

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION PERMIT

Permit Number SEP 162 2010

This is to certify that DUDLEY BENJAMIN F III & LYNN F DAVEY-ITS/Travis Bernb

City of Portland

has permission to addition to single family home

AT 9 PONCE ST CBL 017 C011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name



Director - Building & Inspection Services

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1116	Issue Date:	CBI.: 017 C011001
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Location of Construction: 9 PONCE ST	Owner Name: DUDLEY BENJAMIN F III & LYN	Owner Address: 9 PONCE ST	Phone:
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Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone: 2079396572
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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6
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Past Use: Single Family Home	Proposed Use: Single Family Home - addition to single family home	Permit Fee: \$550.00	Cost of Work: \$53,000.00	CEO District: I	5012#
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FIRE DEPT: N/A <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC, 200#
Signature	Signature:

Proposed Project Description:
addition to single family home

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 09/07/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews

no closer than 5' side setback ok per 1A-433

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan

Major Minor MM

Date: *9/10/10*

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Date: _____

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review
 Approved
 Approved w/Conditions
 Denied

Date: _____

PERMIT ISSUED

SEP 22 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

9. 13⁷ 20 10

Received from Travis Berube

Location of Work 9 Police

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 550

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 17011

Check #: CL Total Collected \$ 550

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 Ponce Street</u>		
Total Square Footage of Proposed Structure/Area <u>792 sqft</u>	Square Footage of Lot	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>N</u> Block# <u>C</u> Lot# <u>11</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Travis Berube</u> Address <u>67 Boothby Ave</u> City, State & Zip <u>S. Portland, ME 04106</u>	Telephone: <u>207-939-6572</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Ben Dudley and Lynn Davey</u> Address <u>9 Ponce Street</u> City, State & Zip <u>Portland, ME 04101</u>	Cost Of Work: \$ <u>53,000</u> C. of O Fee: \$ _____ Total Fee: \$ <u>550-</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Addition to single f home</u> <u>removing existing rear Deck</u>		
Contractor's name: <u>Travis Berube</u> Address: <u>67 Boothby Ave</u> City, State & Zip <u>South Portland, ME 04106</u> Telephone: <u>939-6572</u> Who should we contact when the permit is ready: <u>Travis Berube</u> Telephone: <u>939-6572</u> Mailing address: <u>67 Boothby Ave South Portland, ME 04106</u>		

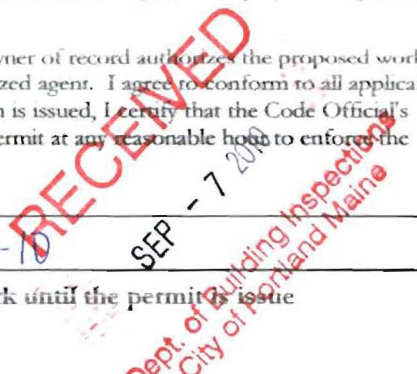
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9-7-10

This is not a permit; you may not commence ANY work until the permit is issued



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1116	Date Applied For: 09/07/2010	CBL: 017 C011001
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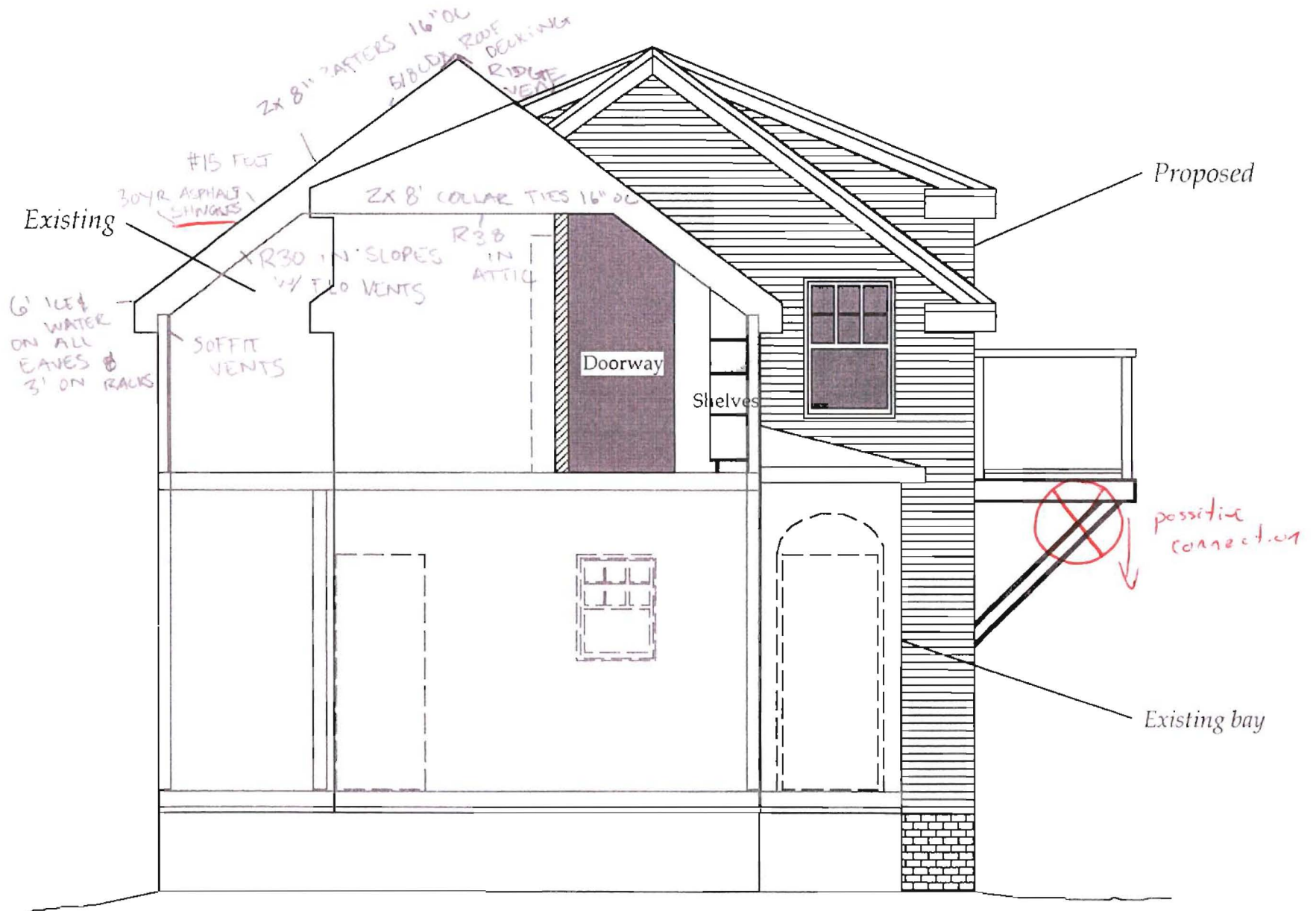
Location of Construction: 9 PONCE ST	Owner Name: DUDLEY BENJAMIN F III & LYN	Owner Address: 9 PONCE ST	Phone:
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone: (207) 939-6572
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - addition to single family home - removing existing rear deck	Proposed Project Description: addition to single family home
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 09/10/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the existing rear deck is being removed to accomodate the new addition. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jonathan Rioux	Approval Date:
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform. 2) Glass glazing required adjacent to stairways when exposed surface of the glass is less than 60 inches above the nose of the tread. 3) Fastener schedule per the IRC 2003 4) Guards must be 36 inches in height with openings less than 4 inches. A graspable rails must be installed on one side of the stair guard at 34" to 38". 5) Hardwired interconnected battery backup smoke detectors and CO detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level. 6) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor (at least 4' from grade). 7) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 8) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office. 			

Comments: 9/21/2010-jrioux: Spoke with Contractor the "cantilevered" deck on second floor does not meet code; he would like to remove the deck and door from the plans, and in the future amend the permit, if need be. One of the windows in Master Bedroom will become "egress" with the removal of the door
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Drawing: Davey / Dudley - Front View "B" - "B"

Date: June 29, '10

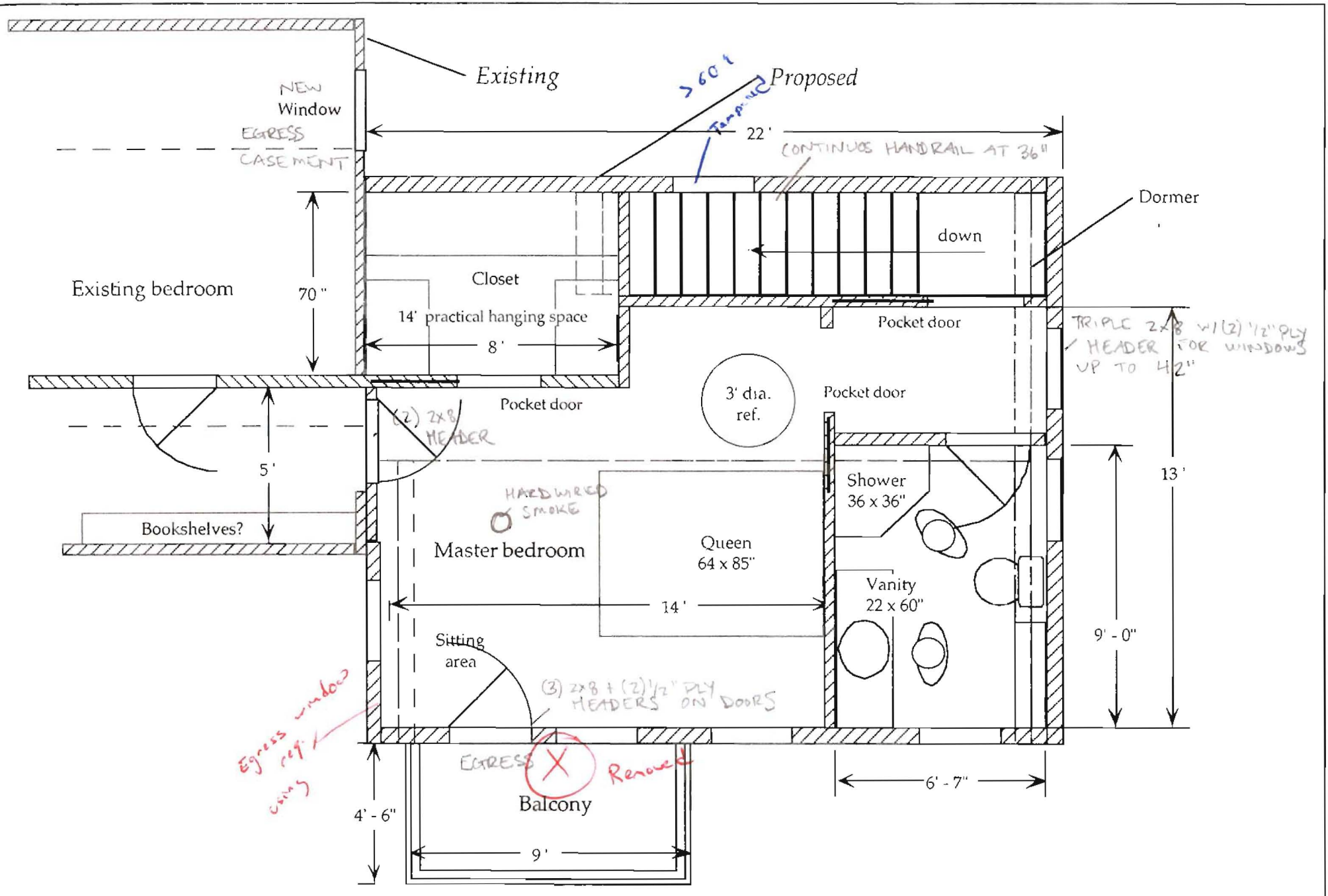
Scale: 1" = 4'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: Dudley/Davey Residence - Second Floor Plan A, 22' Date: June 29, '10 Scale: 1" = 4'

2x12 JOISTS

36' CONTINUOUS HANDRAIL

2x12 STRINGERS

STAIRS TO BASEMENT

7 1/4" RISE

← 10" TREAD

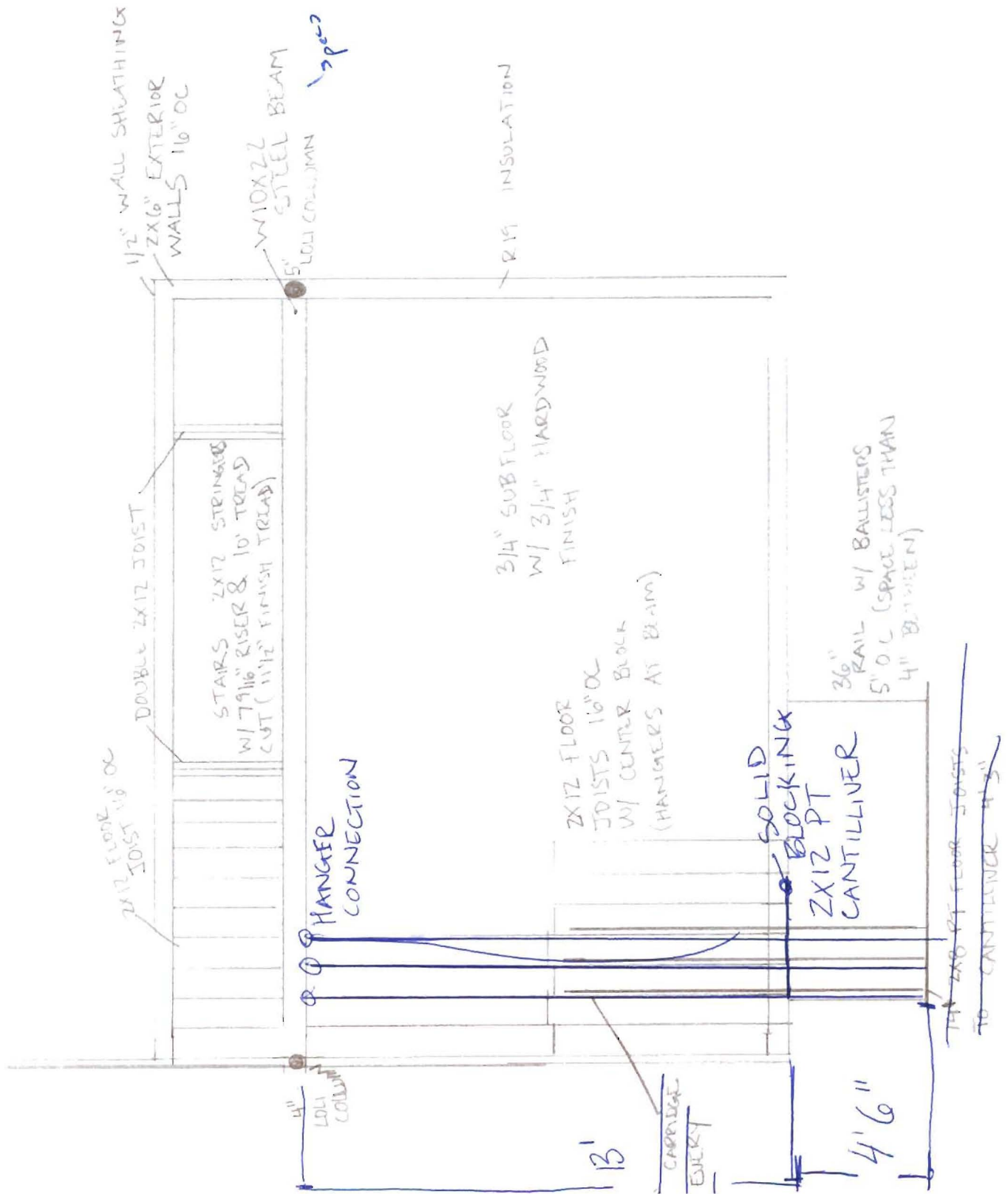
W10x22
STEEL BEAM

HANGERS @ BEAM

Specs
needed

2x12 JOISTS 16" OC
W/ CENTER BLOCKING

FIRST FLOOR TRAMMING



1/2" WALL SHEATHING
 2x6" EXTERIOR WALLS 16" OC

W10X22 STEEL BEAM
 5" LOLI COLUMN *spec*

R19 INSULATION

DOUBLE 2x12 JOIST

STAIRS 2x12 STRINGERS
 W/ 7 1/2" RISER & 10" TREAD
 CUT (1 1/2" FINISH TREAD)

3/4" SUBFLOOR
 W/ 3/4" HARDWOOD FINISH

2x12 FLOOR JOISTS 16" OC
 W/ CENTER BLOCK (HANGERS AT BEAM)

HANGER CONNECTION

SOLID BLOCKING

2x12 PT CANTILLIVER

36" RAIL W/ BALLISTERS
 5" O.C (SPACE LESS THAN 4" BETWEEN)

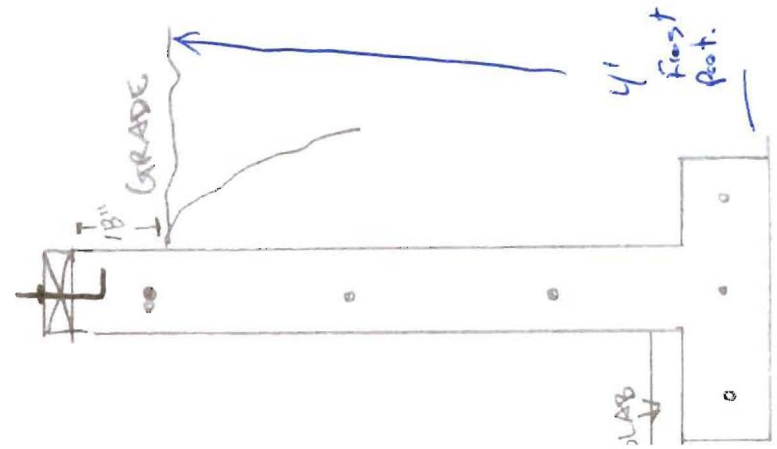
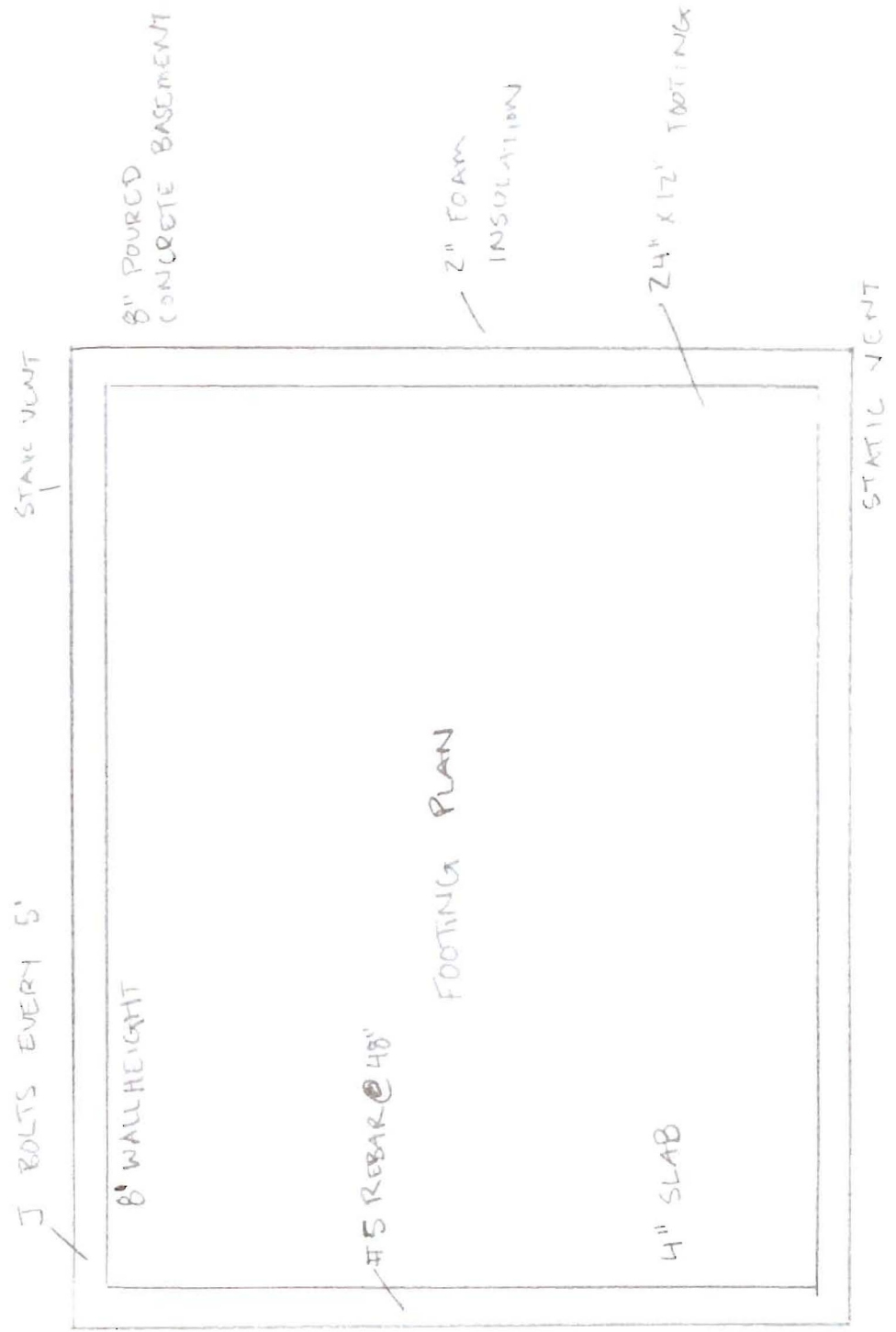
~~1 1/2" 2x8 PT FLOOR JOISTS TO CANTILLIVER 4 3/4"~~

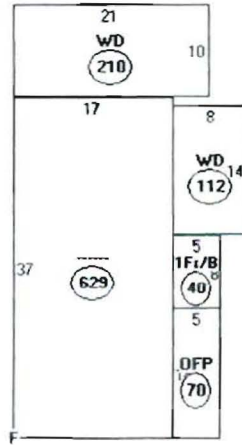
4" LOLI COLUMN

3'

CARRIAGE ENERGY

4'6"





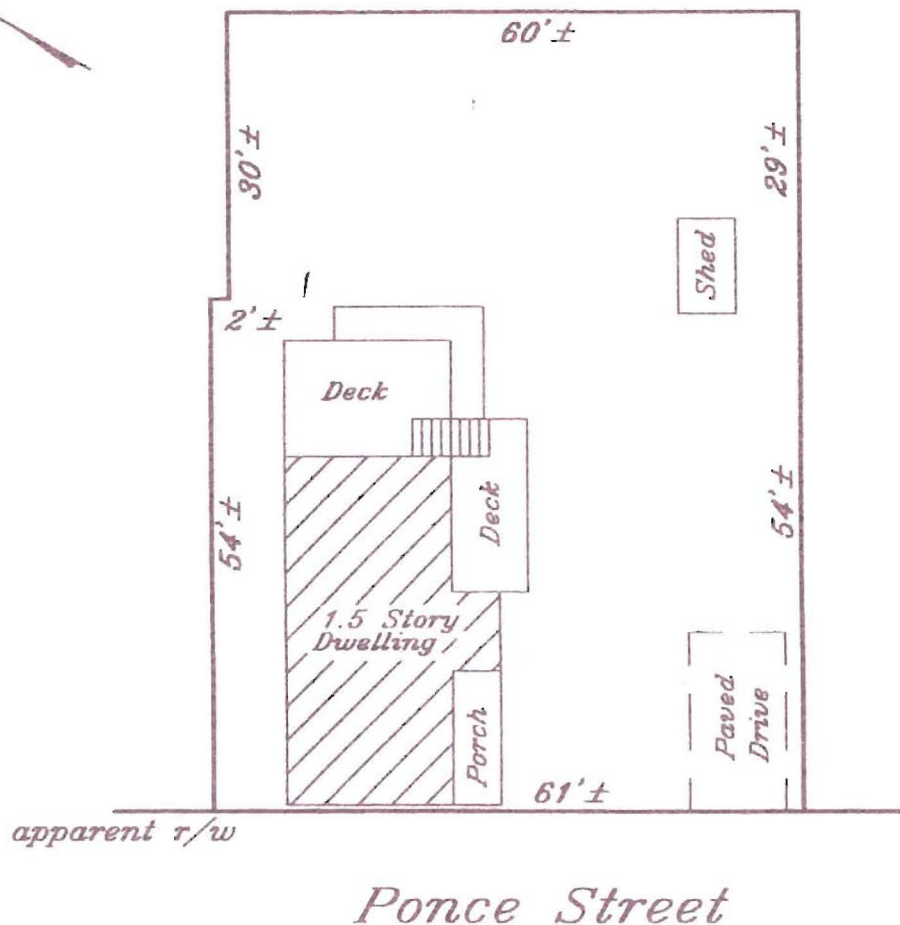
Descriptor/Area

- A: ----
629 sqft
- B: WD
210 sqft
- C: WD
112 sqft
- D: 1Fr/B
40 sqft
- E: OFF
70 sqft
- F: RS1
80 sqft

provided title references and does not reveal any conflicts with abutting deeds. (5) Flood hazard determination is made by scaling distances on below referenced FEMA Map. (6) This inspection is to be used only by the below listed lender, title company &/or attorney and its title insurer.

Address: 9 Ponce Street
Portland, Maine

Inspection Date: 1-8-01
Scale: 1" = 20'



See title references for appurtenances.

Applicant: Benjamin Dudley & Lynn Davey Requesting Party: Leete & Lemieux, P. A.

Owner: Britton & Ellen Wolfe Attorney: James R. Lemieux

Lender: _____ File # 2009216 Field Book: 201-37

Title References:

Deed Book: 13228 Page: 195
Plan Book: _____ Page: _____ Lot: _____
County: Cumberland

Municipal References:

Map: 17 Block: C Lot: 11

The dwelling does not fall within a Special Flood Hazard Zone Per Fema Community Map No. 230051

Nadeau & Lodge, Inc.
Professional Land Surveyors

844 Stevens Avenue 232 Clarks Woods Road
Portland, Maine 04103 Lyman, Maine 04002
(207)878-7870 (207)282-0331

BENJAMIN DUDLEY
9 PONCE STREET
PORTLAND, MAINE 04101
(207) 712-0891

April 8, 2010

Marge Schmuckal
City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Dear Marge,

Per our conversation of February 23, 2010, this letter is to describe the reasons for our request for a reduced side setback, pursuant to City of Portland Code of Ordinances section 14-433.

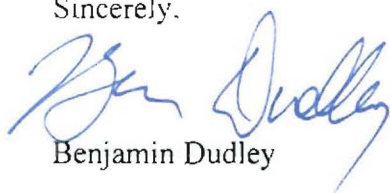
We are proposing an addition to our home at 9 Ponce Street, which existed as of July 19, 1988. The existing structure and a rear deck extending from it are situated 2 feet from the side property boundary. The proposed addition, at its closest proximity, would sit at 5 feet from the side property boundary.

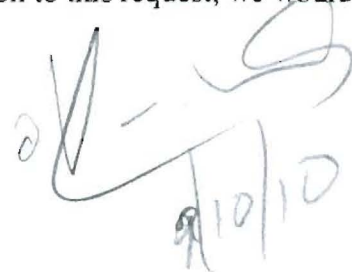
The justification for the requested reduced setback is to a) accommodate for headspace on the second floor, where the pitch of the roof limits the area where a person can walk between the existing structure and the new structure, and b) accommodate a first floor passageway between the existing structure and the new structure that does not require a reconfiguration of our kitchen (including water, gas and electrical utilities).

If there is any further information that we can provide to you in relation to this request, we would be pleased to do so.

Thank you for your consideration of this matter.

Sincerely,


Benjamin Dudley


9/10/10

Assessor's Office - 189 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#) [Home](#) [Departments](#) [City Council](#) [E Services](#) [Calendar](#) [Jobs](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600 with Internet Explorer

CBL	017 C011001
Land Use Type	SINGLE FAMILY
Property Location	9 PONCE ST
Owner Information	DUDLEY BENJAMIN F III & LYNN F DAVEY JTS
	9 PONCE ST PORTLAND ME 04101
Book and Page	16009/134
Legal Description	17-C-11 PONCE ST 7-9
	5012 SF
Acres	0.115

Current Assessed Valuation:

TAX ACCT NO.	2798	OWNER OF RECORD AS OF APRIL 2010 DUDLEY BENJAMIN F III & LYNN F DAVEY JTS 9 PONCE ST PORTLAND ME 04101
LAND VALUE	\$110,200.00	
BUILDING VALUE	\$69,300.00	
HOMESTEAD EXEMPTION	(\$10,000.00)	
NET TAXABLE - REAL ESTATE	\$169,500.00	
TAX AMOUNT	\$3,037.44	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

Year Built	1864
Style/Structure Type	OLD STYLE
# Stories	1
Bedrooms	2
Full Baths	1
Half Baths	1
Total Rooms	4
Attic	FULL FINSH
Basement	FULL
Square Feet	921

[View Sketch](#) [View Map](#) [View Picture](#)



Outbuildings/Yard Improvements:

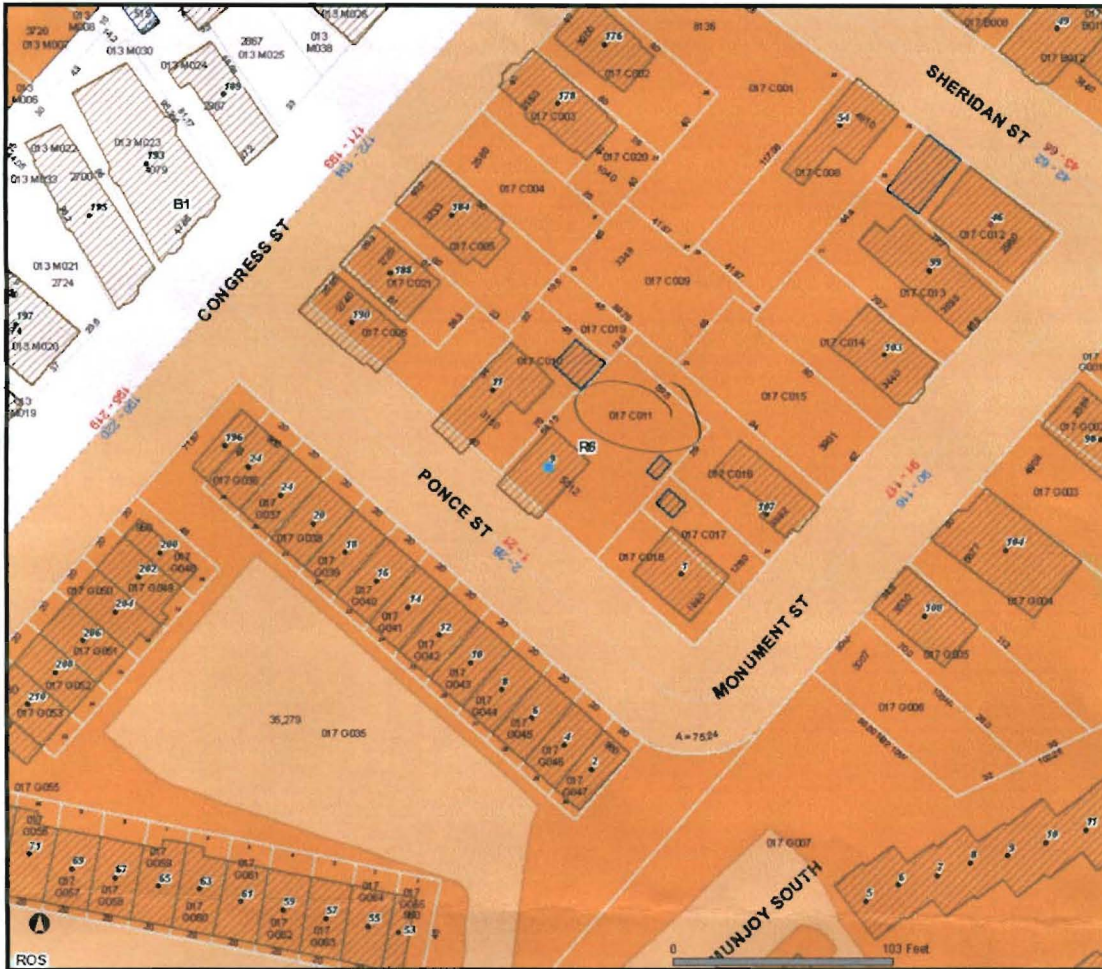
Card 1

Year Built	1996
Structure	SHED-FRAME
Size	6X10
Units	1
Grade	C
Condition	A

Sales Information:

Sale Date	Type	Price	Book/Page
2/7/2001	LAND + BUILDING	\$129,900.00	16009/134
8/1/1997	LAND + BUILDING	\$95,000.00	13228/195

[New Search!](#)



City of Portland
GIS



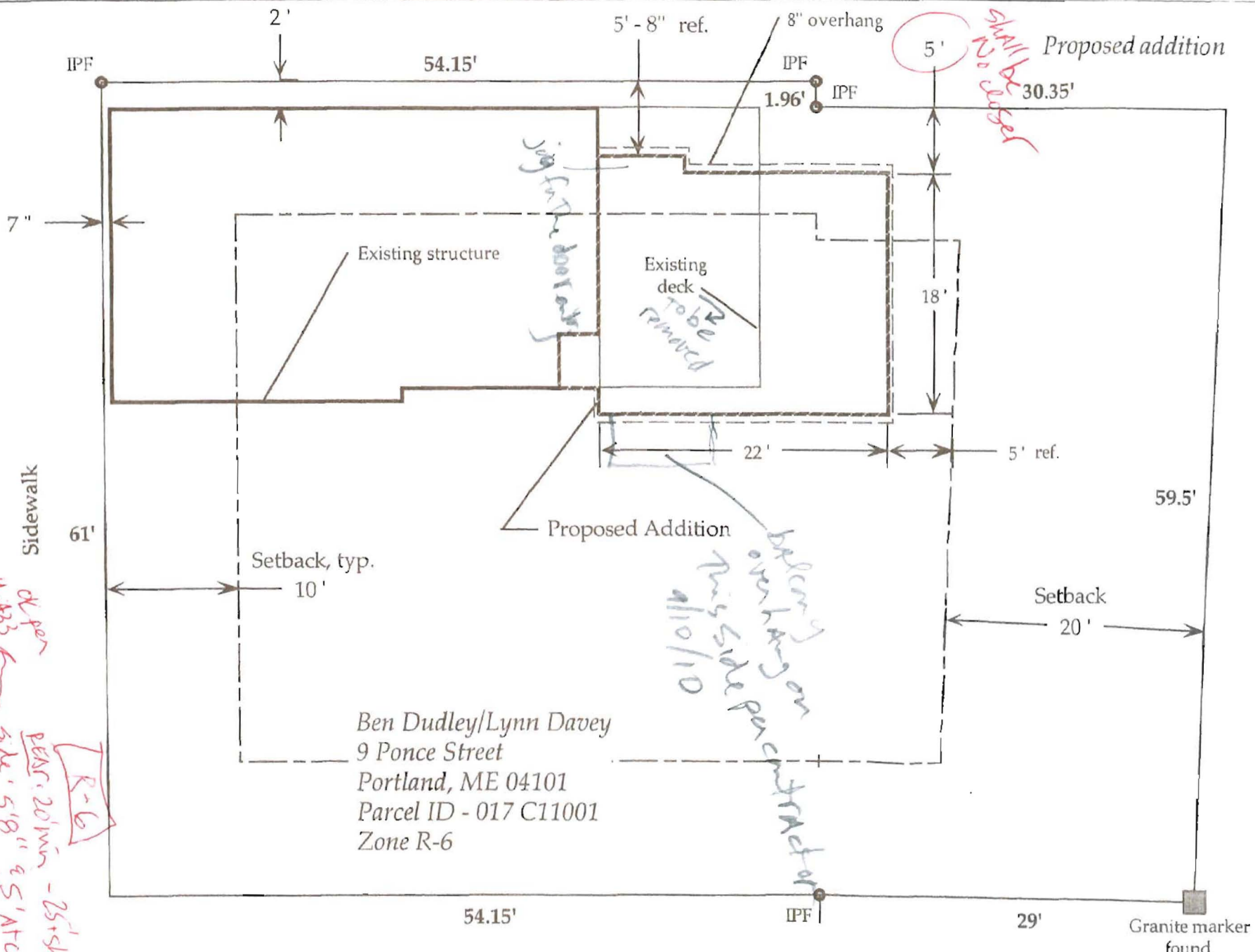
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Copyright 2007
City of Portland
389 Congress St.
Portland, Maine
04101

9-Force of,

✓ 2/23/10
wants to use 14-433 for A
5'8" setback on side instead
of 10' - 2nd floor impacted
1st floor impacted - currently
The deck is closer (1'-2') from
The property line (deck to be removed)

Ponce Street



Ben Dudley/Lynn Davey
 9 Ponce Street
 Portland, ME 04101
 Parcel ID - 017 C11001
 Zone R-6

Drawing: Dudley/Davey Residence - Plot Plan

Date: March 18, '10

Scale: 1" = 10'

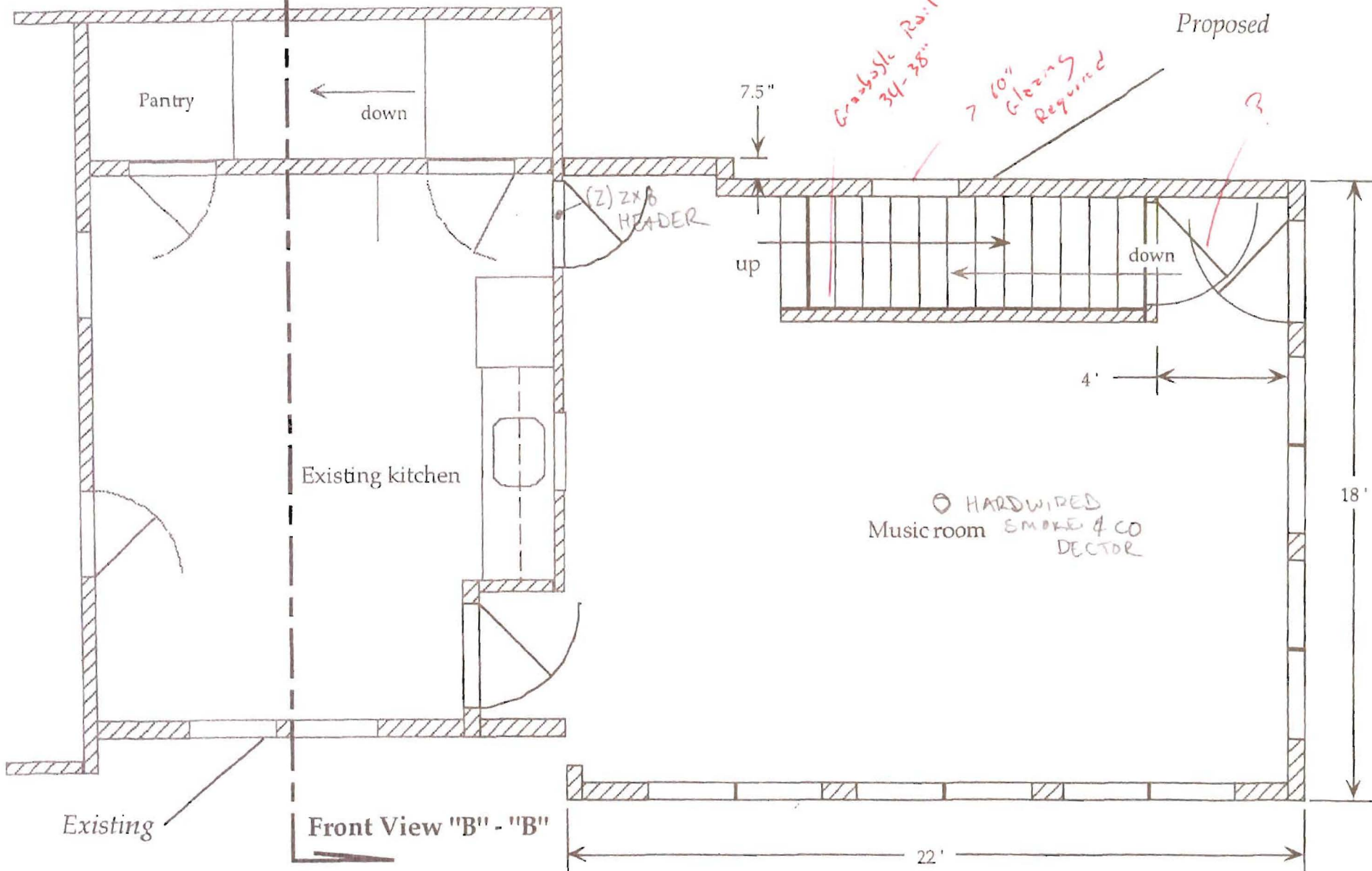
Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

Front View "B" - "B"



Drawing: Dudley / Davey Residence - First Floor Plan, 22'

Date: May 27, '10

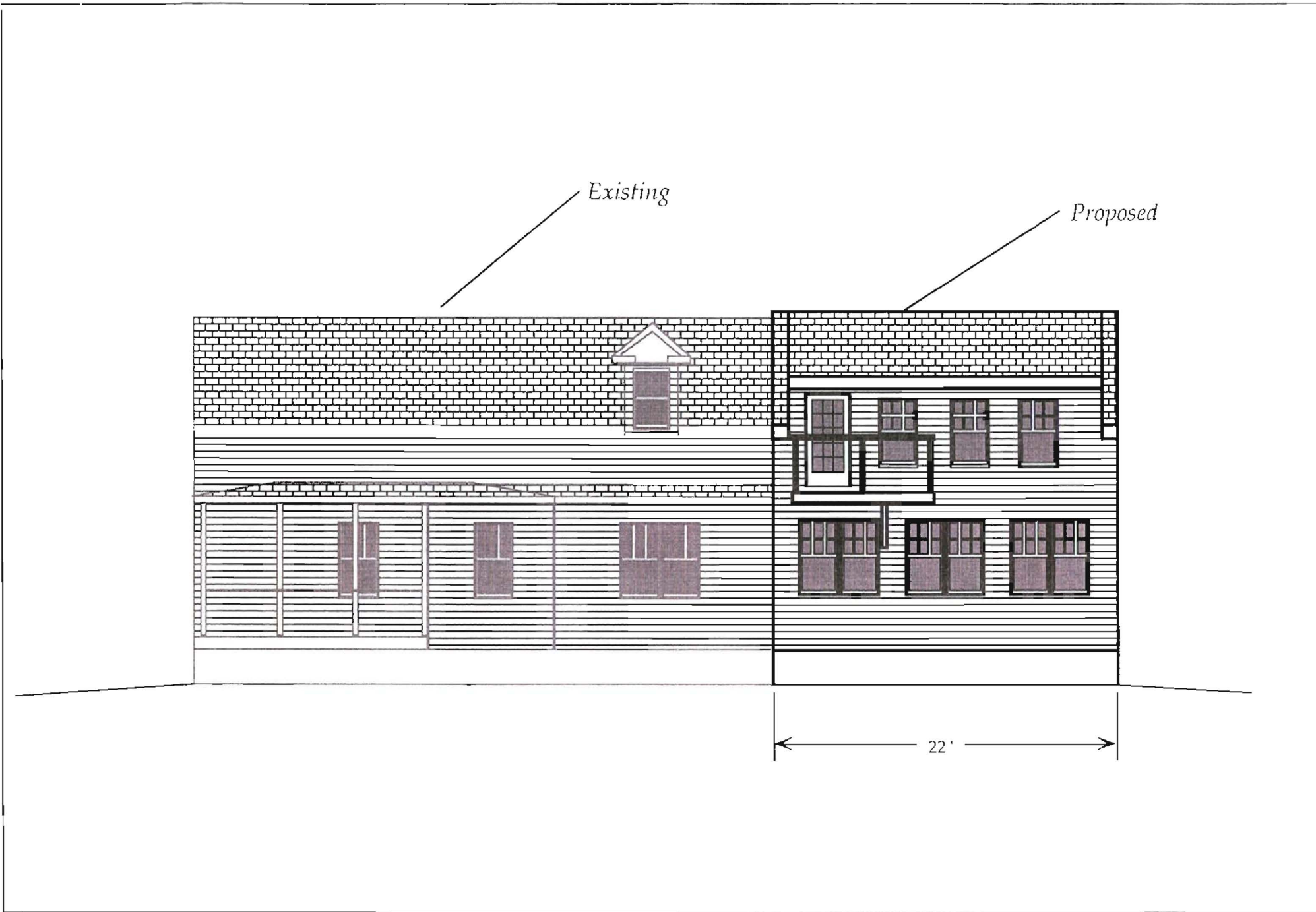
Scale: 1" = 4'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: Davey / Dudley - South Elevation, Plan A

Date: June 29, '10

Scale: 1" = 8'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: Davey / Dudley - Rear Elevation

Date: June 29, '10

Scale: 1" = 4'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050