



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

ALLAN JAGGER

Applicant

251 WOODLAND ST.
* PORTLAND, ME 04103

Applicant's Mailing Address

ALLAN JAGGER 761 8098 or 9391730 *
Consultant/Agent/Phone Number

21/23 SHERIDAN ST. PORTLAND,
Address of Proposed Site

Application Date

21 SHERIDAN ST. ADDITION/ RENOVATION/

Project Name/Description

CBL: 17-F-20/21

Description of Proposed Development:

RENOVATION OF EXISTING 3 APARTMENTS
AND ADDITION OF 4TH STORY APARTMENT.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
YES	on top of existing structure ✓
YES	no footprint increase ✓
YES	existing ✓
YES	✓
YES	pk9 lot exists ✓
YES	✓
YES	✓
YES	✓

Planning Division Use Only

Exemption Granted Partial Exemption Exemption Denied

For parking count purposes - 3 family from 1920 assessors records

Planner's Signature *[Signature]*

Date 8/27/04

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET, PORTLAND, ME 04103
V/F (207) 773-4880

EMAIL: RESURGENCEINC@AOL.COM

Mr. Michael Nugent – Codes Enforcement Officer
City of Portland – Planning and Development
389 Congress Street
Portland, ME 04101

Draft: June 25, 2004

RE: Fourth Floor Addition Structural Engineering Design
21-23 Sheridan Street, Portland, ME
Chart-Lot-Block Number 17-f-20/21
Resurgence Project Number 03-008

Mr. Nugent,

The following summary details the existing conditions and proposed modifications at 21-23 Sheridan Street. As we discussed, stairs to the new fourth floor will comply with requirements for commercial stairs (7" max. risers; 11" net treads). Existing stairs will remain as-is.

21-23 Sheridan Street is currently a three-unit apartment building. The building owner, Alan Jagger, wishes to add a fourth unit and fourth floor to the building. The attached plans and the following paragraphs outline critical structural engineering scope items for this project, and how he plans to meet City of Portland Zoning Ordinances and building codes.

STRUCTURAL CAPACITY AND OTHER POTENTIAL STRUCTURAL ISSUES

The existing building is structurally sound, plumb, and level, and the existing building walls should be strong enough to receive a fourth floor.

The existing roof framing consists of rough-cut, 2 x 9" joists spaced at 1'-2" to 1'-6" on center (most were 1'-4" on center). This roof framing currently pitches toward a center roof drain, which will be abandoned. The roof surfacing will be removed and sloped floor joists will be placed over the decking to level out the proposed fourth floor. Structural analysis of this framing

indicates that it can support code-required floor loading of 40 psf for the proposed fourth floor. The existing joists are adequate to support anticipated deflection and shear forces.

OVERALL HEIGHT OF EXISTING AND PROPOSED STRUCTURES

The attached plan sketch, SK-R1 shows the overall building height at key locations around the perimeter. The overall height at the four building corners was calculated and averaged. The average building height is 35.57 feet (35'-6 7/8"). As we understand it, the existing roof drains may not be used, so the new roof will be a shallow-pitch (3/4" in 12") truss roof. Considering the current city-required mean roof height of 45 feet, and the design of the shallow-pitch truss, the allowable ceiling height in the fourth floor unit is 7'-10".

SPRINKLERS AND SMOKE ALARMS

As we discussed, hard-wired smoke alarms with battery back-up should be installed in all sleeping rooms and in critical stairwell areas. Final floor plans provided by Alan Jagger's electrical system designer will show proposed locations.

Additionally, the entire building, including the plenum between the third and fourth floors, will be provided with an NFPA 13 or 13R sprinkler system as required by the State Fire Marshal's Office. The sprinkler designer will provide these plans.

EXISTING STAIR GEOMETRY AND PROPOSED STAIR LAYOUT

The existing building has front and rear stairwells with winders up to the third floor. It is our understanding from your office that these may remain in place as is, with new handrails.

The proposed fourth floor addition will also have two stairwells. Both will have an intermediate landing, due to the 12'-5" floor-to floor height between the third and fourth floors.

The front stair will be a fully code-compliant stair with 7" risers and 11" net treads, providing the required 6'-8" clearance between the stair below and the fourth floor above. Sheet S-3, attached, shows a cross-section through this stair.

The rear stair will have 6.76" risers and 11" net treads, with an intermediate landing near the fourth floor. Sheet S-4, attached, shows a cross section through the stair.

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CONCLUSION

The existing building at 21-23 Sheridan Street is structurally sound and can support a fourth floor. The proposed fourth floor can be added within the city's 45 foot height requirement. The entire building will be protected with a sprinkler system. Hard-wired, battery-backup smoke detectors and alarms will be installed in sleeping rooms and other critical locations. The front and rear stairwells will be fully code-compliant with treads, risers, handrails, landings, head clearances, and fire rating. The net area of the unit will be within the 80 percent of the first-floor area as required by the city.

If you have any questions, please do not hesitate to contact me. I enjoyed discussing these issues with you, and I appreciate your assistance with this project.

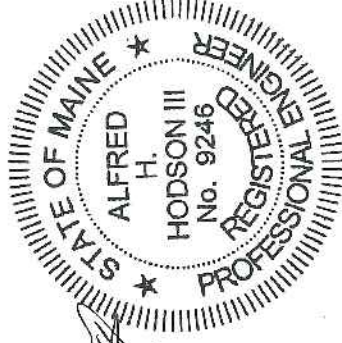
Sincerely,



Alfred H. Hodson III, P.E.

AHH/ah

encl: Plans and Details



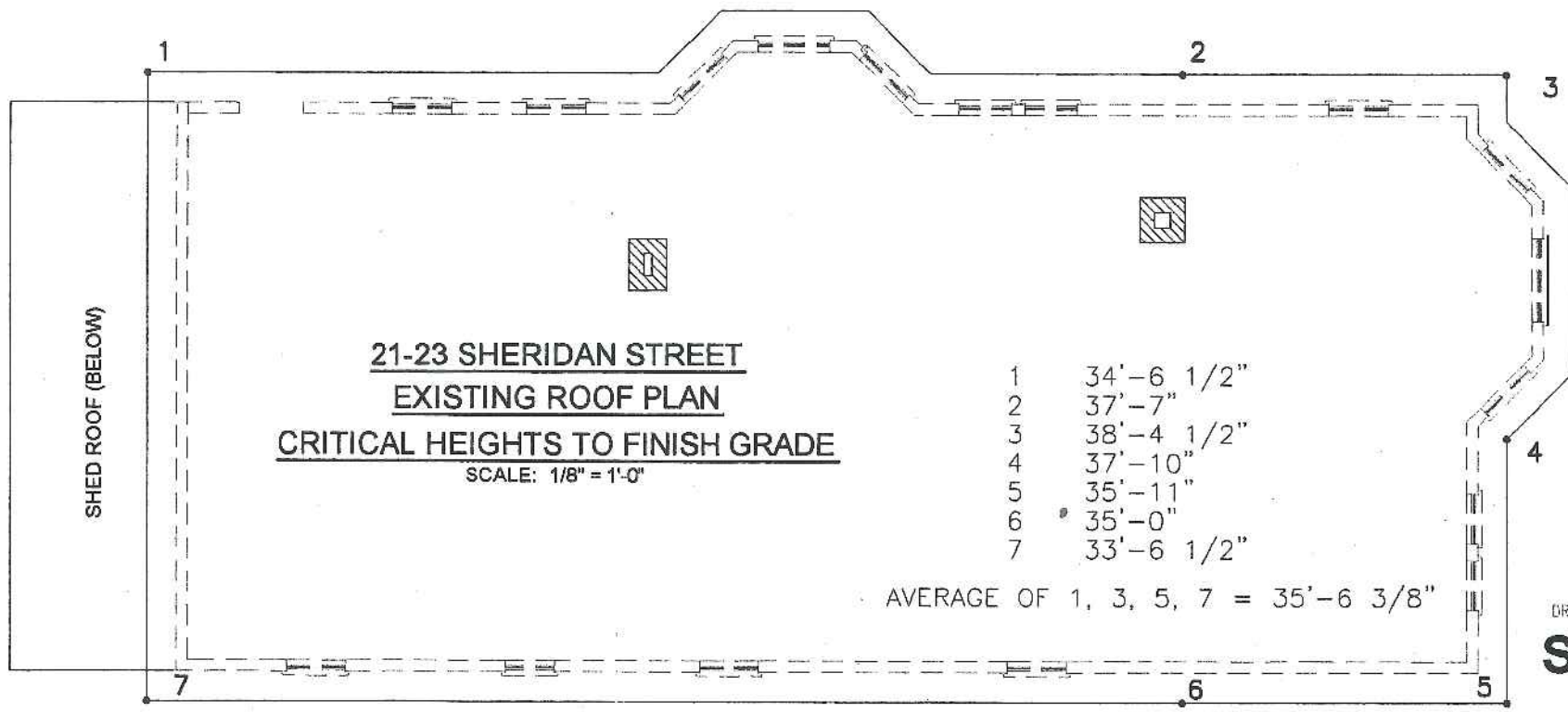
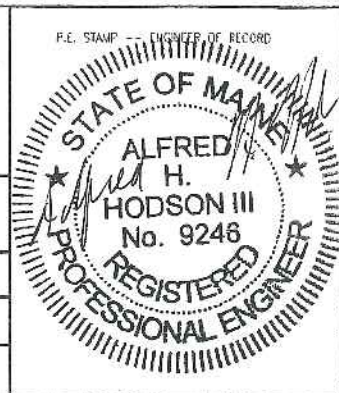
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 RESURGENCEINC@AOL.COM

CLIENT: ALAN JAGGER
 21-23 SHERIDAN STREET
 PORTLAND, ME 04103

DATE: 25 JUN 04 SCALE: AS NOTED

DRAWN BY: A. HODSON CHECKED BY: A. HODSON

PROJECT NUMBER: 04-008 CAD FILE: JAGGER.DWG



DRAWING NUMBER:
SK-R1

