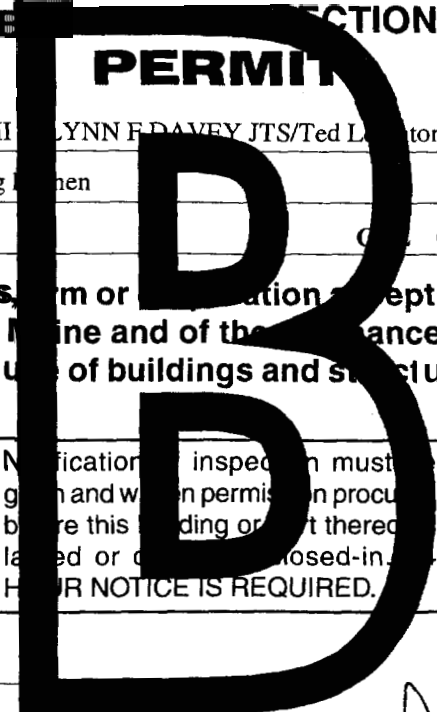


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached



PERMIT ISSUED
Permit Number: 051504
OCT 27 2005
CITY OF PORTLAND

This is to certify that DUDLEY BENJAMIN F III LYNN F DAVEY JTS/Ted L ton
has permission to Add bay window to eixsting men
AT 9 PONCE ST 017 C011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept
- Health Dept.
- Appeal Board
- Other

Department Name

Jamie Banke 10/26/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1504	Issue Date: PERMIT ISSUED OCT 27 2005	017	C011001
Owner Address: 9 PONCE ST	Contractor Address: P.O. Box 254 Portland	Phone: 408-68958	Phone: CITY OF PORTLAND
Permit Type: Alterations Addition - Dwellings	Zone: R6		

Location of Construction: 9 PONCE ST	Owner Name: DUDLEY BENJAMIN F III & LYN
Business Name:	Contractor Name: Ted Leighton
Lessee/Buyer's Name	Phone:

Past Use: Single Family Home	Proposed Use: Single Family Home/ Add bay window to existing kitchen 4' x 11'-7"
---------------------------------	---

Permit Fee: \$102.00	Cost of Work: \$8,500.00	CEO District: 1
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SE JRC-2003 Signature: AMB 10/26/05	
Signature:	Date:	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____	

Proposed Project Description:
Add bay window to existing kitchen
4' x 11'-7"

Permit Taken By: Idobson	Date Applied For: 10/13/2005	Zoning Approval		
-----------------------------	---------------------------------	------------------------	--	--

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p align="center">Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: AMB 10/25/05	<p align="center">Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p align="center">Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: AMB
---	--	--	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1504	Date Applied For: 10/13/2005	CBL: 017 C011001
------------------------------	--	----------------------------

Location of Construction: 9 PONCE ST	Owner Name: DUDLEY BENJAMIN F III & LYN	Owner Address: 9 PONCE ST	Phone:
Business Name:	Contractor Name: Ted Leighton	Contractor Address: P.O. Box 254 Portland	Phone: (207) 846-8958
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ Add bay window to existing litchen	Proposed Project Description: Add bay window to existing kitchen
--	--

Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 10/25/2005
Note: **Ok to Issue:**

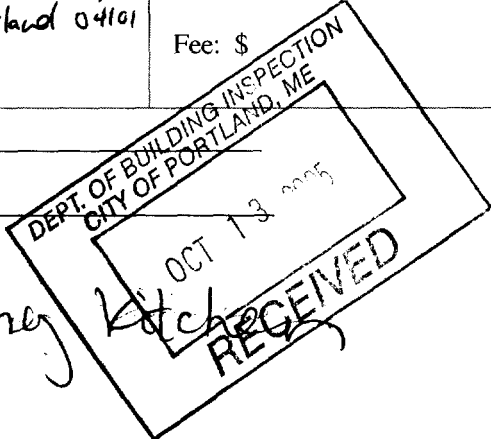
Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/26/2005
Note: 10/25/05 left vm w/Ben D. For details, he called back and verified that the bay will be extended in length 3' to be 11'-7" and suggested I speak w/ the contractor for construction details. Left vm w/Ted L. W/specifcics.
10/26 Ted L. Called w/details as noted on plans

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) The u-factor of the new windows must be submitted to this office prior to installation
- 4) Separate permits are required for any electrical, plumbing, or heating.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>9 Ponce St</u>		
Lot# <u>001</u>	<u>Benjamin Dudley III</u>	<u>773-6356</u>
Lessee/ Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Lynn Davey & Benjamin Dudley</u> <u>9 Ponce Street, Portland 04101</u> <u>207-773-6356</u>	Cost Of Work: \$ <u>8,500</u> Fee: \$
Current Specific use: _____		
Proposed Specific use: <u>Extend kitchen space</u>		
Project description: <u>Add bay window to existing kitchen</u>		
		
Contractor's name, address & telephone: <u>Ted Leighton</u>		<u>251 Wampanoag, ME</u> <u>04094 846-8958</u>
Who should we contact when the permit is ready: <u>Owners</u>		
Mailing address:		
		Phone: <u>773-6356</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your pennit.

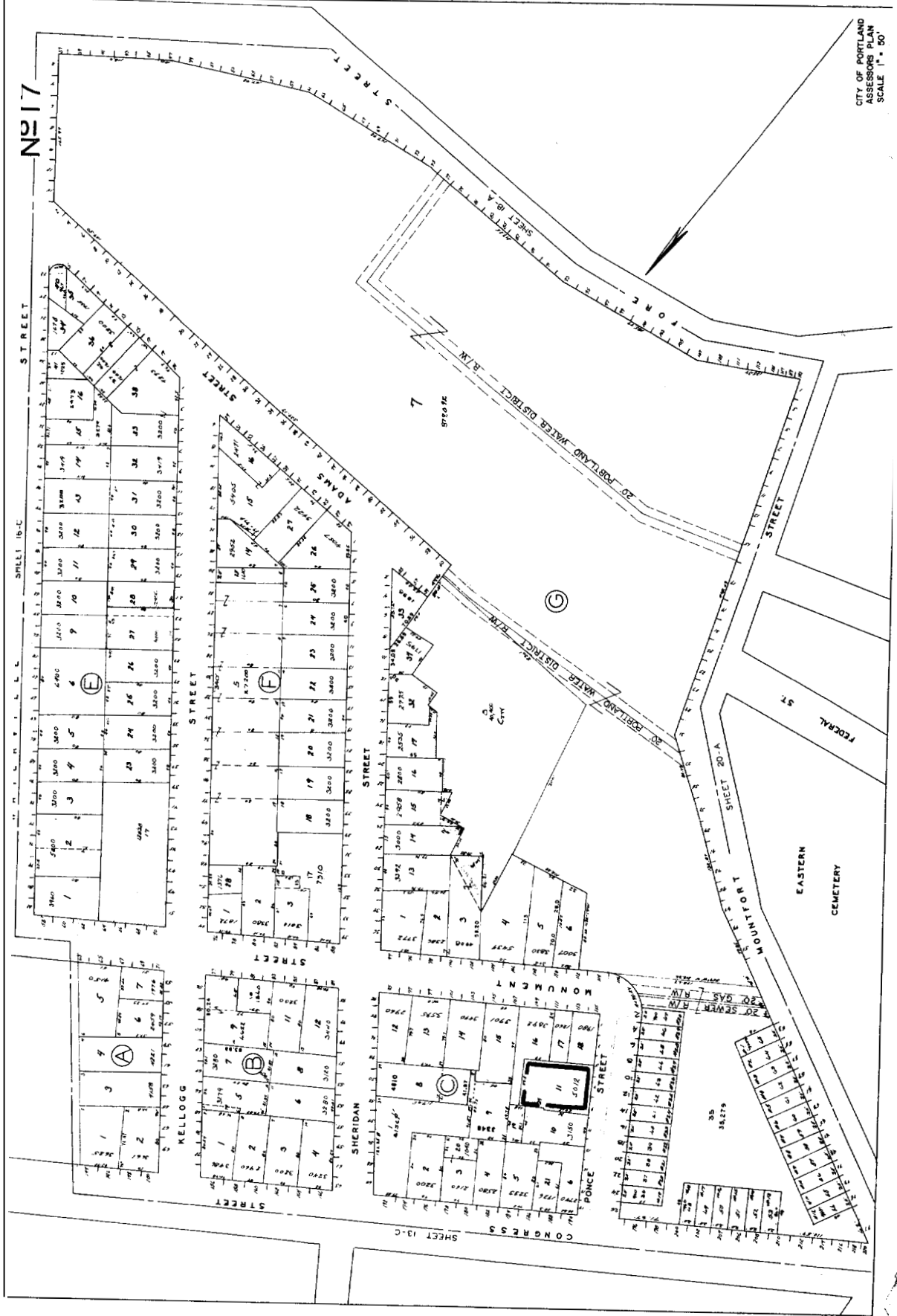
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/ her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Benjamin Dudley III</u>	Date: <u>10/12/2005</u>
--	-------------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost; \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



CITY OF PORTLAND
 ASSESSORS PLAN
 SCALE 1" = 50'

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Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to **help insure an expeditious permitting process.**

A complete set of construction drawings must include:

- Cross sections w/ framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, **HVAC** equipment (air handling) or other types of work that may require special review must be included.

Separate pennits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required **and** must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your pennit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 873-8703.

Permit Fee: \$30.00 for the first **\$1000.00** Construction Cost, \$9.00 per additional **\$1000.00** cost

This is not a Permit; you may not commence any work until the Permit is issued.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	017 CO11001
Location	9 PONCE ST
Land Use	SINGLE FAMILY
Owner Address	DUDLEY BENJAMIN F III & LYNN F DAVEY JTS 9 PONCE ST PORTLAND NE 04101
Book/Page	16009/134
Legal	17-C-11 PONCE ST 7-9 5012 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$70,010	\$57,210	\$127,220

Estimated Assessed Valuation For Fiscal Year 2007"

Land	Building	Total
\$110,200	\$63,900	\$174,100

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1864	Old Style	1	921	0.115	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1	1	4	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1996	6X10	C	A

Sales Information

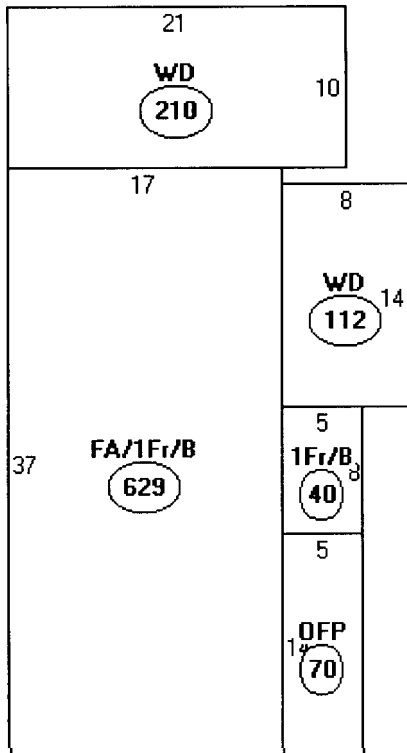
Date	Type	Price	Book/Page
02/07/2001	LAND + BLDING	\$129,900	16009-134
06/01/1997	LAND + BLDING	\$95,000	13226-195

Picture and Sketch

Picture Sketch Tax Map

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-



Descriptor/Area

- A FA/1Fr/B
629 sqft
- E WD
210 sqft
- C: WD
112 sqft
- D 1Fr/B
40 sqft
- E OFF
70 sqft

1061
60 shed

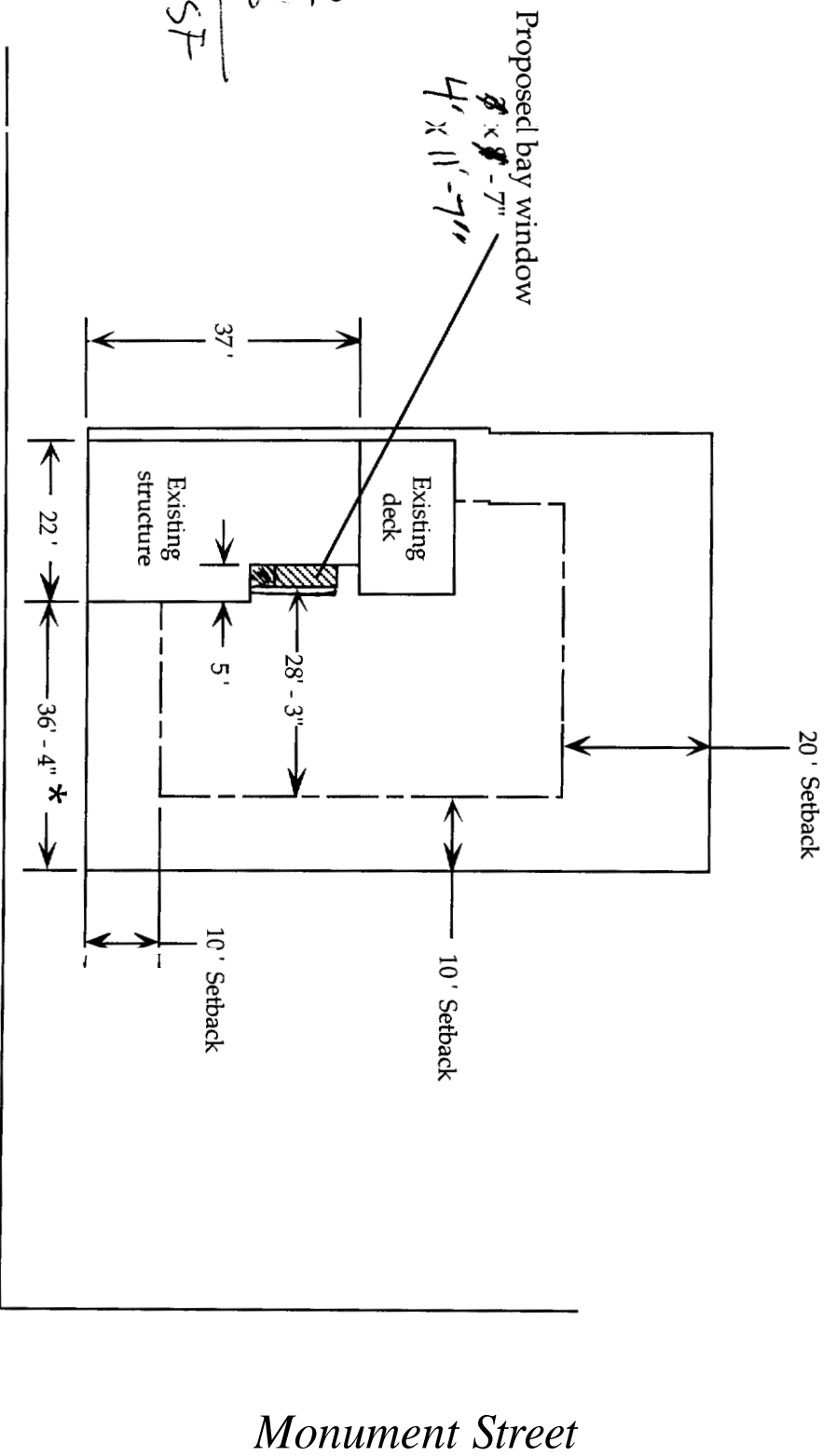
$$11'1" \times 4' = 46.33$$

$$1121 + 46.33 = 1167.33$$

allowable coverage 2,506 SF — OK



Lot 5012
 X 50%
 2,506 SF



Ponce Street

Monument Street

R6 Zone
 Side 10' Bay 28'-3 shown

Ben Dudley/Lynn Davey
 9 Ponce Street
 Portland, ME 04101

Parcel ID - 017 C11011
 Zone R-6

* Measured by tape

Drawing: Dudley / Davey Residence - Plot Plan

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

Date:

Aug. 30, '05

Scale:

1" = 24'

Existing Structure

Existing Entry

change.
will join to existing structure on left side

Proposed Bay Window

Drawing:

Ponce Street - South Elevation, Bay Window

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

Date:

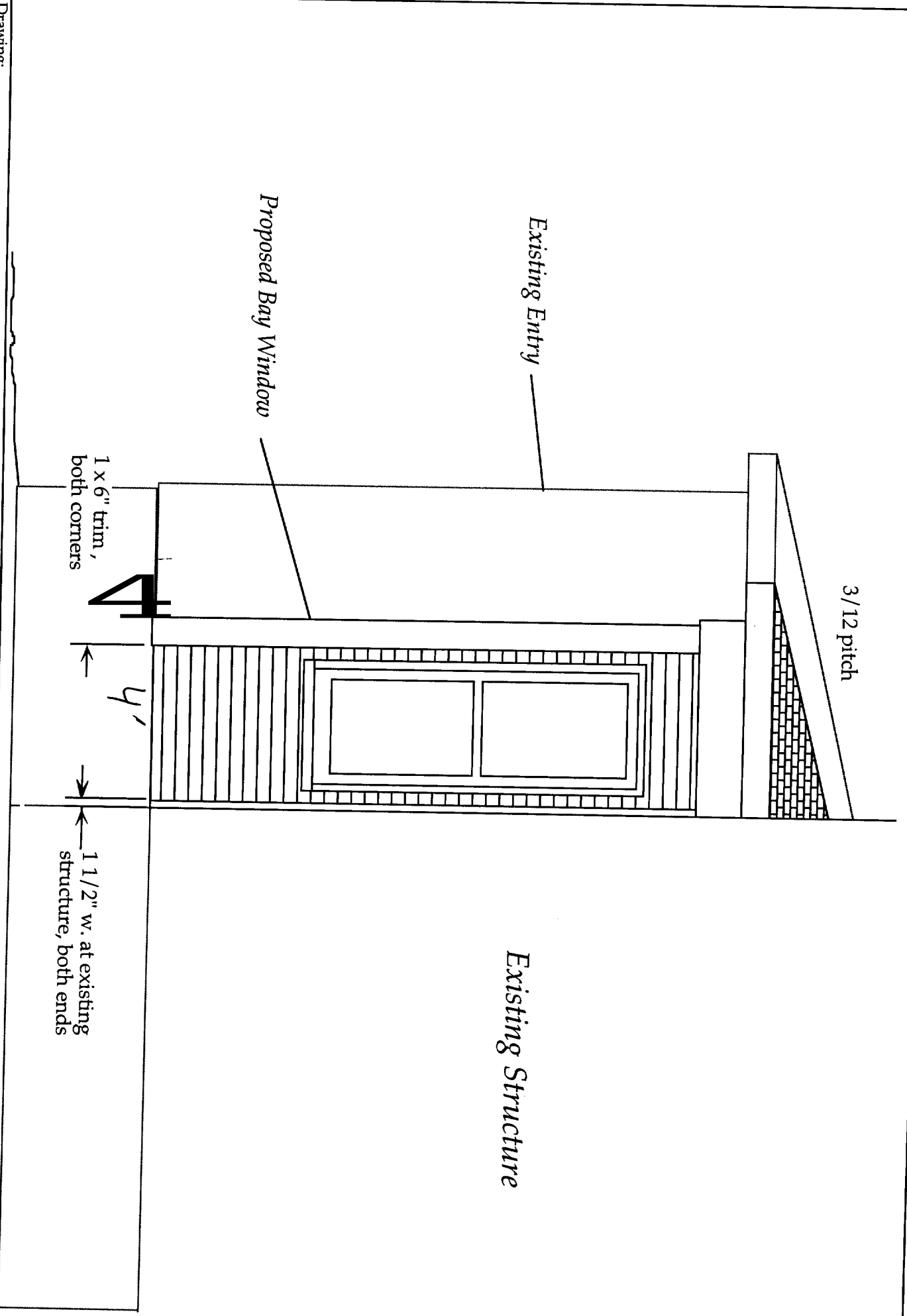
Aug. 30, '05

Scale:

1" = 2'

WholeHomeResource.com

207.883.6050



3/12 pitch

Existing Entry

Proposed Bay Window

1 x 6" trim,
both corners

4'

1 1/2" w. at existing
structure, both ends

Existing Structure

Drawing:

Ponce Street - East Elevation

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

Date: Aug. 30, '05

Scale: 1" = 2'

Floor construction:

Note: match existing floor elevation

- 2 x 6 @ 16" OC
- 3/4 AdvantTech subfloor, bonded & nail
- R-19 fiberglass insulation
- Interior flooring, maple to match existing
- 5/8" CDX plywood below, bonded & nail

Wall construction:

- 2 x 4 @ 16" OC
- 5/8 CDX plywood sheathing
- 6 mil. polyethylene moisture barrier, interior
- 1/2 gypsum wall board
- R-19 fiberglass insulation
- Nonwoven vapor barrier, exterior (Tyvek or equiv.)
- Building felt or waterproof underlayment as water seal around windows and aluminum head flashing
- Clapboard siding, approx. 4' to weather
- 3.5 x 9.25 girder, GP Lam LVL

Roof construction:

- R-30 fiberglass insulation (or equiv.)
- 6 mil. vapor barrier, interior
- 1/2 gypsum wallboard
- Waterproof bituthane underlayment (Ice and Watershield, or equiv.)
- Aluminum drip edge
- Aluminum flashing as required
- Asphalt shingles, 30 yr. min.

Windows:

Note: Interior and exterior trim to match existing

- (2) Andersen TW26410 *? w Factor*
- (1) Andersen TW18410

Electrical

- Outlets: per code
- Switched overhead fixture - To Be Determined

Plumbing:

- Baseboard heat unit below windows to be relocated
- Plumbing vent stack to be relocated
- Outside faucet relocated

Add: post beam supports on east side

Drawing:

Ponce Street - Construction Details

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04110

Scale:

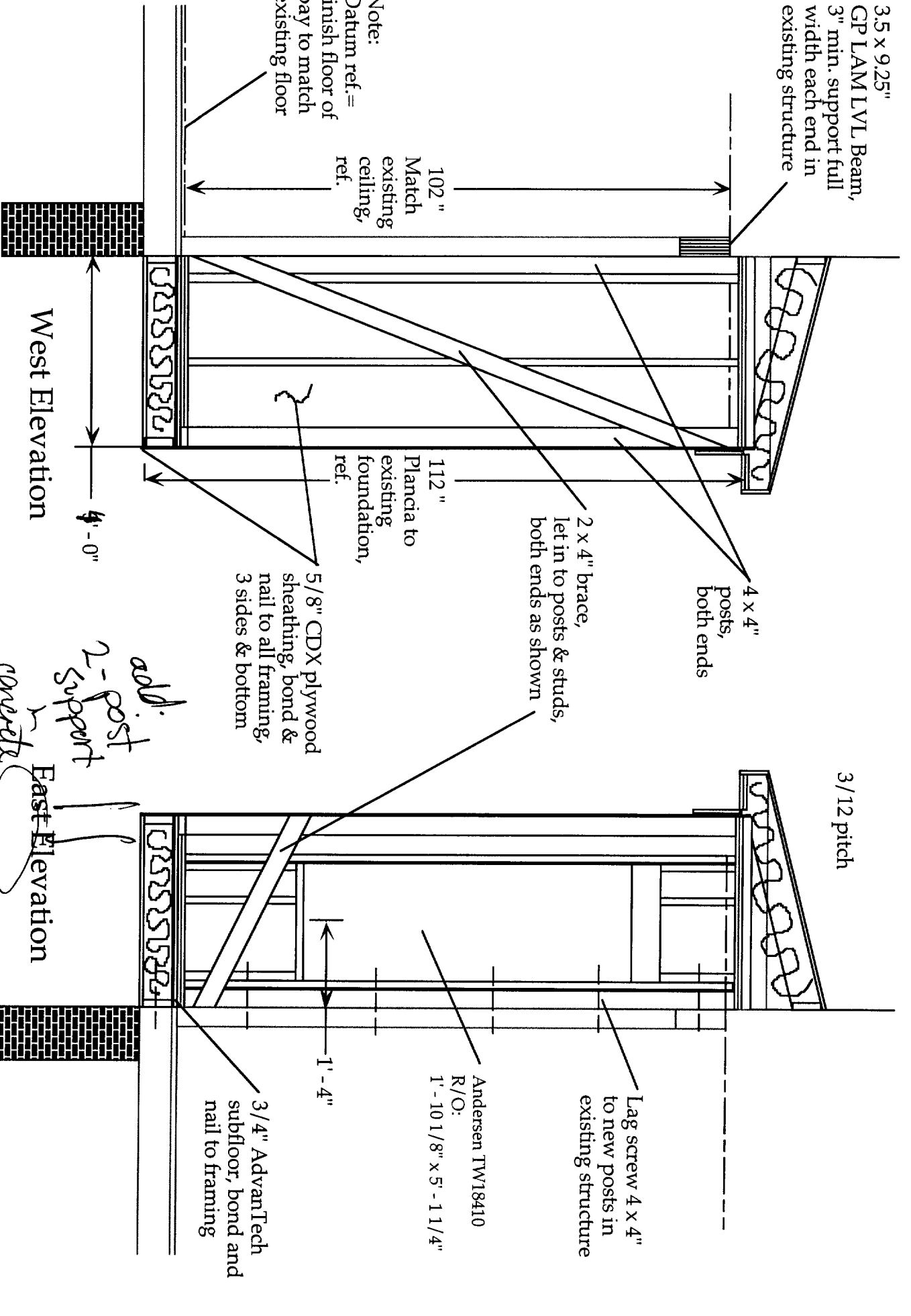
WholeHomeResource.com

207.883.6050

3.5 x 9.25"
GP LAM LVL Beam,
3" min. support full
width each end in
existing structure

102"
Match
existing
ceiling,
ref.

Note:
Datum ref. =
finish floor of
bay to match
existing floor



West Elevation

East Elevation

Ponce Street - Elevations, Bay Window Framing

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

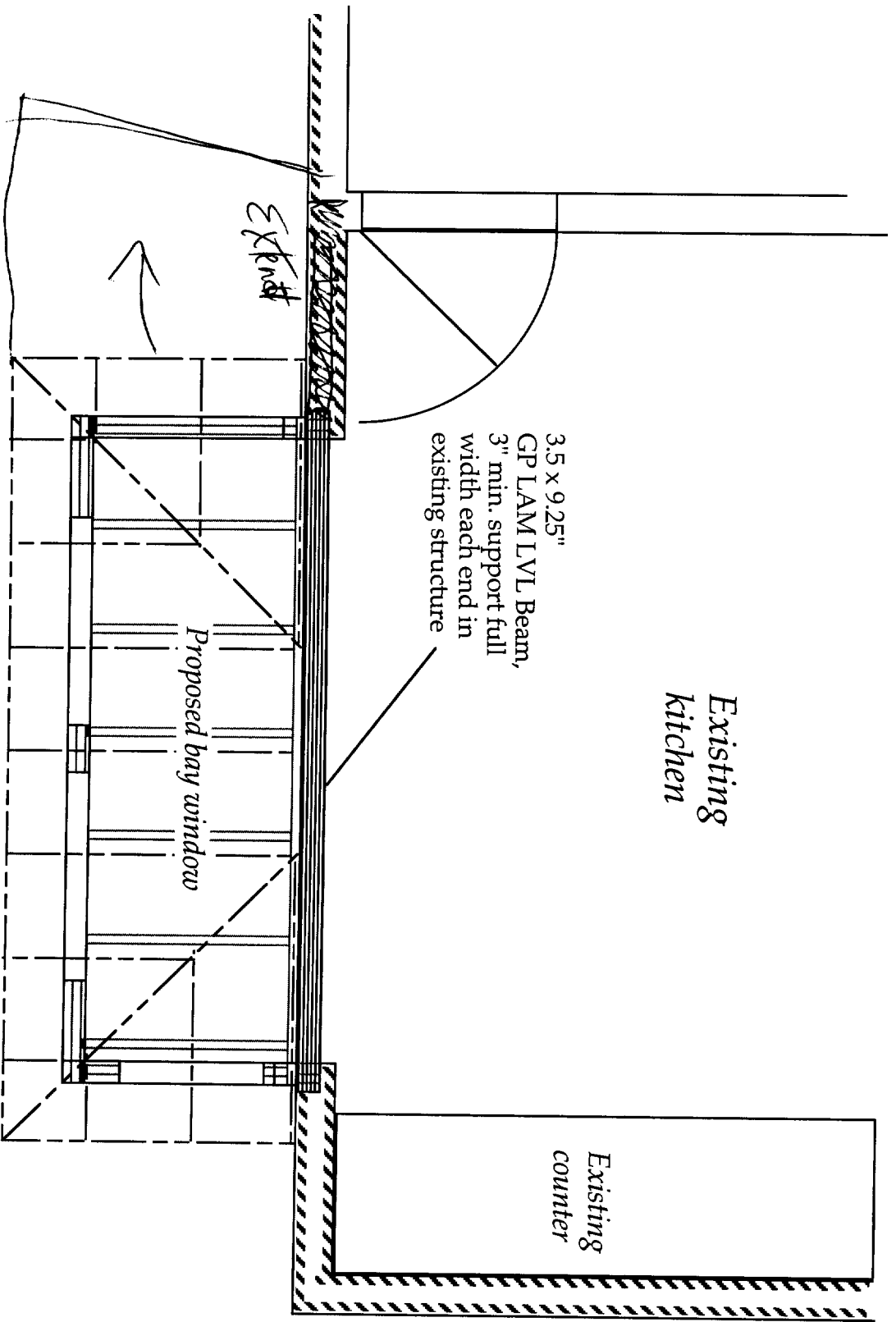
Drawing:

Date:

Scale:

Aug. 30, '05

1" = 2'



Note: Interior radiator, stack and external faucet to be relocated

Drawing:

Ponce Street - Plan, Bay Window

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

Date:

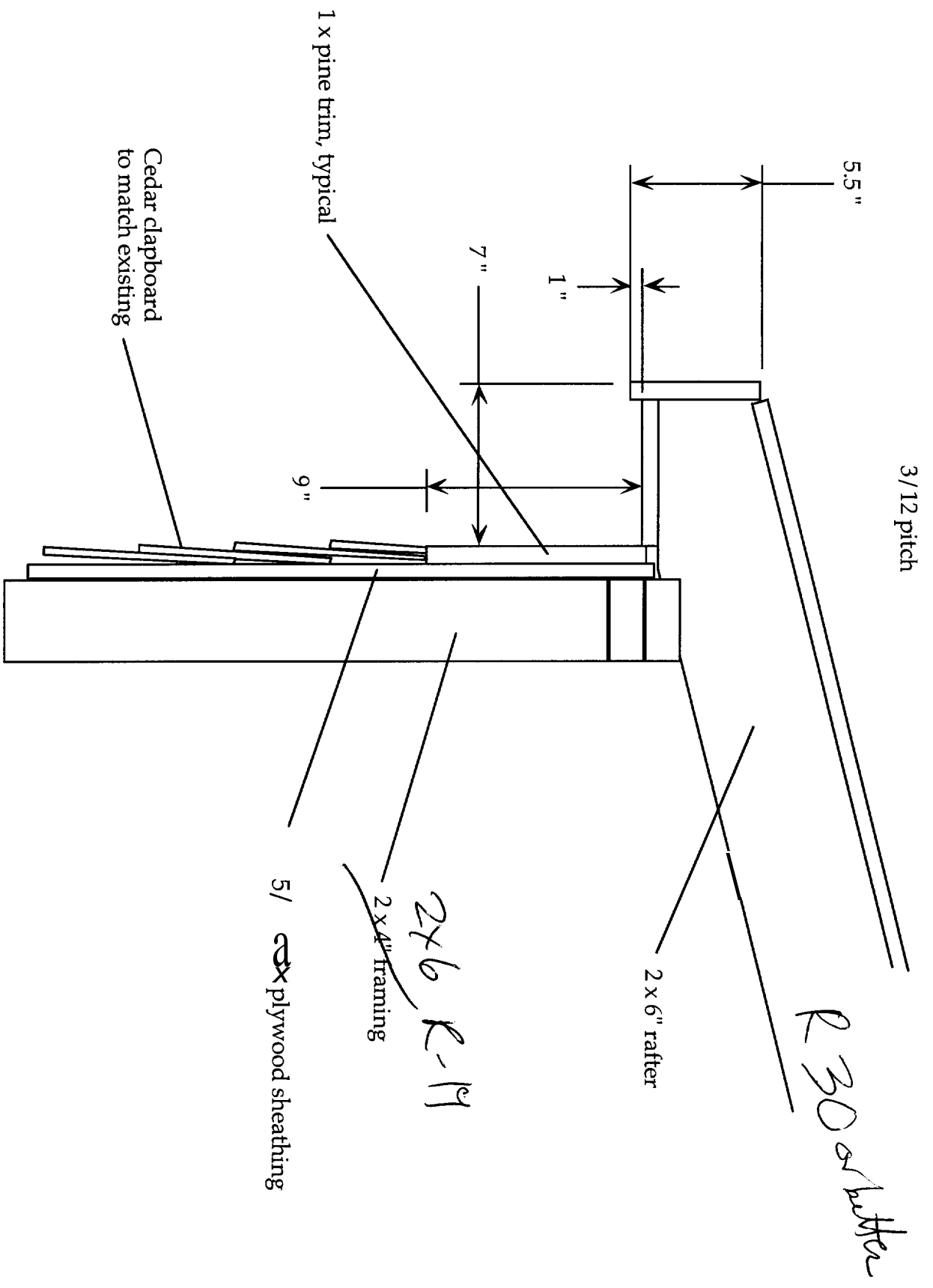
Aug. 30, '05

Scale:

1" = 2'

WholeHomeResource.com

207.883.6050



Drawing:

Ponce Street - Eaves Trim Detail

Date:

Aug. 30, '05

Scale:

1" = 6"

207.883.6050

Existing
Structure

Bolt
Through
Main
Timber

Existing
Structure
(Hangers on all floor Joists)

Double
Framed

~~Joists~~
Joists

2x10

Triple 2x10
Approx 11'

Metal
Bracket

1 1/2"
Tube

4.5'

Notes
Feb 4
10/26

2x10
Bol
101
a
a

2x10 From Bolted Into

House on 2 Sides w/a 4x4

on a 4' Deep concrete footing

under open eaves

ADDITION will be connected to

main house where walls join and attached
at roof to main house wall with Joist Hangers)

MAIRN
& Sons

rick Basement

Kitchen and
Bump out

Bolted
Frame house
2 sides

CELLAR
FOUNDATION

Ground

Level

10"

4'0"

4x4

