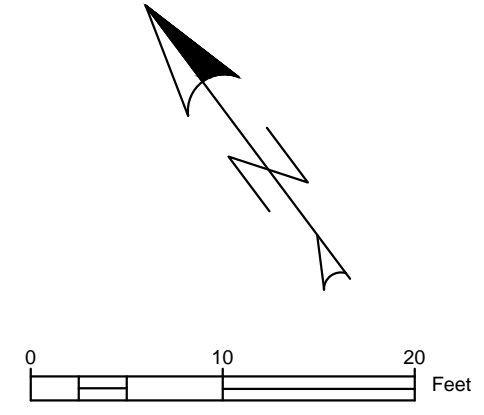
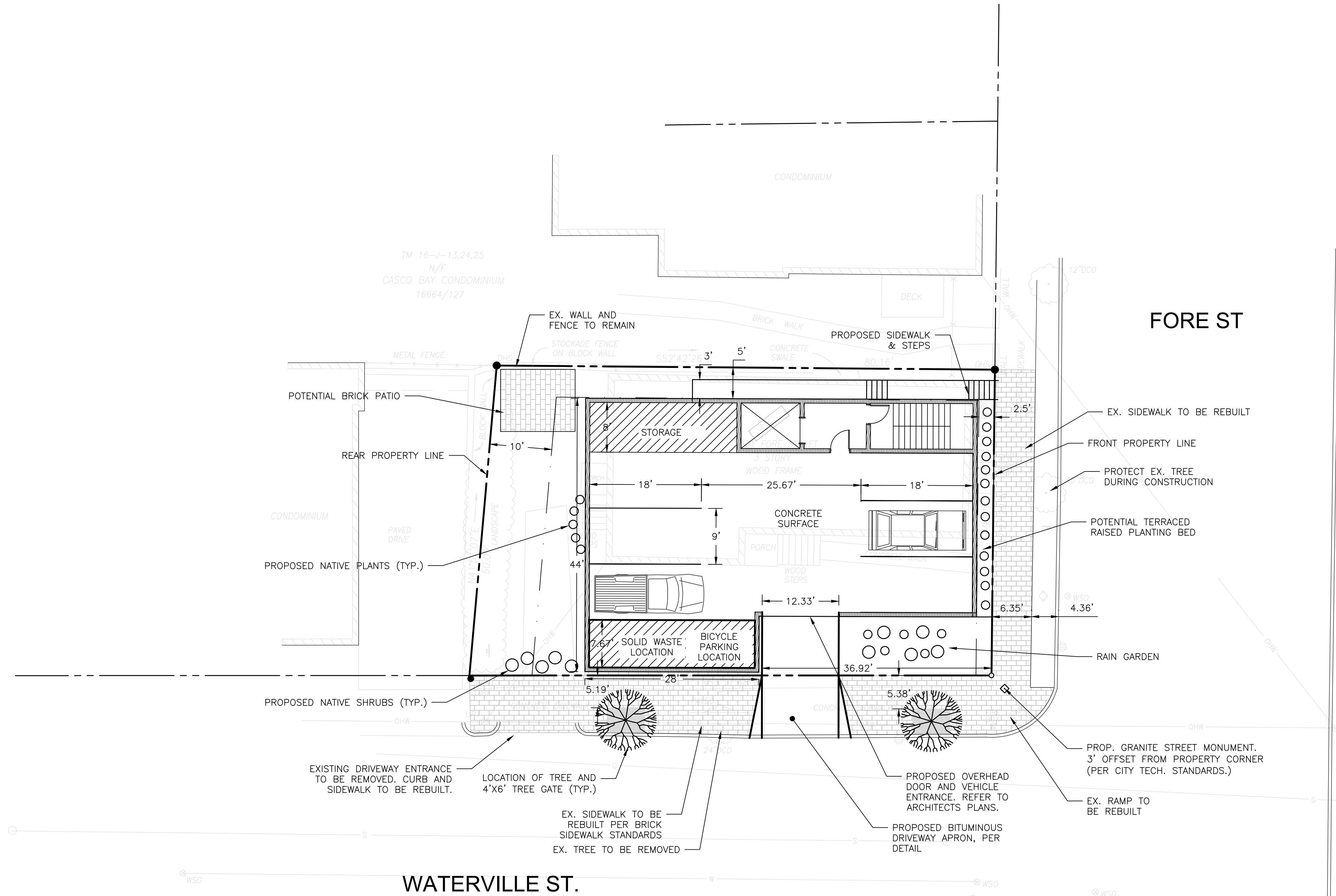


SPACE AND BULK STANDARDS		
ZONE: B1b	REQUIRED	PROVIDED
MINIMUM LOT SIZE	2,000 SF	4,180 SF
MINIMUM STREET FRONTAGE	20'	146'-8"
FRONT YARD (AVG. SETBACK)	2'-6"	2'-6"
SIDE YARD	5'	5'
REAR YARD	10'	>15'
STRUCTURE STEPBACKS (REAR YARD ABOVE 35')	15'	15'
MAXIMUM LOT COVERAGE	60%	60%
MINIMUM LOT WIDTH	20'	>20'
MAXIMUM BUILDING HEIGHT	45'	45'
LANDSCAPED OPEN AREA	20%	20%
MAXIMUM NUMBER OF DWELLING UNITS	725 SF/UNIT = 5 UNITS	4 UNITS
RESIDENTIAL PARKING: 1 DWELLING PER UNIT	4 SPACES	6 SPACES
MIN. INTERNAL RESIDENT BIKE STORAGE SPACES	2 SPACES/5 D.U. =1.6	2 SPACES
MAX. GARAGE OPENING	20'	12'-4"

PARKING SUMMARY	
PARKING DIMENSION	# PARKING SPACES
STANDARD (9'X18')	6
COMPACT WIDTH/LENGTH (8'X15')	0
TOTAL SPACES	6

- NOTES:
- CONTRACTOR SHALL PLACE NEW CURBING IN LOCATIONS WITHOUT EXISTING CURBING, IN ACCORDANCE WITH DETAIL. EXISTING TIPDOWNS ARE LOCATED AT ALL CURB CUTS. FOR PURPOSES OF BIDDING, CONTRACTOR SHALL NOTE THAT ALL TIPDOWNS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH DETAIL, AND THAT EXISTING TIPDOWNS MAY NOT MEET CITY OF PORTLAND STANDARD.
 - INTERIOR STRIPING AS INDICATED ON SITE PLAN SHALL BE 4" WIDE. STRIPING SHALL BE WHITE UNLESS OTHERWISE NOTED.



ISSUED FOR	BY
PRELIM. APPLICATION	WHS
	DATE
	12/28/15

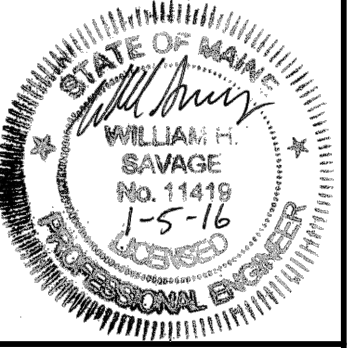
DRAWING NAME: **SITE LAYOUT & LANDSCAPE PLAN**
 PROJECT NAME: **31 FORE STREET REDEVELOPMENT**
 CLIENT: **PENINSULA PROPERTY DEVELOPMENT, LLC.**
59 MOODY STREET, PORTLAND MAINE 04101

A C O R N
ENGINEERING, INC.

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM ACORN ENGINEERING, INC. ANY CHANGES SHALL BE AT THE USER'S RISK AND WITHOUT LIABILITY TO ACORN ENGINEERING, INC.

ACORN ENGINEERING, INC.
158 DANFORTH STREET, PORTLAND MAINE 04102
(207) 775-2825

FILE:	1068_DETAILS
DATE:	12/28/15
JN:	1068
SCALE:	NTS
DESIGNED BY:	WHS
DRAWN BY:	WHS
CHECKED BY:	WHS



DRAWING NO.
C-10

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION