

190 CONGRESS STREET

MUNJ-80.



CERTIFICATE
OF
COMPLIANCE

CITY OF PORTLAND
Health Department - Housing Inspections Division
Telephone: 775-5451 - Ext. 448

Mr. Dominic R. Toppi
Congress Street
Portland, Maine 04101

February 24, 1975 ✓

Re: Premises located at 190 Congress Street, Portland, Maine - 17-C-6

Dear Mr. Toppi:

A re-inspection of the premises noted above was made on February 21, 1975
by Housing Inspector Gendreau.

This is to certify that you have complied with our request to correct the violation of
the Municipal Codes relating to housing conditions as described in our "Notice of
Housing Conditions" dated October 25, 1974.

Thank you for your cooperation and your efforts to help us maintain decent, safe and
sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing housing
inventory, it shall be the policy of this department to inspect each
residential building at least once every five years. Although a
property is subject to re-inspection at any time during the said
five year period, the next regular inspection of this property is
scheduled for February 1980.

Sincerely yours,
David C. Bittenbender
~~David C. Bittenbender~~
Health Director

By Lyle D. Hayes
Chief of Housing Inspections

Inspector Donald A. Anderson

/gg

ldn/74

ADMINISTRATIVE HEARING DECISION
XXXXXX

City of Portland
Health Department - Housing Division
Tel. 775-5451 Ext. 448

Mr. Dominic R. Toppl
190 Congress Street
Portland, Maine

OK
BY Day
DATE 2/21/75

Date January 21, 1975

Re: Premises located at 190 Congress Street, Portland, Maine 17-C-6

Dear Mr. Toppl:
You are hereby notified that as a result of an informal meeting in this office with

Mr. Toppl and Inspector Gendreau, and your request for additional time

on Jan. 17, 1975, regarding our "NOTICE OF HOUSING CONDITIONS" at the above
referred premises resulted in the decision noted below.

xxx Expiration time extended to February 21, 1975 in order to complete the work now

in progress to correct the remaining (5) Five Housing Code violations as listed
on the attached copy of the "Notice of Housing Conditions"

Notice modified as follows: _____

Please notify this office if all violations are corrected before the above mentioned
date, so that a "CERTIFICATE OF COMPLIANCE" may be issued.

In Attendance

Mr. Dominic Toppl

Inspector Gendreau

Very truly yours,

By [Signature]
W. L. H. Noves
Chief of Housing Inspections

Encl. 1

LDN:rl

CITY OF PORTLAND, MAINE
Health Department - Housing Inspection Division

Arthur A. Hughson, CPH, MPH
Health Director

NOTICE OF HEARING

January 6, 1975

To: Mr. Dominic R. Toppl
190 Congress Street
Portland, Maine

XT-30d47 3/4
P. 23 20

In Re: Premises located at 190 Congress Street, Portland, Maine 17-C-6

Dear Mr. Toppl

Because of your failure to comply with previous NOTICES, you are hereby invited to appear in Room 317, City Hall, 389 Congress Street, Portland, Maine, at 9 A.M. on January 17, 1975, to show cause why legal action should not be taken against you for violations of the Municipal Codes relating to housing conditions at the above referred premises, as described more fully in the attached copy of the original NOTICE received by you on or about October 25, 1974. Hearing requested by Inspector Gendreau.

FAILURE TO APPEAR MAY RESULT IN PROSECUTION

Please notify this office at once if you have corrected all violations before the above noted hearing date.

Lyle D. Noyes
Chief of Housing Inspections
Lyle D. Noyes

Inspector Donald A. Gendreau
D. Gendreau

LDN:rl

LDN/72

NOTICE OF HOUSING CONDITIONS

DU 3

CITY OF PORTLAND
Health Department - Housing Division
Telephone 775-5451 - Extension 448

Mr. Dominic R. Toppl
190 Congress Street
Portland, Maine

Chart-B1.-Lot: 17-C-6
Location: 190 Congress Street
Project: General
Issued: October 25, 1974
Expires: December 25, 1974

Dear Mr. Toppl:

An examination was made of the premises at 190 Congress Street 17-C-6
Portland, Maine, by Housing Inspector Gendreau. Violations of Municipal Codes
relating to housing conditions were found as described in detail below.

In accordance with provisions of the above mentioned Codes, you are requested to correct these
defects on or before December 25, 1974. You may contact this office to arrange a
satisfactory repair schedule if you are unable to make such repairs within the specified time.
We will assume the repairs to be in progress if we do not hear from you within ten days from
this date and, on re-inspection within the time set forth above, will anticipate that the premises
have been brought into compliance with Code Standards.

Your cooperation will help this Department in its goal to maintain all Portland residents in
decent, safe and sanitary housing.

Very truly yours,

Inspector

David A. Gendreau
D. Gendreau

By

Lytle D. Manger
Chief of Housing Inspections

EXISTING VIOLATIONS OF CHAPTER 307 - "MINIMUM STANDARDS FOR HOUSING"

Section(s)

1. Replace missing downspout on wall of right middle exterior.	3a-2/21
2. Replace missing elbow to downspout on left middle exterior wall.	3a-2/21
3. Repair loose handrail on stairway of second and third floor front hall.	3d-2/21
4. Replace missing balusters on stairway of second floor front hall.	3d-2/21
5. Replace broken glass of front cellar window.	3c-2/21
6. Replace broken treads on rear cellar stairway.	3d-2/21

LDN:rl

OK Don
 BY Don
 DATE 2/2/75

REINSPECTION RECOMMENDATIONS

INSPECTOR DON GENOPIERO

LOCATION 190 Congress St
 PROJECT
 OWNER MR. DOMINIC TOPPI

NOTICE OF HOUSING CONDITIONS		HEARING NOTICE		FINAL NOTICE	
Issued	Expired	Issued	Expired	Issued	Expired
<u>10/25/74</u>	<u>12/25/74</u>				

A reinspection was made of the above premises and I recommend the following action:

DATE <u>2/2/75</u>	<u>DM</u>	ALL VIOLATIONS HAVE BEEN CORRECTED Send "CERTIFICATE OF COMPLIANCE" <u>X</u> <u>POSTING RELEASE</u>
<u>1/17/75</u>	<u>DM</u>	SATISFACTORY Rehabilitation in Progress Time Extended To <u>2/21/75</u> Time Extended To Time Extended To
<u>12/27/74</u>	<u>DM</u>	UNSATISFACTORY Progress Send "HEARING NOTICE" <u>X</u> <u>NO POSTING</u> "FINAL NOTICE" "NOTICE TO VACATE" <u>POST Entire</u> POST Dwelling Units
<u>12/27/74</u>	<u>DM</u>	UNSATISFACTORY Progress Request "LEGAL ACTION" Be Taken
<u>1/17/75</u>	<u>DM</u>	INSPECTOR'S REMARKS: <u>No Code Send A/N</u> <u>Hearing Held - T.V. to 2/21/75</u>
INSTRUCTIONS TO INSPECTOR:		

Services
Chief P. Hoffes
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

November 1, 1991

5 YEAR INSPECTION

Marieta Bernard
325 Court St
Auburn, ME 04120

Re: 190 Congress St
CEL #: 17-C-006
DU: 3

Dear Ms. Bernard,

You are hereby notified, as owner or agent, that an inspection was made of the premises at 190 Congress St by Code Enforcement Officer Merle Leary. Violations of Article V of the Municipal Ordinance (Housing Code) were found as described in detail on the attached "Housing Inspections Report".

In accordance with the provisions of the above mentioned Code, you are hereby ordered to correct those defects on or before January 1st, 1991. If you are unable to make such repairs within the specified time, you may contact this office to arrange a satisfactory repair schedule. If we do not hear from you within 10 days from this date, we will assume the repairs to be in progress and, on re-inspection within the time set forth above, will anticipate that the premises have been brought into compliance with the Housing Code Standards.

Please Note: You should consult this department to insure that any corrective action you should undertake complies with the building, plumbing, electrical, zoning and other Article of the City Code.

Please contact this office if you have any questions regarding this order.

Your cooperation will aid this department in it's goal to maintain decent, safe, and sanitary housing for all of Portland's residence.

Sincerely,

Merle Leary
Merle Leary
Code Enforcement Officer

Joseph E. Gray Jr.
Joseph E. Gray Jr.
Chief of Inspection Services

HOUSING INSPECTION REPORT

Location: 190 Congress St
Owner: Marieta Bernard
Housing Conditions Date: November 1, 1991
Expiration Date: January 1, 1991

Items listed below are in violation of Article V of the Municipal Codes,
"Housing Codes", and must be corrected before the expiration date:

- | | |
|---|-------|
| 1. Ext - Right Roof - Loose & Worn Shingles | 108-2 |
| 2. Int - Cellar Flue - Excessive Soot | 114-2 |
| 3. Int - Cellar Stairs - Missing Railing | 108-4 |

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 29, 1992

Marieta Bernard
325 Court St
Auburn, ME 04120

Re: 190 Congress St
CBL: 017-C-006
DU: 3

Dear Ms. Bernard,


A re-inspection at the above noted property was made on April 29, 1992 by Code Enforcement Officer Merlin Leary.


This is to certify that you have complied with our request to correct violation(s) of the Municipal Code relating to housing conditions noted on our letter dated November 1, 1991.

Thank you for your cooperation and your efforts to help us maintain decent, safe and sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing housing inventory, it shall be the policy of this department to inspect each residential building at least once every five years.

Sincerely,


Merlin Leary
Code Enforcement Officer


S. P. Hoffses
Chief of Inspection Services

Inspection Services
Samuel P. Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

April 29, 1992

Marieta Bernard
325 Court St
Auburn, ME 04120

Re: 190 Congress St
CBL: 017-C-006
DU: 3

Dear Ms. Bernard,


A re-inspection at the above noted property was made on April 29, 1992 by Code Enforcement Officer Merlin Leary.

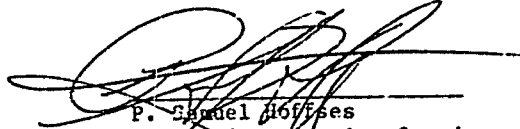
This is to certify that you have complied with our request to correct the violation(s) of the Municipal Code relating to housing conditions noted on our letter dated November 1, 1992.

Thank you for your cooperation and your efforts to help us maintain decent, safe and sanitary housing for all Portland residents.

In order to aid in the preservation of Portland's existing housing inventory, it shall be the policy of this department to inspect each residential building at least once every five years.

Sincerely,


Merlin Leary
Code Enforcement Officer


P. Samuel Hoffses
Chief of Inspection Services



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

December 8, 1988

Marieta Y. Arienza
325 Court Street
Auburn, Maine 04210

DU: 3

RE: 190 Congress St. 17-C-6

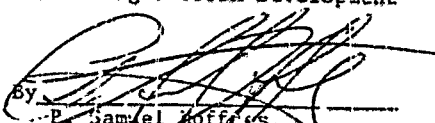
The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referred property.

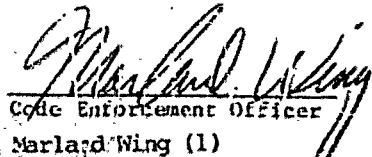
Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code.

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely yours,
Joseph E. Gray, Jr., Director
Planning & Urban Development


By: Samuel Hoffmann,
Chief of Inspection Services


Code Enforcement Officer
Marland Wing (1)

jmr

Insp. Date: 12-7-88 Complaint 5 year ☒ Fire Inspector's Name Pearland Nigg Dist. 1

Property Address: 190 Congress St. C-B-L: 7-C-6 Legal Units: 3 First Units: 3 Stories: 3

Owner or Agent Maricela Y. Atienza Stand. 1st: X N.O.R.C. I.O.O.
Address 325 Court St Auburn, Me. 042

[illegible]

Inspection Services
P. Samuel Hoffas
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

June 30, 1995

ATIENZA-BERNARD MARIETA Y
325 COURT ST
AUBURN ME 04210

Re: 190 Congress St
CBL: 017- - C-006-001-01
DU: 3

Dear Ms. Atienza-Bernard:

The Housing Inspections Division of the Department of Planning and Urban Development has recently completed an overall inspection of the above referred property.

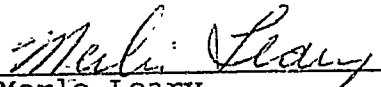
Congratulations are extended to you for the general condition of your property which was found to meet the standards established by the City's Housing Code. We did, however, note the following items that could cause future problems:


- | | | |
|----|--|--------|
| 1. | INT - 1ST FL; APT #1 - KITCHEN & BEDROOM | 108.30 |
| | WINDOWS HAVE BROKEN GLASS | |
| 2. | INT - OVERALL - | 113.50 |
| | HARD-WIRED BATTERY-BACK/UP SMOKE DETECTORS ARE REQUIRED IN EACH UNIT | |

Good maintenance is the best way to protect the value of your property and neighborhood.

Please feel free to call on us if we can be of assistance to you.

Sincerely,


Merle Leary
Code Enforcement Officer


Tammy Munson
Code Enfc. Offr./ Field Supv.