

Street Sheridan No. 20

Block 22 F Lot 20

Use of Bldg. Residence Name

Tenants and Rooms 7 Families Rooming

Rentals \$85 - Owner \$50 Month

Age 20 Year

Condition of Repair Good

42-23 Sheridan St

Class	Exterior	Plumbing
Bungalow	Clapboards	Common
Single House	Siding	Individual
Two family	Shingles	Open
Three family	Stucco	Set tubs
Apartment	Paper	Finish
Store Building	Tapestry Brick	Plain
Office	Com. Brick	Hardwood
Factory	Galv. Iron	Halls
Storage	Stone	Wood
Stables	Terra Cotta	Terrazzo
Garage, private	Concrete	Marble
Garage, public	Heating	Roof - Roofing
Theatre	Stove	Shingle
Club House	Furnace	Slate
Cottage	Hot Water	Gravel
Foundation	Steam	Prepared
Brick	Light	Asbestos
Stone	Oil	Flat
Concrete	Gas	Hip
Pile	Electr.	Gable
Basement	Floor	Dormers
Full	Common	Windows
Cement Floor	Hardwood	Plain Glass
Waterproof	Re-Concrete	Wire Glass
Construction	Concrete Slab	Shutters
Frame	Waterproof	Miscellaneous
Brick	Ceiling	Elevator
Tile	Plaster	Sprinkler
Blocks	Metal	Fire Escape
Stucco	Paneled	Refrigerator
Re-Concrete	Rough	Vacuum Cleaner
Mill		Saws and Vauls
Steel Frame		Telephone Equip.

Ground Area 1423 sq ft Height 40 ft

Cubic Feet 45950 Unit AC

Utility Dep. 45 Per cent.

Sound Value, \$ 5444

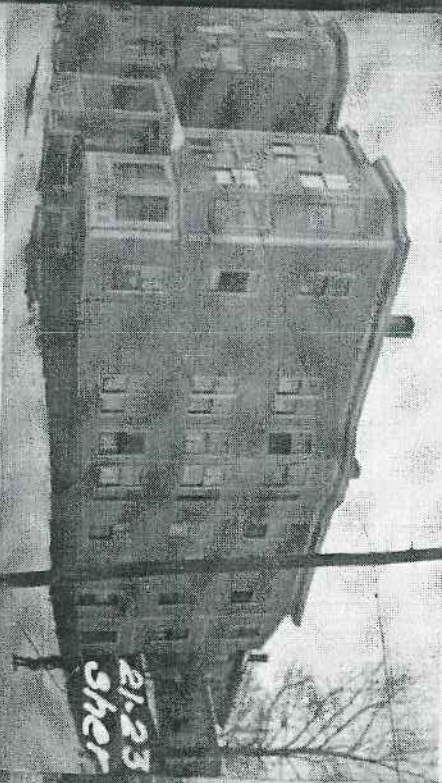
Land 3200 Corner Interior

Front 40 Depth 20

COMPUTATION

Year	Unit	Coefficient	Land Value
19	192	3456	415 X
	3200	108	3456

Y-8500



Surveyed by F. QUINCY

(Remarks on other Side)

STRUCTURAL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS. FURTHERMORE, THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT PROPERTY AND THE PUBLIC.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE INCLUDED.
4. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. DUE TO THE TIGHT DIMENSIONAL TOLERANCES NECESSARY TO ACHIEVE CODE COMPLIANCE ON THIS PROJECT, IT IS HIGHLY RECOMMENDED THAT THE OWNER CONTACT THE ENGINEER AFTER DEMOLITION HAS EXPOSED SUFFICIENT STRUCTURE TO VERIFY THE DIMENSIONAL ACCURACY OF THESE EXISTING AND PROPOSED PLANS.
5. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
6. DO NOT SCALE FROM THE DRAWINGS.

DESIGN CRITERIA

1. BOCA/NATIONAL BUILDING CODE, 1999 EDITION, AS ADOPTED BY THE CITY OF PORTLAND

ADDRESS: 21-23 SHERIDAN STREET, PORTLAND, MAINE
CITY CHART - LOT - BLOCK NUMBER 17-F-20/21

BOCA OCCUPANCY: RESIDENTIAL, R-2

FLOOR LIVE LOAD: RESIDENTIAL, ONE AND TWO-FAMILY, SECTION 1606.0
40 PSF - DWELLING UNITS
60 PSF - EXTERIOR DECKS LESS THAN 100 SQUARE FEET

STAIR DESIGN PER BOCA CHAPTER 12
WITH PROVISIONS FOR EXISTING BUILDINGS AS ALLOWED BY
SECTION 1204.6, EXCEPTION 6, PROVISIONS FOR STAIRS IN EXISTING STRUCTURES.

MAXIMUM RISER HEIGHT 7 INCHES
TREAD WIDTH 11 INCHES (STAIR STRINGER CUT TO 7 INCHES x 11 INCHES).

SNOW LOAD PER BOCA SECTION 1608.0
GROUND SNOW LOAD $P_g = 60$ PSF
FLAT ROOF SNOW LOAD = 42 PSF

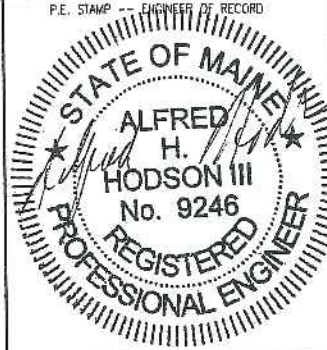
WIND LOAD PER BOCA SECTION 1609.0

LUMBER AND JOIST HANGERS

1. ALL LUMBER USED ON THIS JOB SHALL BE SPRUCE-PINE-FIR (S-P-Fs) NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF 15 PERCENT OR LESS. DO NOT USE LUMBER THAT HAS BEEN STORED IN DAMP CONDITIONS.
2. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE ARE TO BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECT ALL JOIST HANGERS PER SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS INDICATED ON THE DRAWINGS.
4. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PREDRILL HOLES SO THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. TO ACHIEVE PROPER FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE WHILE DRILLING HOLES.
5. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR WHILE TEMPORARY SHORING IS IN PLACE. FINISH CARPENTRY, DRYWALL INSTALLATION, AND FINISH PAINTING SHOULD OCCUR AFTER TEMPORARY SHORING IS REMOVED.
6. ACCLIMATE FRAMING LUMBER TO INTERIOR CLIMATE BY STORING IT INSIDE FOR AT LEAST 48 HOURS BEFORE USE. KEEP LUMBER OFF OF THE FLOOR BY USING SPACER BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING EFFECTS.
7. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPAN. REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" THEM WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING TEMPLATE FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR OVERLAP LENGTHS.

STRUCTURAL WORK ASSOCIATED WITH FIRE PROTECTION

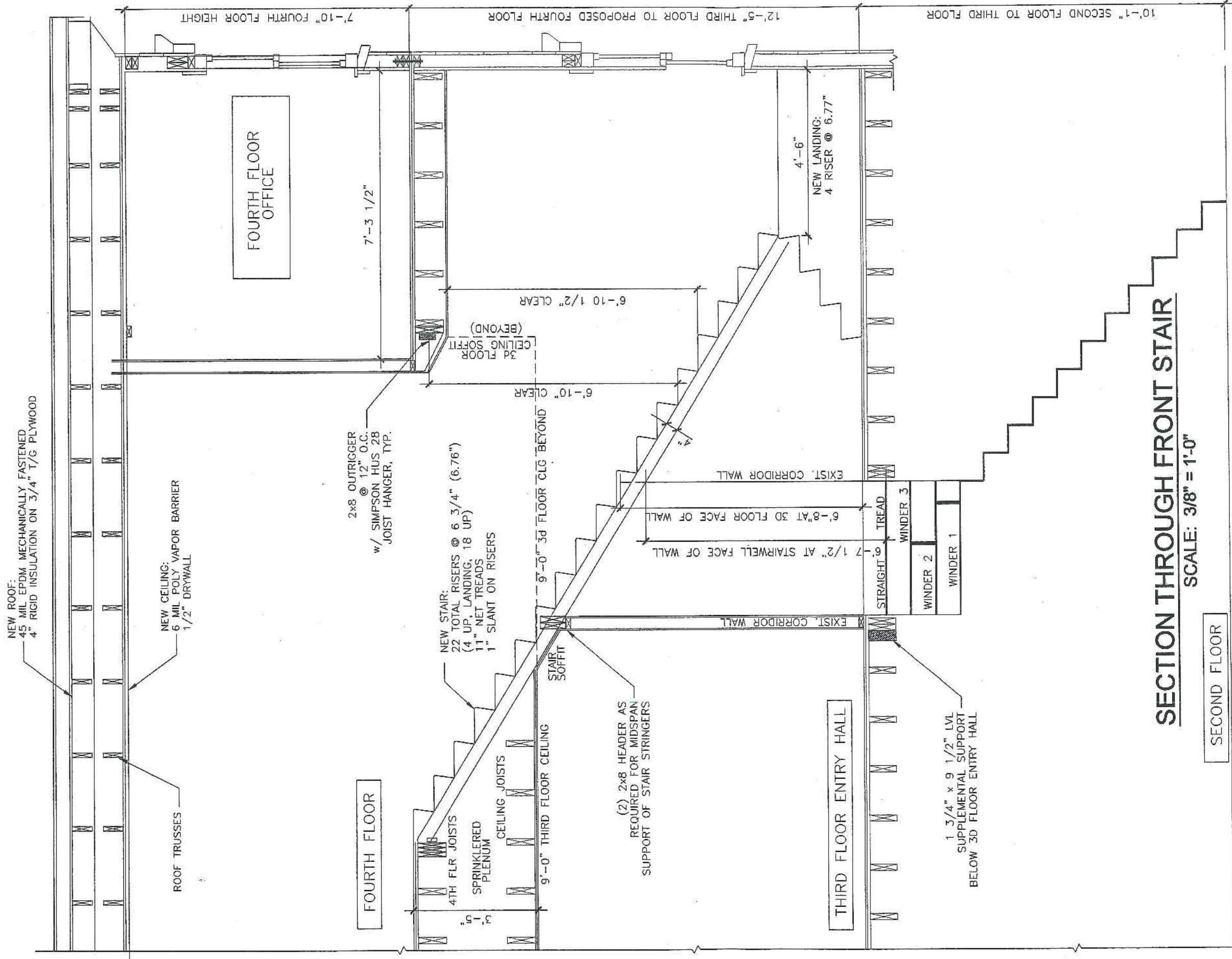
1. INSTALL SOLID LUMBER FIRE BLOCKING BETWEEN EXISTING WALL STUDS AT THE THIRD FLOOR LEVEL, IF NO SUCH BLOCKING EXISTS.
2. AFTER INSTALLING ELECTRICAL WIRING, BLOCK ALL EXISTING, ABANDONED HOLES THAT WERE DRILLED IN PREVIOUSLY-EXISTING BLOCKING.

RESURGENCE ENGINEERING & PRESERVATION, INC. 132 BRENTWOOD STREET PORTLAND, ME 04103 V/F (207) 773-4880 RESURGENCEINC@AOL.COM	
CLIENT: ALAN JAGGER 21-23 SHERIDAN STREET PORTLAND, ME 04103	
DATE: 25 JUN 04	SCALE: AS NOTED
DRAWN BY: A. HODSON	CHECKED BY: A. HODSON
PROJECT NUMBER: 04-008	CAD FILE JAGGERREV.DWG
P.E. STAMP -- ENGINEER OF RECORD	
	

DRAWING NUMBER:

S-1

SHEET 1 OF 5



SECTION THROUGH FRONT STAIR

SCALE: 3/8" = 1'-0"

SECOND FLOOR

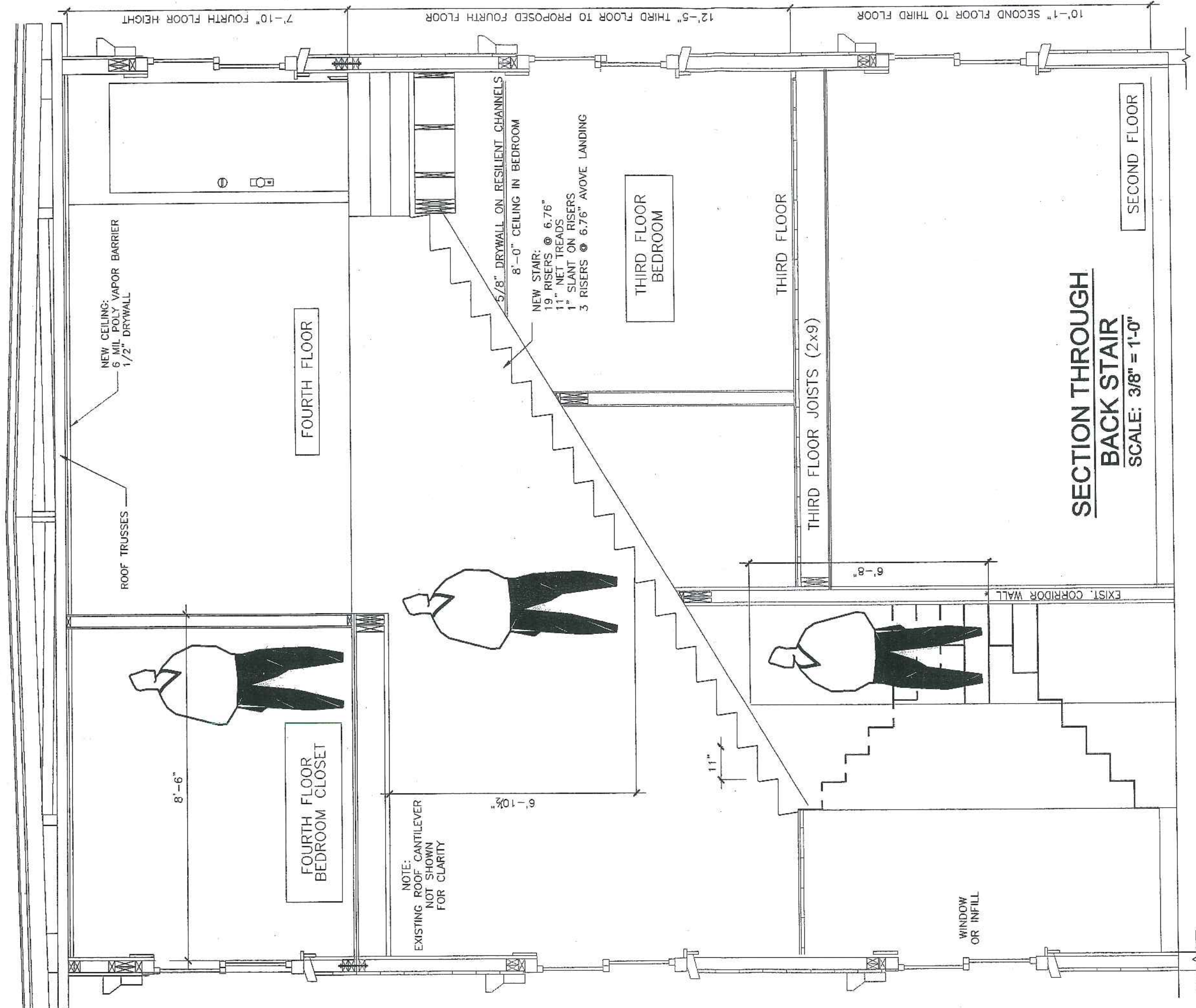
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DRAWN BY: A. HODSON	CHECKED BY: A. HODSON
PROJECT NUMBER: 04-008	CAD FILE JAGGER.DWG

P.E. STAMP -- ENGINEER OF RECORD

STATE OF MAINE
 ALFRED H. HODSON III
 No. 9246
 REGISTERED PROFESSIONAL ENGINEER



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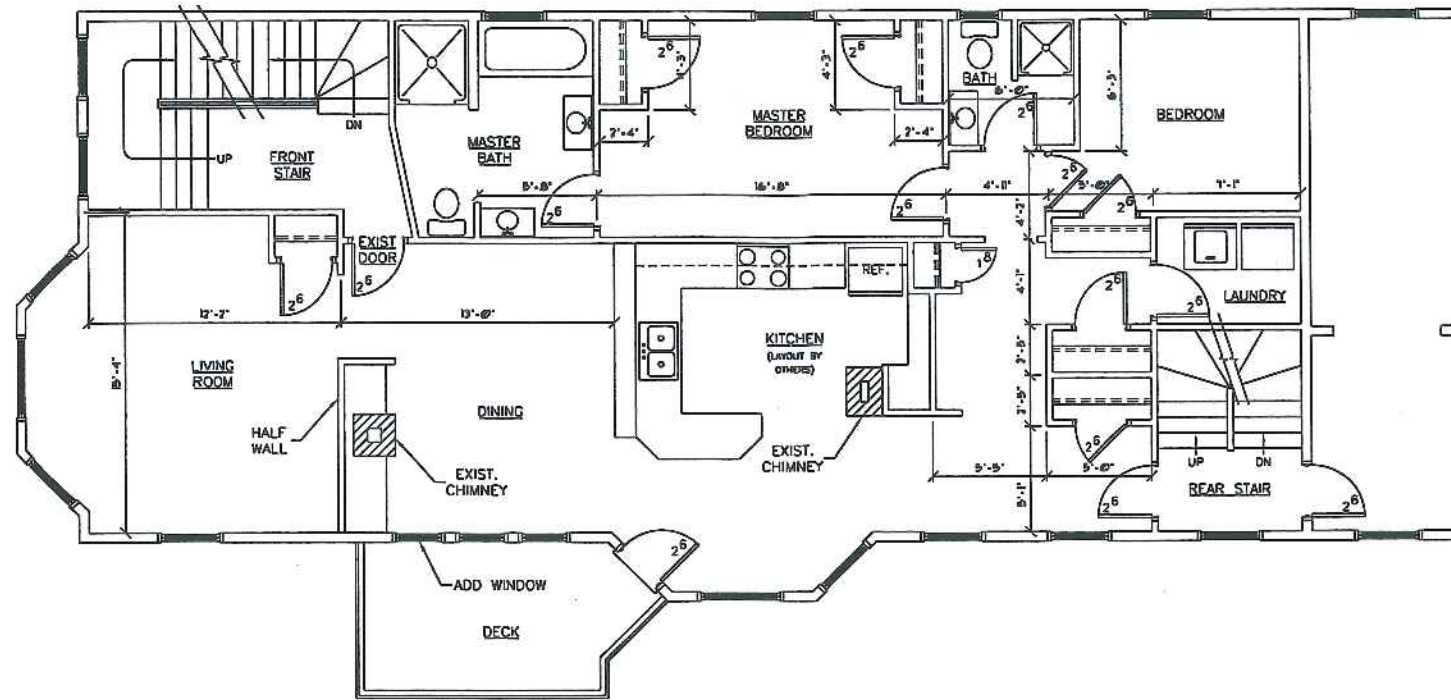
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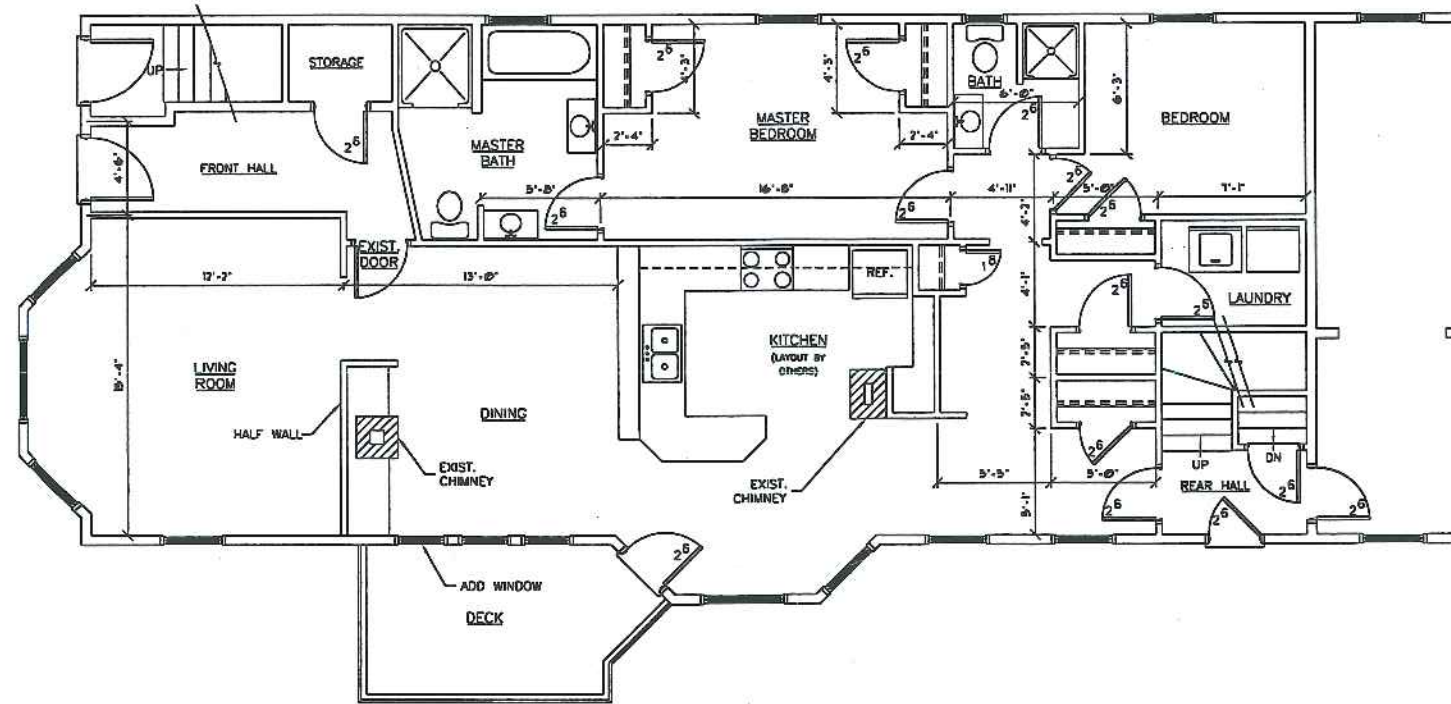
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**SECTION THROUGH
 BACK STAIR**
 SCALE: 3/8" = 1'-0"



2 SECOND FLOOR PLAN
 A1 SCALE 1/4"=1'-0"



1 FIRST FLOOR PLAN
 A1 SCALE 1/4"=1'-0"

NOTE:
 THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
 IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
 FOR LOCAL CODE COMPLIANCE.
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 AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
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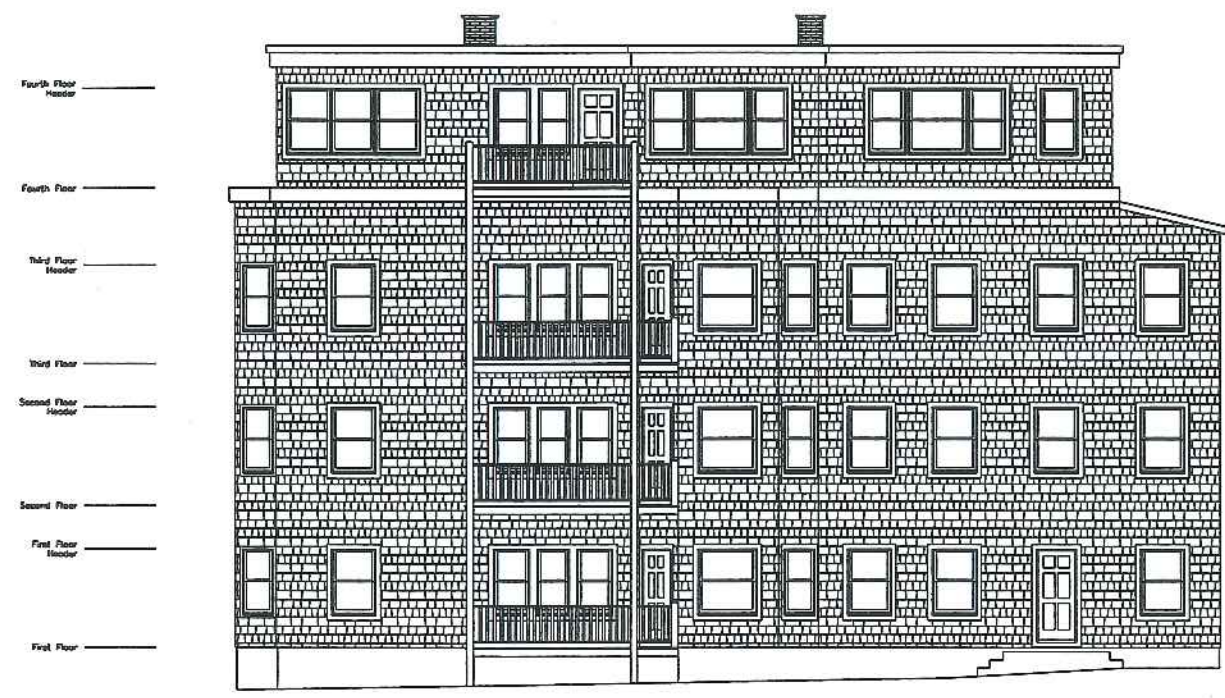
PROPERTY OF

FMC CADD
 Engineering Resource Center
 75 Bishop St.
 Portland, Maine 04103
 207-878-4511 Fax: 207-878-1513
 E-Mail: info@fmcadd.com

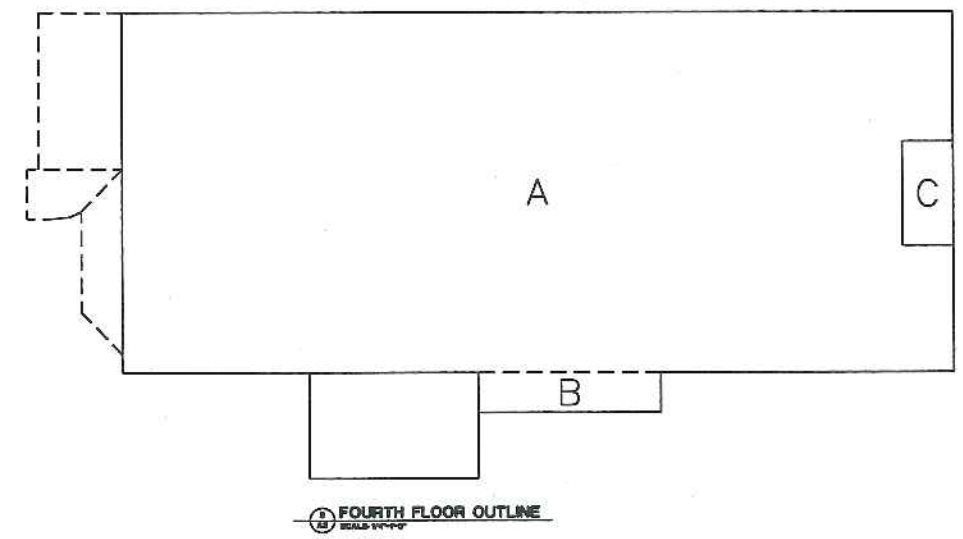


21-23 SHERIDAN STREET
 PORTLAND, MAINE 04101

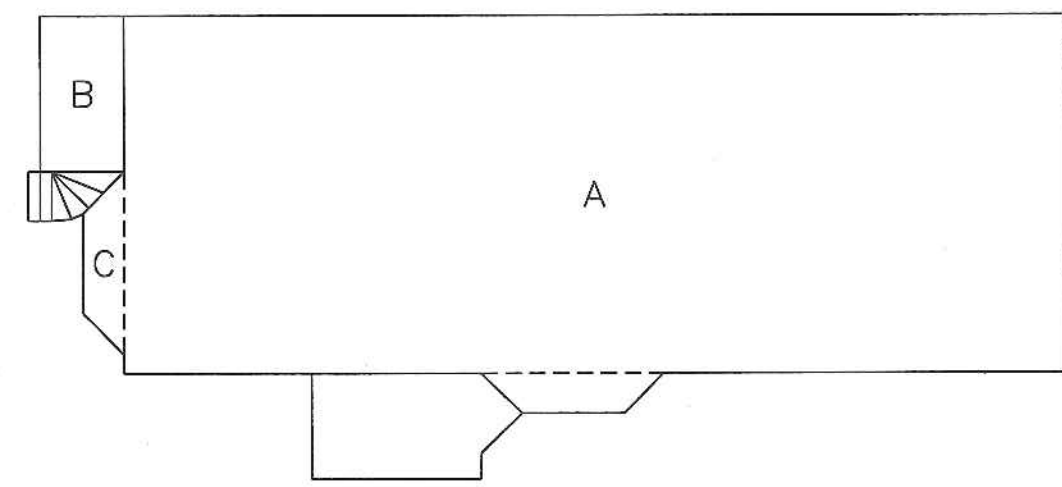
REV: 0
 CODE: 1898
 TOWN: PORTLAND
 DATE: 21 JULY 04
 SCALE: AS NOTED
 DRAWN: T.J./P.S.
 TITLE:
 FIRST AND
 SECOND FLOOR
 PLANS
 FILE: 04-0035
 SHEET:
 A1



ELEVATION
 SCALE: 1/4"=1'-0"



FOURTH FLOOR OUTLINE
 SCALE: 1/4"=1'-0"



GROUND LEVEL FOOTPRINT
 SCALE: 1/4"=1'-0"

GROUND FLOOR FOOTPRINT

A)	26.5	x	68	=	1734
+					
B)	$(8 \times 10) + (5 \times 6) + (1 \times 5)$	=	80		
+					
C)	$(5 \times 3) + 2(3 \times 4)$	=	27		
+					
D)	$(5 \times 2) + 2(2 \times 2.5)$	=	13		
+					
E)	5'-2"	x	12	=	82
					1877

FOURTH FLOOR OUTLINE

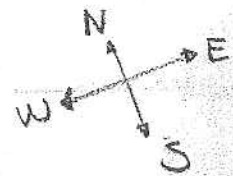
A)	26.5	x	80	=	1560
+					
B)	2	x	10	=	20
-					1560
C)	4	x	7.5	=	30
					1520

SUMMARY

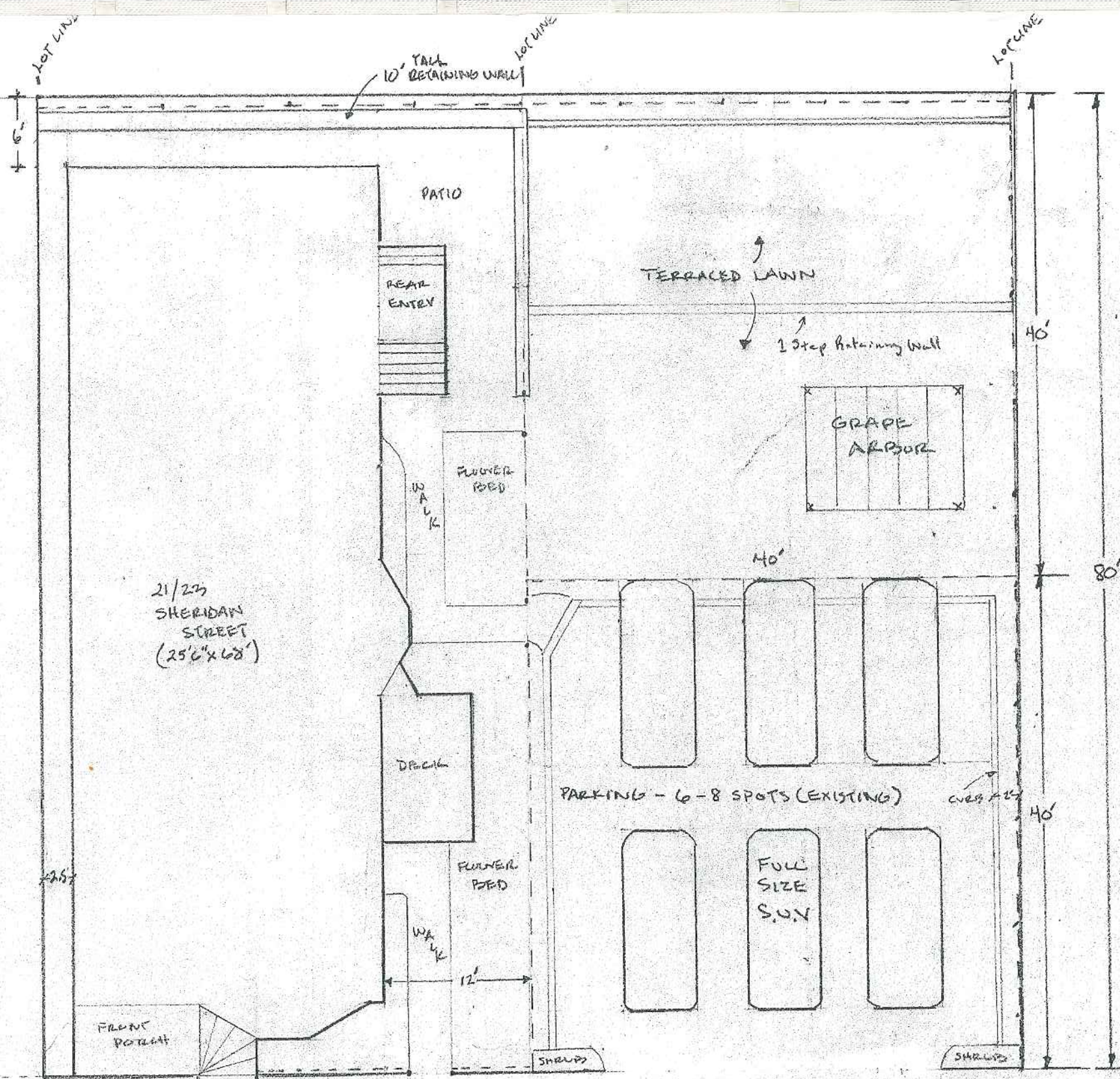
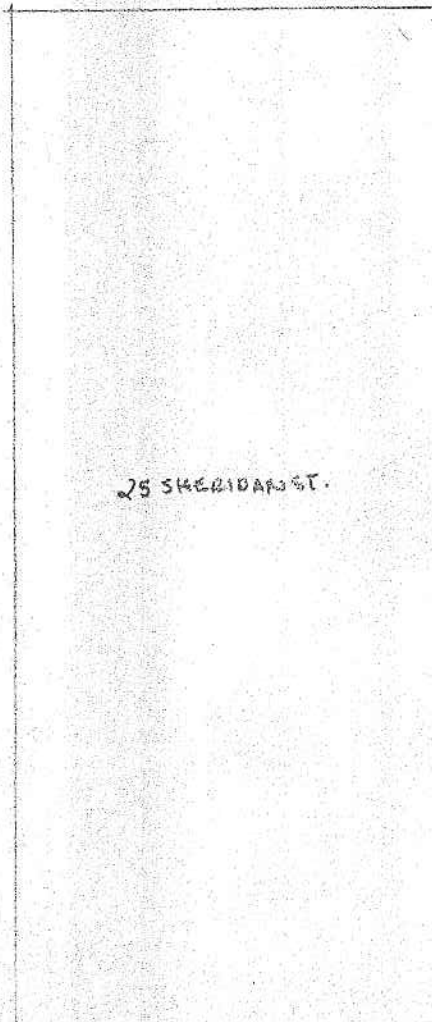
FIRST FLOOR	=	1816			
+					
B)	2	x	10	=	20
-					1560
C)	4	x	7.5	=	30
					1520

80% RULE

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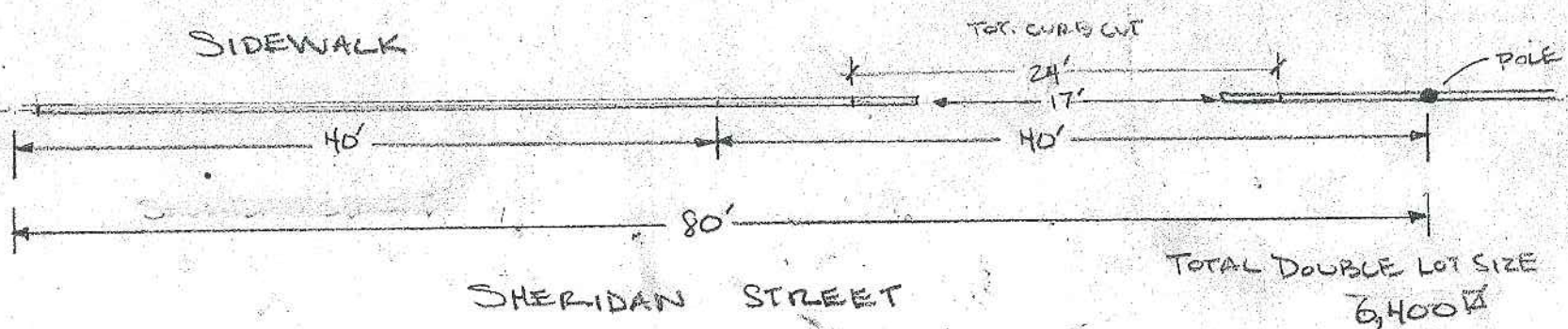


SITE PLANS
21/23 SHERIDAN ST.
17-F-20/21



NOTES: 1/8" = 1'
- HASH MARKS INDICATE CHAIN LINK FENCE
- EVERYTHING EXISTING EXCEPT PROPOSED DECK

CURB
17' NEIGHBORS DRIVE



when 3 units