

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, if Any, Attached

PERMIT ISSUED
Permit Number: 101392
Date: 2
CITY OF PORTLAND

This is to certify that FLANAGAN SANDRA L /Portland Renovations

has permission to Remove Existing Roof & Posts of first floor porch Replace w. new Posts & Roof Deck for second floor

AT 33 WATERVILLE ST OBI 015 103300

provided that the person or persons, firm or corporation accepting this permit shall comply with all the provisions of the Statutes of Maine and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application of the rules of this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before occupancy of building or part thereof is commenced.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1392	Issue Date:	CBL: 016 J023001
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Location of Construction: 13 WATERVILLE ST	Owner Name: FLANAGAN SANDRA L	Owner Address: 13 WATERVILLE ST	Phone:
Business Name:	Contractor Name: Portland Renovations	Contractor Address: 111 Anderson Street Portland	Phone: 2077123590
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	Zone: R-6

Past Use: Duplex	Proposed Use: Duplex - Remove Existing Roof & Posts of first floor porch - Replace w/ new Posts & Roof Deck for second floor <i>Legal use - 2 d.u.</i>	Permit Fee: \$70.00	Cost of Work: \$4,200.00	CEO District: 1
		FIRE DEPT: <i>N/A</i> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>S3</i>	

Proposed Project Description: Remove Existing Roof & Posts of first floor porch -Replace w/ new Posts & Roof Deck for second floor	Signature:	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 11/05/2010	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>DK w/ condition</i> Date: <i>11/8/10</i> <i>AGM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JBM</i> Date:
	<div style="border: 2px solid red; padding: 10px; text-align: center;"> <p>PERMIT ISSUED</p> <p><i>NOV 22 2010</i></p> <p>CITY OF PORTLAND</p> </div>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

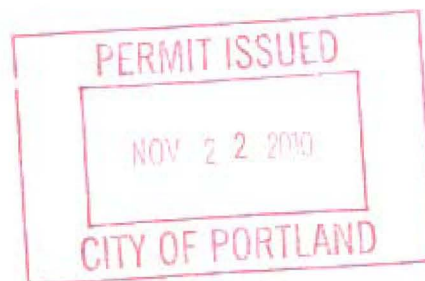
Permit No: 10-1392	Date Applied For: 11/05/2010	CBL: 016 J023001
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Location of Construction: 13 WATERVILLE ST	Owner Name: FLANAGAN SANDRA L	Owner Address: 13 WATERVILLE ST	Phone:
Business Name:	Contractor Name: Portland Renovations	Contractor Address: 111 Anderson Street Portland	Phone: (207) 712-3590
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Duplex	

Proposed Use: Duplex - Remove Existing Roof & Posts of first floor porch - Replace w/ new Posts & Roof Deck for second floor	Proposed Project Description: Remove Existing Roof & Posts of first floor porch -Replace w/ new Posts & Roof Deck for second floor
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 11/08/2010
Note:			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This permit is being issued with the condition that the roof deck be a minimum of 10' from the side property line. 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Jonathan Rioux	Approval Date: 11/22/2010
Note:			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Fastener schedule per the IRC 2003 2) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor. 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial kitchen exhaust hood systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 			

Comments:
11/22/2010-jrioux: Contractor stated he will use (2) 2x8' Header for door header; deck beams (2) 2x10" will rest on 6X6" post to grade; frost protection will be at least 4"; approved hangers will support deck floor joist to existing replacement ledger; egress will not be effected during renovo; & existing porch will be inspected during demo.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

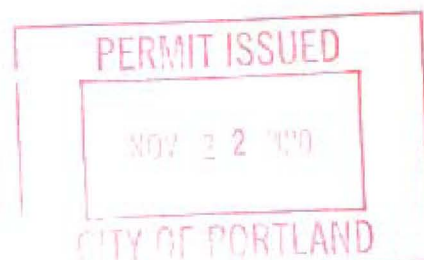
 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.

 X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.





CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

02.5 2010

Received from Portland Restoration

Location of Work 13 W. ...

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 016 5 033

Check #: 3042 Total Collected \$ 10.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>13 WATERVILLE STREET, PORTLAND</u>		
Total Square Footage of Proposed Structure/Area <u>40</u>	Square Footage of Lot _____	Number of Stories _____
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>016</u> <u>5</u> <u>023</u>	Applicant *must be owner, Lessee or Buyer* Name <u>SANDRA FEANAGAN</u> Address <u>13 WATERVILLE STREET</u> City, State & Zip <u>PORTLAND, ME 04101?</u>	Telephone: <u>207.775.1723</u>
Lessee/DBA (If Applicable) RECEIVED NOV - 5 2010	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>4,200.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>70.00</u>
<p>Dept. of Building Inspections City of Portland, Maine</p> <p>Current legal use: <u>TWO FAMILY</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>REMOVE EXISTING ROOF + POSTS, REPLACE W/ NEW POSTS + ROOF DECK</u></p>		
<p>Contractor's name: <u>PORTLAND RENOVATIONS, INC.</u> Address: <u>107 ANDERSON STREET</u> City, State & Zip: <u>PORTLAND, ME 04101</u> Telephone: <u>207.712.3590</u> Who should we contact when the permit is ready: <u>BOB VAN WERT</u> Telephone: <u>207.712.3590</u> Mailing address: <u>107 ANDERSON ST. PORTLAND 04101</u></p>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 11.5.10

This is not a permit; you may not commence ANY work until the permit is issued

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A-EXCELLENT; B-GOOD; C-AVERAGE; D-CHEAP; E-VERY CHEAP

YEAR 19

YEAR 19

15 per month, Third
20 " " " 306
25 " " " ESTIMATE ONLY
11/13/11591 REAR TRAILER FINISH D.B.

CONSTRUCTION

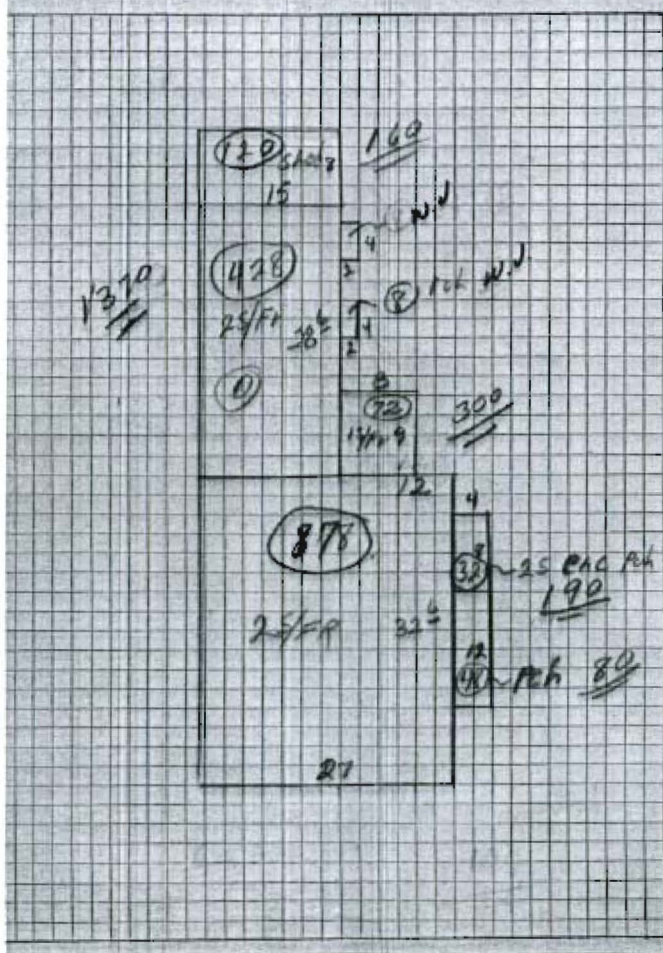
FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST	<input checked="" type="checkbox"/>	BATHROOM	2 <input checked="" type="checkbox"/>
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	<input checked="" type="checkbox"/>
BRICK OR STONE	<input checked="" type="checkbox"/>	MILL TYPE		WATER CLOSET	
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	<input checked="" type="checkbox"/>	FLOOR FINISH		KITCHEN SINK	2 <input checked="" type="checkbox"/>
NO. CELLAR		B	1 2 3	STD. WAT. HEAT	
EXTERIOR WALLS		CEMENT		AUTO. WAT. HEAT	
CLAPBOARDS	<input checked="" type="checkbox"/>	EARTH	<input checked="" type="checkbox"/>	ELECT. WAT. SYST.	
WIDE SIDING		PINE	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	LAUNDRY TUBS	
DROP SIDING		HARDWOOD	<input checked="" type="checkbox"/>	NO PLUMBING	
NO SHEATHING		TERRAZZO			
WOOD SHINGLES		TILE			
ASBES. SHINGLES					
STUCCO ON FRAME					
STUCCO ON TILE		ATTIC FLR. & STAIRS	<input checked="" type="checkbox"/>		
BRICK VENEER		INTERIOR FINISH			
BRICK ON TILE		B	1 2 3		
SOLID BRICK		PINE	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>		
STONE VENEER		HARDWOOD			
CONC. OR CIND. BL.		PLASTER	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>		
45ph shingle	<input checked="" type="checkbox"/>	UNFINISHED	<input checked="" type="checkbox"/>		
TERRA COTTA		METAL CLG.			
VITROLITE					
PLATE GLASS		RECREAT. ROOM			
INSULATION		FINISHED ATTIC Full	<input checked="" type="checkbox"/>		
WEATHERSTRIP		FIREPLACE			
ROOFING		HEATING			
ASPH. SHINGLES	<input checked="" type="checkbox"/>	PIPELESS FURNACE			
WOOD SHINGLES		HOT AIR FURNACE			
ASBES. SHINGLES		FORCED AIR FURN.			
SLATE TILE		STEAM			
METAL		HOT WAT. OR VAPOR	<input checked="" type="checkbox"/>		
COMPOSITION		NO HEATING 2+3	<input checked="" type="checkbox"/>		
ROLL ROOFING					
INSULATION		GAS BURNER			
		OIL BURNER	02 <input checked="" type="checkbox"/>		
		STOKER			

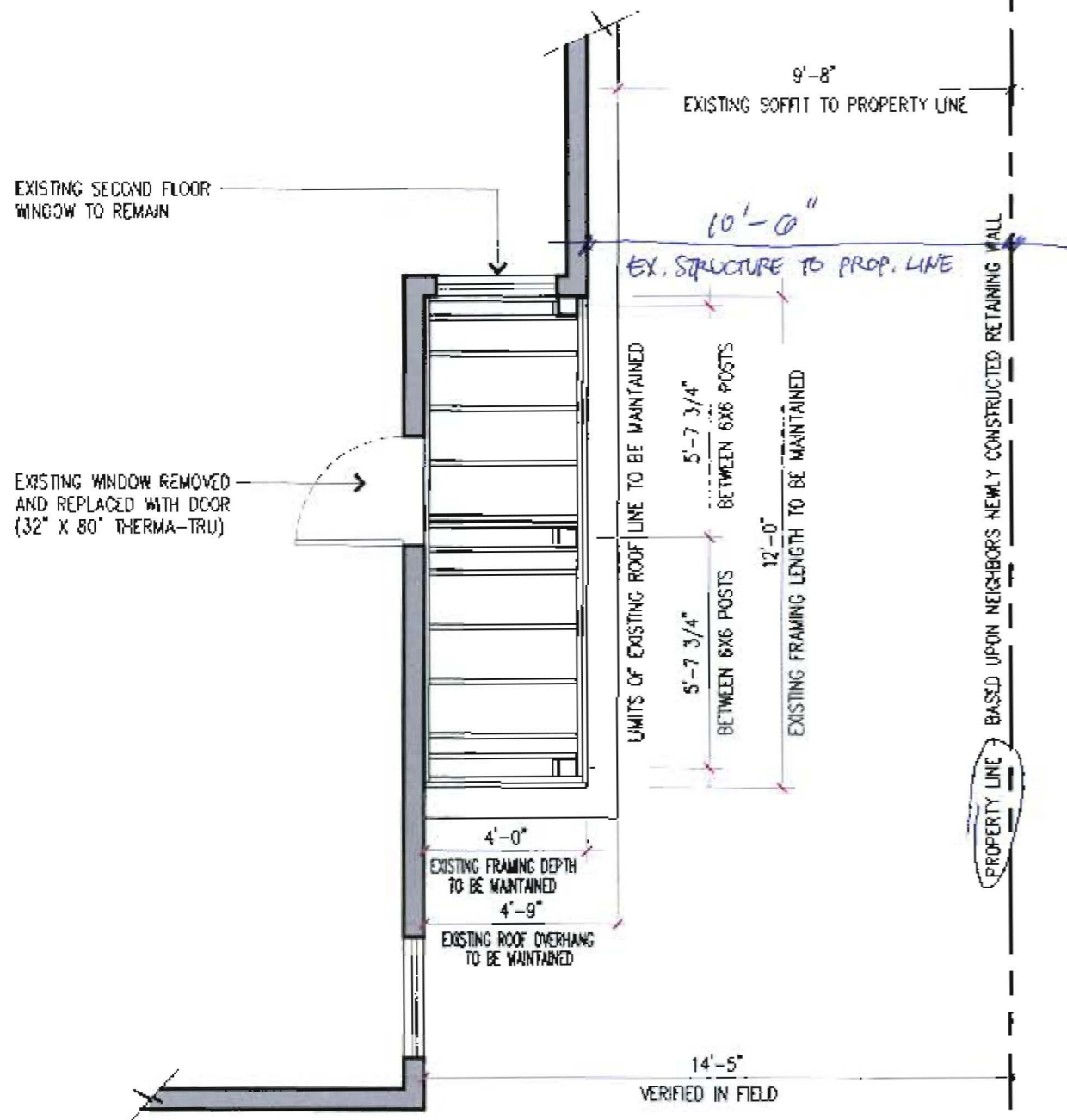
SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	F. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	Y	
Dwg.	2 9/FR	C	Old		F	7930	55%	3570	40%	2140	1275	5	
Gar	1/4 FR 10x16	D	Old		F	140	60%	60	0	60	50	5	
						8120	55	3650	40	2190	1325	6	
YEAR	1951	1951 TOTAL BLDGS.							2200	1325			
TAX VAL.		TAX VAL.	19										
OLD VAL.	1325	TAX VAL.	19										
CHANGE		TAX VAL.	19										

COMPUTATIONS

UNIT	1951	
878 S. F.	4960	62
S. F.		
ADDITIONS	+2100	
BASEMENT	-130	
WALLS		
ROOF		
FLOORS		
ATTIC Full	+340	
FINISH		
FIREPLACE		
HEATING	-290	+190 -290
PLUMBING	+450	
TILING		
M.F.I.	+500	
TOTAL	7930	
FACT.		
REP. VAL.	7930	8120

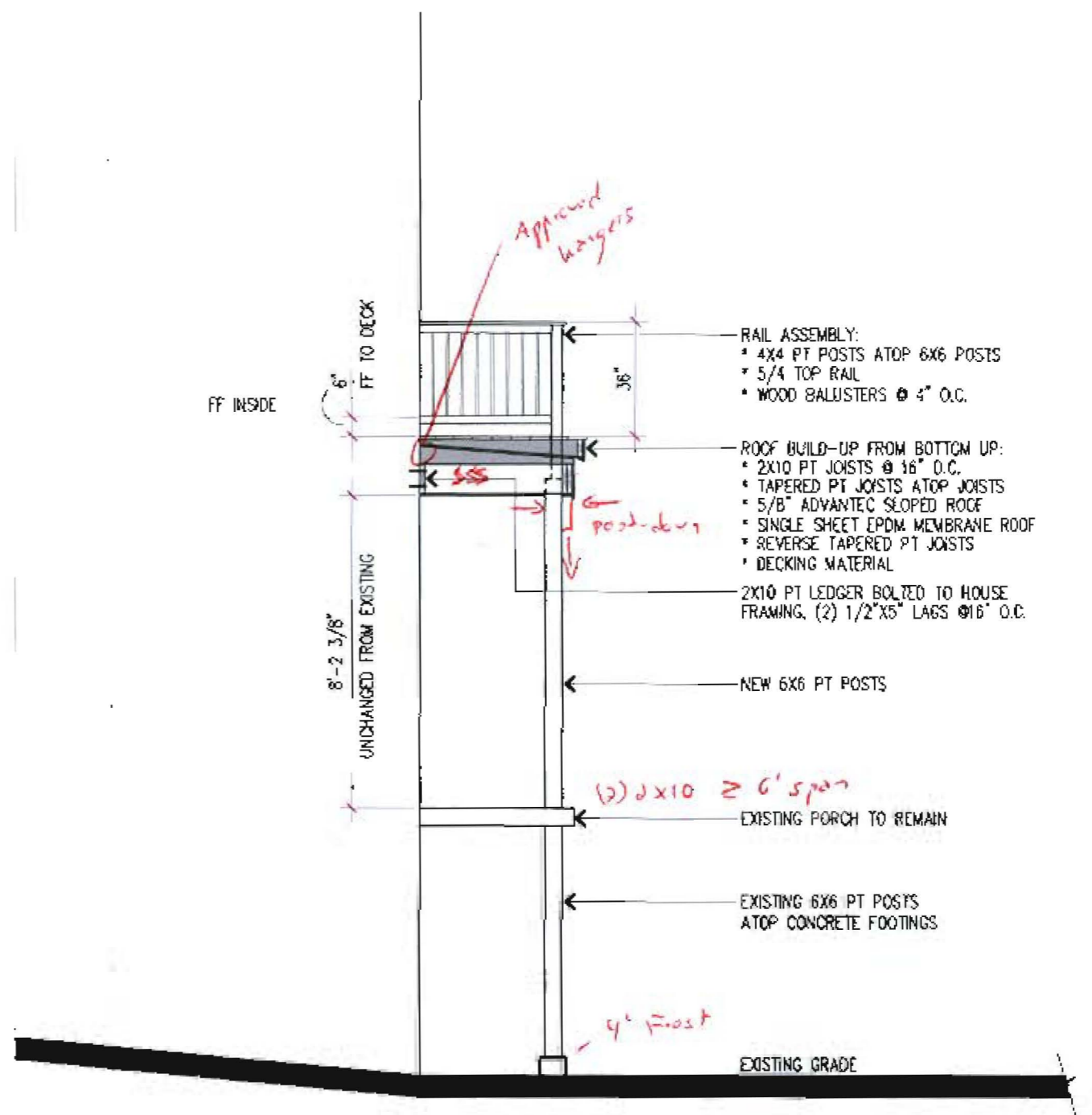




WATERVILLE STREET

PLAN OF ROOF DECK

SCALE: 3/4" = 1'-0"



ELEVATION FROM WATERVILLE STREET

SCALE: 1" = 1'-0"

107 Anderson Street
Portland, Maine 04101
1.207.753.2267
1.207.753.2268
www.portlandreno.com

pr
portland
renovations

WATERVILLE STREET RESIDENCE
portland, maine

DATE: 11.05.10
SCALE: AS NOTED
NUMBER: A-1

BY: RW
DATE: 11.05.10
SCALE: AS NOTED
NUMBER: A-1

A-1

WATERVILLE CANADA PLANING



WINDOW TO
BECOME DOOR

ROOF + POSTS
TO BE REPLACED
W/ NEW POSTS +
ROOF DECK
PER DRAWINGS.