED END SECTIONS AT ALL CURB ENDS.
10. EXISTING CONDITIONS AND TOPOGRAPHIC DATA ARE BASED UPON SURVEYS PREPARED BY LEWIS AND WASHNA, INC., GORHAM, MAINE, ENTITLED 'TOPOGRAPHIC SURVEY' DATED 5/19/10, AND 'BOUNDARY SURVEY' DATED 5/20/10.

144 Fore Street, P.O. Box 618
Portland, Maine 04104
Tel: (207) 772-3948
Fax: (207) 772-1070
www.smartinc.com

ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN
COMMISSIONING

SMART

PROJECT NORTH

DEPARTMENT OF
VETERAN AFFAIRS - PORTLAND
PORTLAND, MAINE

ISSUE FOR CONSTRUCTION
9-01-10

CURRENT ISSUE STATUS:

NO.	DESCRIPTION	DATE
0	ISSUE FOR CONSTRUCTION	9-01-10

GRAPHIC SCALE:
0' 1'

SCALE: AS SHOWN

PROJECT MANAGER: DRH
JC/DRAWN BY: WSM
A/E OF RECORD: MGS
ROAD FILE: CP401-10022
PROJECT NO: 10022
DATE: 9-01-10

SHEET TITLE:
DETAIL PLAN

SHEET No. **CP401**
© 2010 SMART INC.

Zoning Administrator Marge Schmuckal

**ZONING ADMINISTRATOR
MARGE SCHMUCKAL**

June 24, 2010

This proposal is to change the use of the western end of the building from retail Express Copy and warehousing space to professional offices. The property is located in a B-6 Eastern Waterfront Mixed Zone which does allow professional offices as a permitted use.

The application states that the amount of area that is being changed is 9990 square feet in size. However, using the floor plan and given scale, the area of the change of use differs quite a bit from the proposed square footage. The applicant should verify the scale of the project to confirm the appropriate type of review.

Parking in the B-6 Zone is governed by section 14-526a(2)b of the site plan ordinance and not by zoning parking section.

The project requires a separate building permit application from Inspection Services once a site plan review has been reviewed and approved. Separate permits are required for any new signage.

The applicant has submitted information on the new HVAC units. However, the sound information on the units are given in BELS where the City's noise regulations are in dBAs. I would request information to give the noise/sound levels in dBAs for review.

**ZONING SPCECIALIST
ANN MACHADO
August 3, 2010**

Marge Schmuckal's comment dated June 24, 2010 requested that the information for the noise/sound levels on the new HVAC units be submitted as dBAs for review instead of BELS since the City's noise regulations are in dBAs. In an email sent on 7/12/2010, Andrew Johnson stated that "one BEL equals ten decibels (dBA)." He went on to say "We are awaiting information on the performance of the sound shielding for these units from the manufacturer and will forward it to the city as soon as it is received". We have yet to receive this information. The maximum permissible sound levels for the HVAC units are sixty (60) dBA between the hours of 7:00 a.m. and 10:00 p.m. and fifty (50) dBA between the hours of 10:00 p.m. and 7:00 a.m. as measured at or within the boundaries of any residential zone. Also "all uses within this zone shall employ best practicable sound abatement techniques".

**ZONING ADMINISTRATOR
MARGE SCHMUCKAL
SEPT. 17, 2010**

The applicant has further supplied information concerning the anticipated HVAC units. The information submitted describes the HVAC units as emanating 56 dBAs which will meet the B-6 Zoning requirements during the 7:00 am to 10:00 pm hours. It is anticipated that the evening hours dBA requirements could also be met. This report is acceptable at this time with one caveat. If the City receives future noise complaints and it is further metered to be in violation of the Ordinance, the applicant shall take the appropriate measures to mitigate the noise as required.

It is still understood that if and when the time comes, the applicant will file separate permits for any new signage. This condition shall not be a hang-up for any site plan sign off.



PORTLAND MAINE

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*Director of Planning and Urban Development
Penny St. Louis*

March 9, 2011

Contractor

Ledgewood Construction

Chris Morin (Project Manager)

Location

Dept. Of Veteran Affairs Building

CBL: 019 A008001
Located at 144 Fore St.

Chris,

On Wednesday March 9, 2011 Capt. Keith Gautreau of the City of Portland Fire Department, Steve Corey City of Portland Electrical Inspector, Phil DiPierro City of Portland's Development Review Coordinator, and Myself Code Enforcement Officer and Building Inspector for the City of Portland had a final inspection for 144 Fore Street, also known as the Dept. of Veteran Affairs Building. Upon our inspection Keith, Steve, Phil and I are confident enough that this building has met minimum requirement for an issuance of a temporary Certificate of Occupancy. This Certificate has an expiration date of June 1, 2011. At that time the following Conditions must be met and an additional One Hundred-Fifty dollars must be made payable to the City of Portland Inspections Division and Seventy-Five dollars made payable to Portland Fire Department for the issuance of a permanent Certificate of Occupancy:

1. *Electrical, Sprinkler, Fire alarm and Mechanical rooms shall be labeled accordingly.*
2. *Entrance steps and ramps shall be complete with railings, handrails, and stairs to code.*
3. *Exterior siding and canopies shall be finished.*
4. *Bathrooms shall have wall hung soap and paper towel dispensers.*
5. *Water closets seats shall be elongated open front type.*
6. *Disconnect switches for electrical equipment shall be labeled accordingly.*
7. *City of Portland Fire Department's conditions are as follows:*
 - 7.1. *Fire department building labeling sign shall be installed above Knox Box.*
 - 7.2. *Speaker/strobe in front bathroom shall be replaced or fixed.*
 - 7.3. *Fire Alarm System shall have an inspection sticker.*
8. *City of Portland Planning Division's conditions are as follow:*
 - 8.1. *Paving and Striping*
 - 8.2. *Landscaping*
 - 8.3. *Dumpster Enclosure*
 - 8.4. *ADA Pavers/Tactile Warning Strips*
 - 8.5. *Minor Miscellaneous site work*

These conditions must be met as for the issuance of a permanent Certificate of Occupancy. To the best of our knowledge and belief The Dept. of Veteran Affairs Building located at 144 Fore Street has been satisfactory completed with the exception of these conditions before the issuance of a permanent Certificate.

Sincerely,

Nicholas L. Adams
Code Enforcement Officer
207-874-8789



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

144 FORE ST

CBL 019 A008001

Issued to

Jackrabbit Limited Liability Company/Ledgewood Construction

Date of Issue

03/09/2011

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-1119, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Commercial Offices

Use Group B

Type 5B

IBC-2003

Limiting Conditions:

This is a temporary occupancy certificate which expires on June 1, 2011. See attached Memo.

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION

144 FORE ST

CBL 019 A008001

Issued to

Jackrabbit Limited Liability Company/Ledgewood Constr

Date of Issue

06/10/2011

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 10-111, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

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Use Group B

Type 5B

IBC-2003

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NONE

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certificate issued

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(Date)

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Tackrabbit LLC

Dept. of Veterans Affairs

144 Fore St.

C.B.L # 019 A008

Large Plans in storage
cubicle.

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: March 11, 2011

RE: C. of O. for # 144 Fore Street, VA Medical Offices
(Id#10-79900012) (CBL 019 A 008001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Paving and Striping,
2. Landscaping,
3. Dumpster Enclosure,
4. ADA Pavers/Tactile Warning Strips,
5. Minor Miscellaneous site work,

I anticipate this work can be completed by **June 1, 2011**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Tammy Munson, Inspection Services Manager
Barbara Barhydt, Development Review Services Manager



PORTLAND MAINE

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*Director of Planning and Urban Development
Penny St. Louis*

March 9, 2011

Contractor

Ledgewood Construction

Chris Morin (Project Manager)

Chris,

Location

Dept. Of Veteran Affairs Building

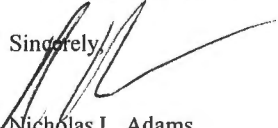
CBL: 019 A008001
Located at 144 Fore St.

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Sincerely,


Nicholas L. Adams
Code Enforcement Officer
207-874-8789



ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN COMMISSIONING

FINAL REPORT OF INSPECTIONS

PROJECT:	Portland Department of Veterans Affairs
LOCATION:	144 Fore Street, Portland, Maine
PERMIT APPLICANT:	Jackrabbit LLC/ LedgeWood Construction

Structural Engineer of Record:

Michael Cunningham, P.E.

SMRT, Inc.

Name

Firm

Architect of Record:

David Lay, A.I.A.

SMRT, Inc.

Name

Firm

General Contractor:

LedgeWood, Construction

Name

Firm

SMRT has completed an inspection of framing modifications at the above referenced project and we have found the work performed to be in compliance with the contract documents. A copy of our inspection report is enclosed. A follow-up site visit verified that the actions to be taken identified in the report were completed.

Submitted By:

Structural Engineer of Record

Michael A. Cunningham, P.E.

(Name)

(Signature)

(Date)

