

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING DEPARTMENT
PERMIT

Permit Number: 071144

SEP 17 2007

CITY OF PORTLAND

This is to certify that BOURDEAU KELLY J & JAMES B BOURDEAU JTS/prop

has permission to Interior renovations

AT 17 WATERVILLE ST

016 J022001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in.
 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Madley
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1144	Issue Date: 09/17/2007	CBL: 016 J022001
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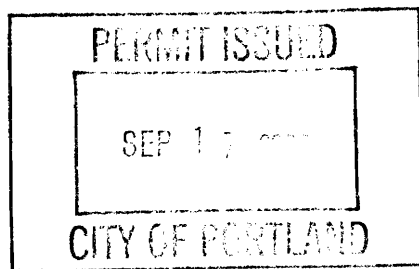
Location of Construction: 17 WATERVILLE ST	Owner Name: BOURDEAU KELLY J & JACOB	Owner Address: 17 WATERVILLE ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Residential 2 unit	Proposed Use: Residential 2 unit Interior renovations	Permit Fee: \$40.00	Cost of Work: \$2,000.00	CEO District: 1
Proposed Project Description: Interior renovations		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B JRC 2003	
		Signature: _____		Signature: Jm 9/17/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 09/17/2007	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input checked="" type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone OK	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: Jm 9/17/07	Date: _____	Date: Jm 9/17/07



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

D ~~Footing/Building Location Inspection:~~ Prior to pouring concrete
D ~~Re-Bar Schedule Inspection:~~ Prior to pouring concrete
A ~~Foundation Inspection:~~ Prior to placing ANY backfill
✓ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
 ~~Final/Certificate of Occupancy:~~ Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

JB If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

D/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of Applicant/Designee
Donna Martin Admin
Signature of Inspections Official

Date
9-17-07
Date

CBL: 16 J 22 Building Permit #: 07-1144



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 Waterville St., Portland ME 04101</u>		
Total Square Footage of Proposed Structure/Area x		Square Footage of Lot x <u>40'60'</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>16 J 22</u> x	Applicant * must be owner, Lessee or Buyer * Name <u>Jacob Bourdeau</u> Address <u>17 Waterville St</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>732-9482</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Same</u> Address City, State & Zip	Cost Of Work: \$ <u>~2000K</u> C of O Fee: \$ <u>N/A</u> Total Fee: \$ <u>40</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Interior Renovations Non Structural</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jacob Date: 9/17/07

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1144	Date Applied For: 09/17/2007	CBL: 016 J022001
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Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Residential 2 unit Interior renovations	Proposed Project Description: Interior renovations
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Dept: Zoning **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 09/17/2007

Note:**Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/17/2007

Note:**Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Dept: Zoning	Status: Approved	Reviewer: Tom Markley	Approval Date: 09/17/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
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2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 09/17/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

(Details Attached)

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams (See plan)
- Detail any new walls or permanent partitions (Existing NO Charges)
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules (Existing NO Charges, see plan)
- Foundation plans w/required drainage and damp proofing (if applicable) Permit recently pulled. (See Plans)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) (Existing)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003 (Existing, LIMITED)
- NA Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17" or 8" x 11"
- Proof of ownership is required if it is inconsistent with the assessors records

Recent Purchase by Jacob & Kelly Bourdeau

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

Permits will be requested for these items

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

(NA)

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

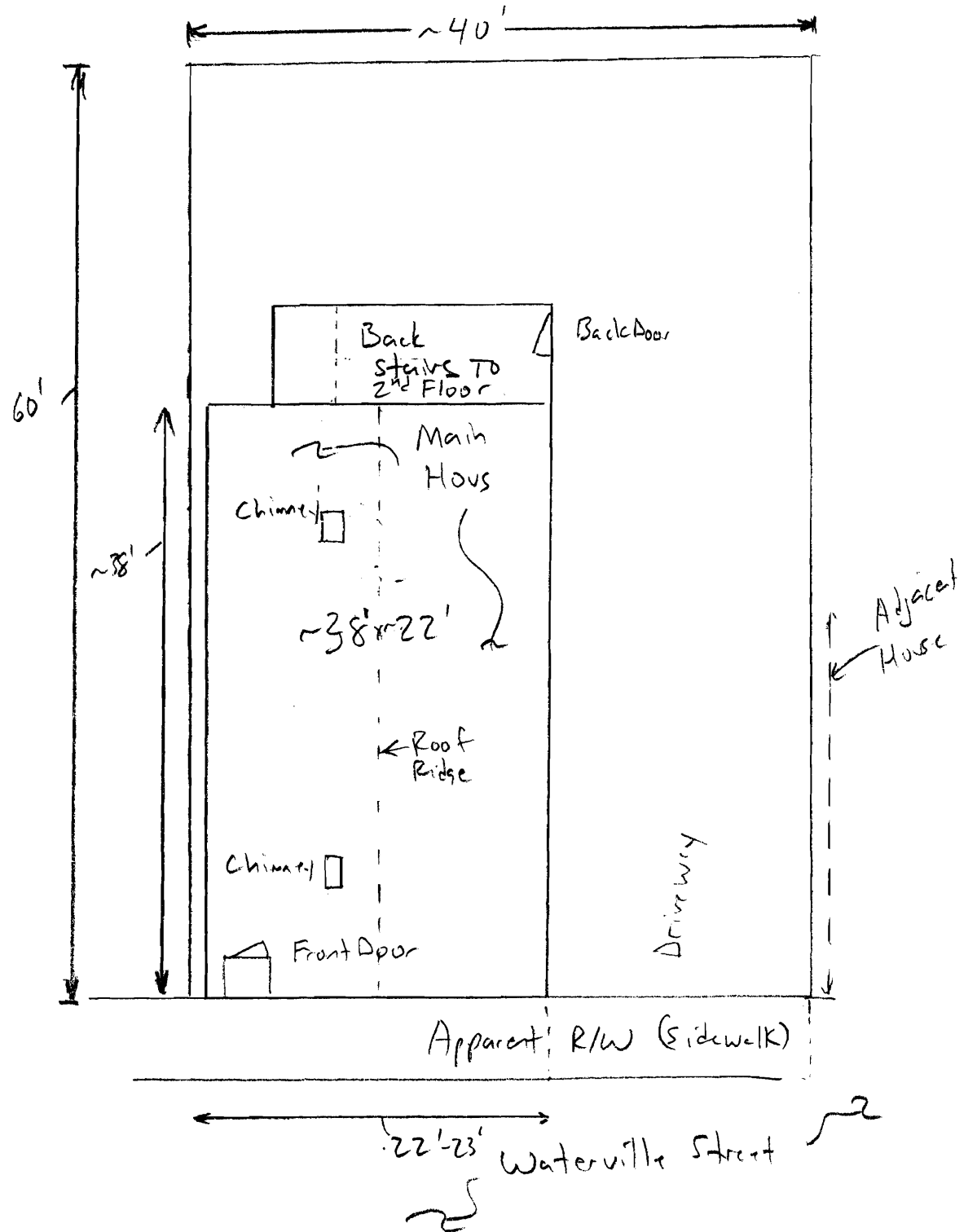
Estimate \$2000 = \$30 + \$40 = \$40

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.

PLOT PLAN

Property - 60' x 40'

Main House - 38' x 22'





Same-Day Permitting

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects.

This permitting program applies only to existing single family homes not located within a historic district or shoreland zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior non structural projects (i.e. Adding closets, bathrooms, changing floor plans, kitchen remodels)
- Repairs to existing decks, porches and stairs that meet current zoning setbacks
- Adding or replacing windows and doors (not to include bay windows)
- Sheds less than 100 sq. ft.
- One story open entry/porch, 50 sq. ft. or less with maximum 6 ft. projection from the principal structure
- Chimney installation (NFPA 211 disclosure statement required)
- Propane tanks
- Heating Appliances (i.e. HVAC systems, gas inserts/monitors, wood/pellet stoves)
- Bulkheads 50 sq. ft. or less with maximum of 2 ft. in height (low profile)

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant:

Date:

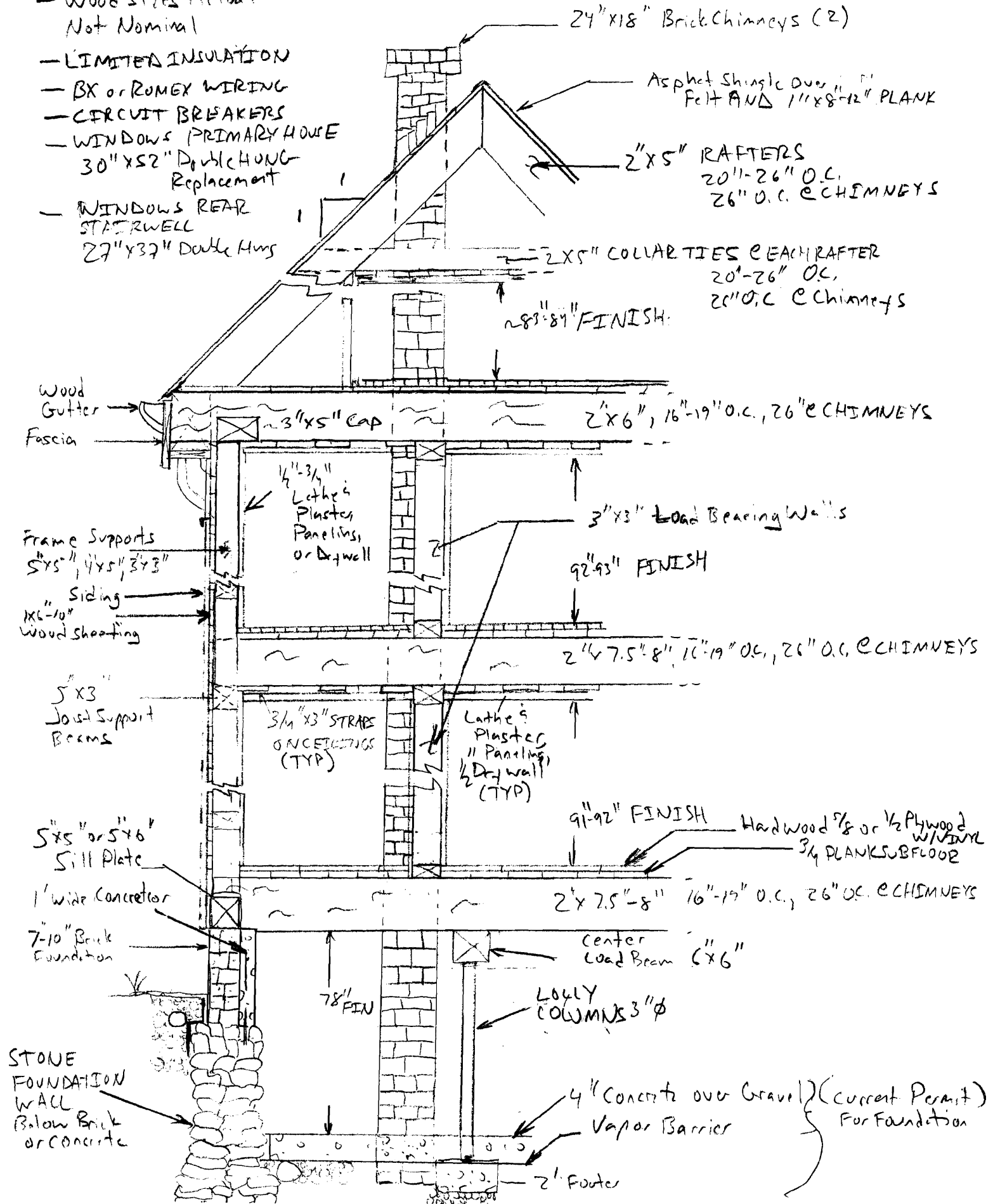
9/17/07

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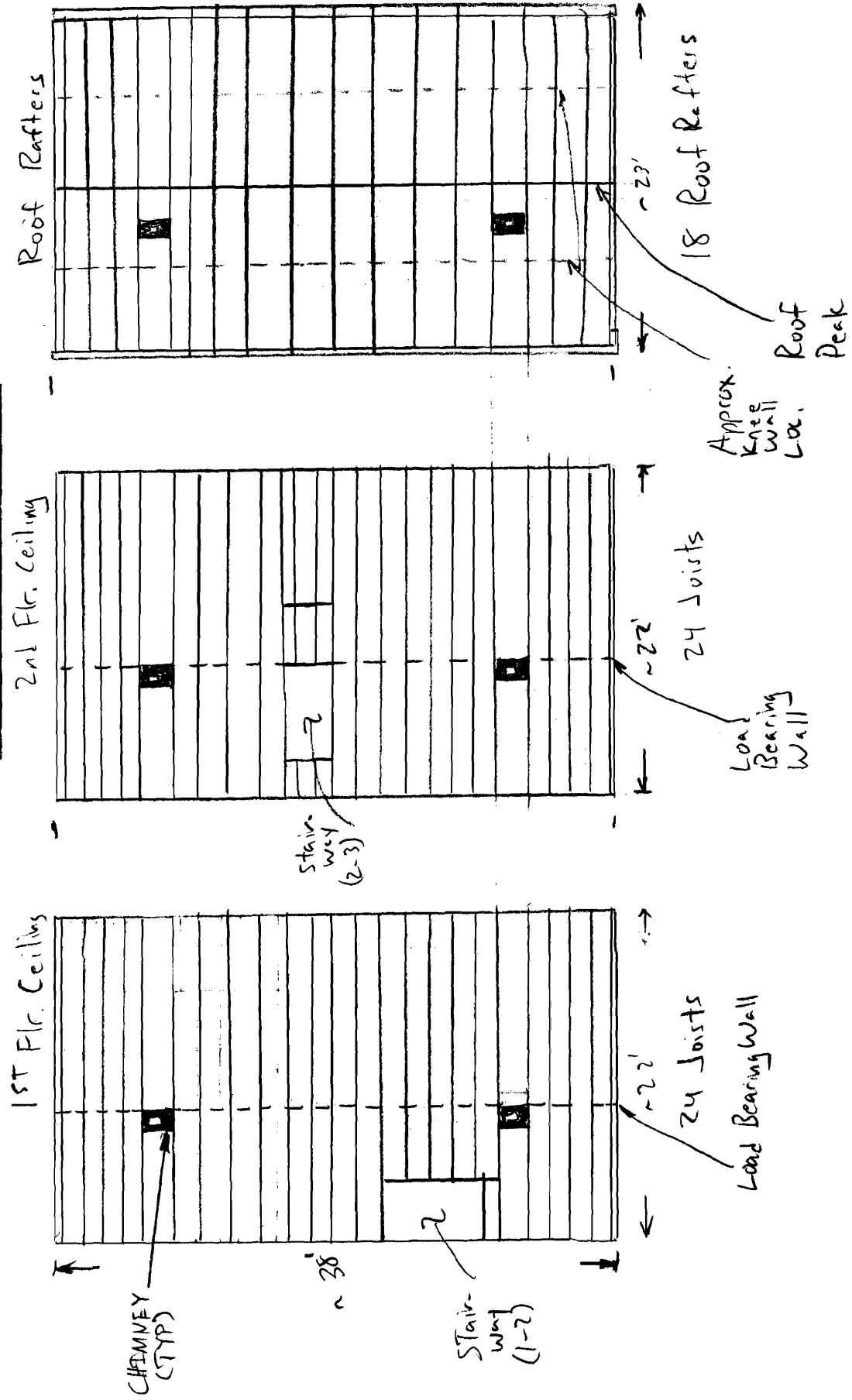
Cell # 232-9482
Jacob Bourdeau

Specifications

- Ballon Frame (CIRCA 1870)
- Wood Sizes Actual Not Nominal
- LIMITED INSULATION
- BX or RUMEX WIRING
- CIRCUIT BREAKERS
- WINDOWS (PRIMARY HOUSE) 30" X 52" Double Hung Replacement
- WINDOWS REAR STAIRWELL 27" X 37" Double Hung



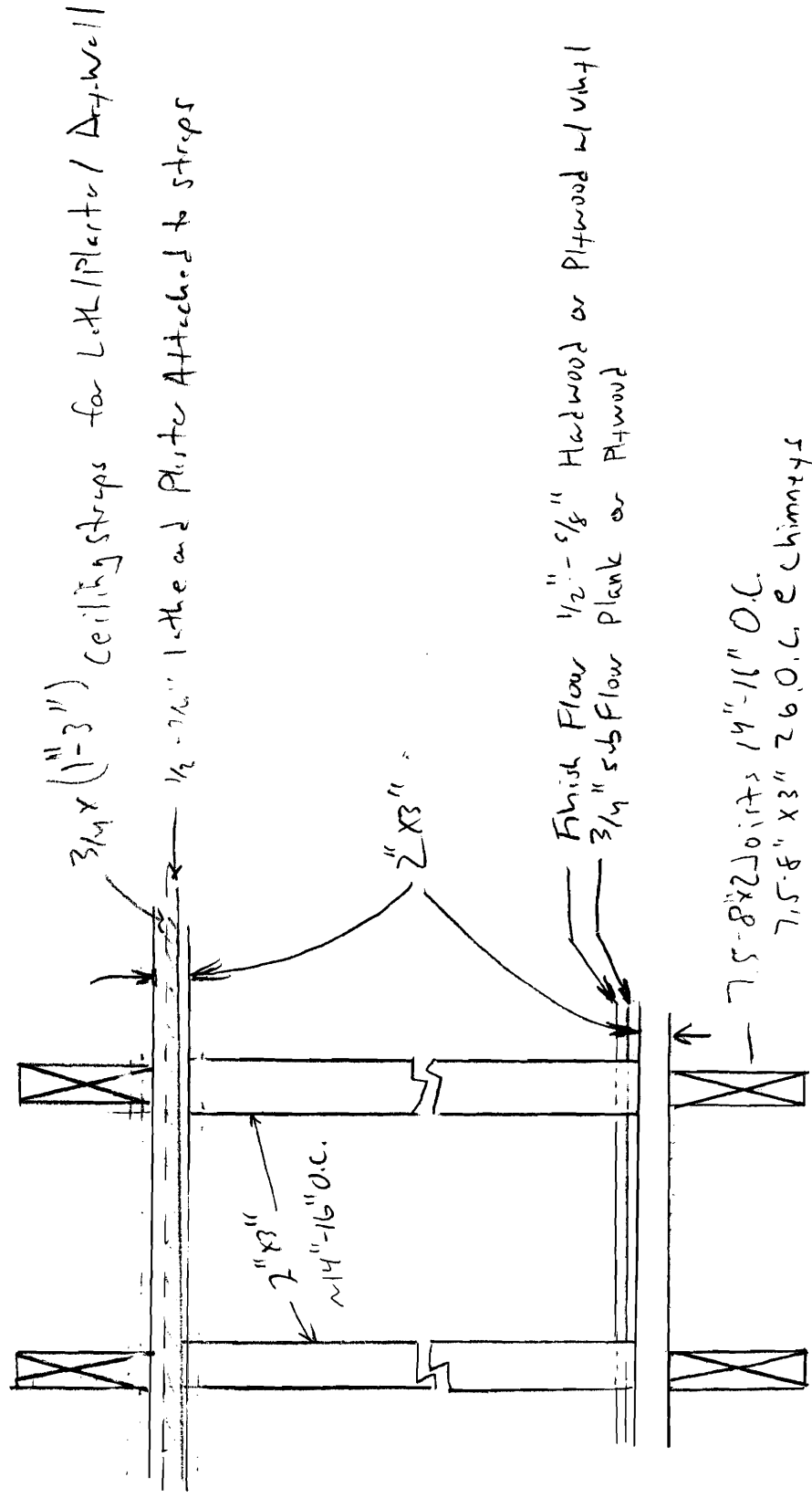
Roof Joist Details/Layout



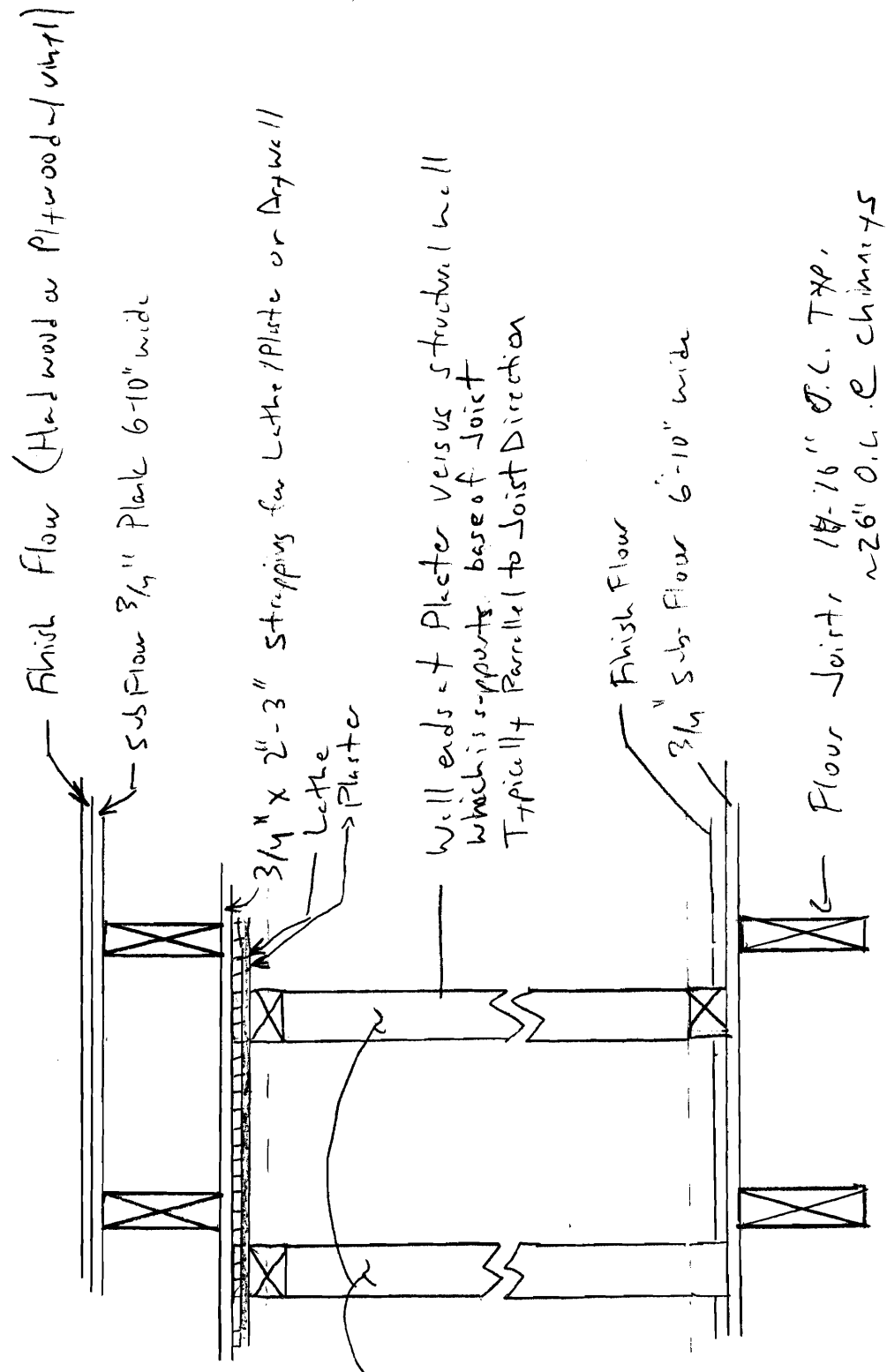
* Basement Ceiling 24 Joists

Load Bearing Wall Detail (Existing Typical)

N.T.S.



Existing
Partition Wall Details
 N.T.S.

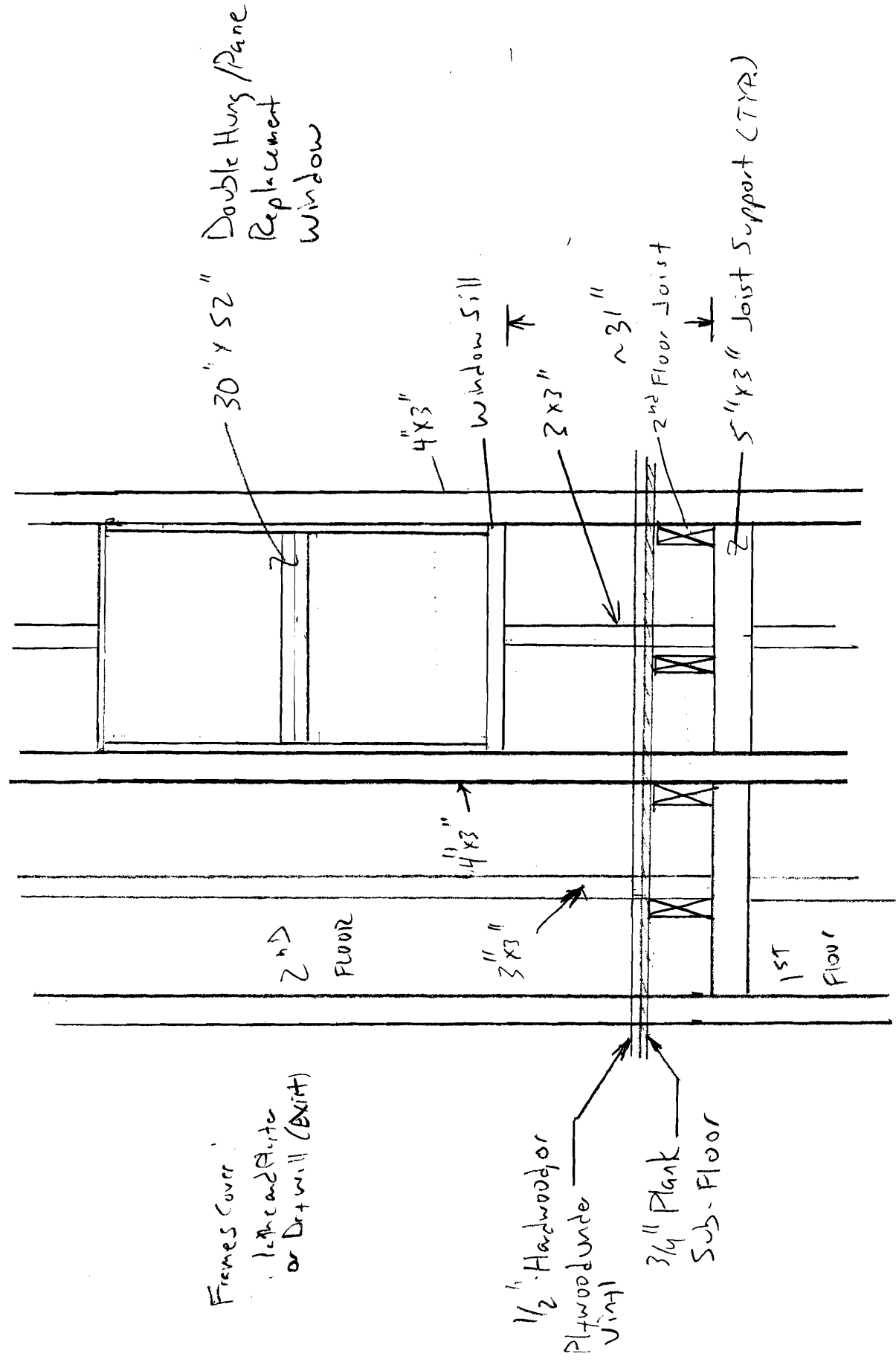


Typical
 2"x3"
 Interior
 Partitions
 Stop @ Strips
 and not
 typically in
 new
 Ceiling / Floor
 Joists

Will end in Plaster Versus Structural Wall
 which supports base of Joist
 Typically Parallel to Joist Direction

Floor Joist 18-16" O.C. TYP.
 ~26" O.C. E. chimneys

Balloon Frame & Window Detail



**17 WATERVILLE STREET
PORTLAND, MAINE 04103**

**Built Circa 1870
New Englander
Balloon Frame
Owners: Jacob and Kelly Bourdeau**



SCOPE OF WORK FOR SAME DAY PERMIT APPLICATION – (See attached Plans and photographs)

First Floor

- Shorten 1 partition non-load bearing wall and install drywall/molding
- Frame/construct closet
- Remove two partition non-load bearing walls, and install drywall/molding

Second Floor

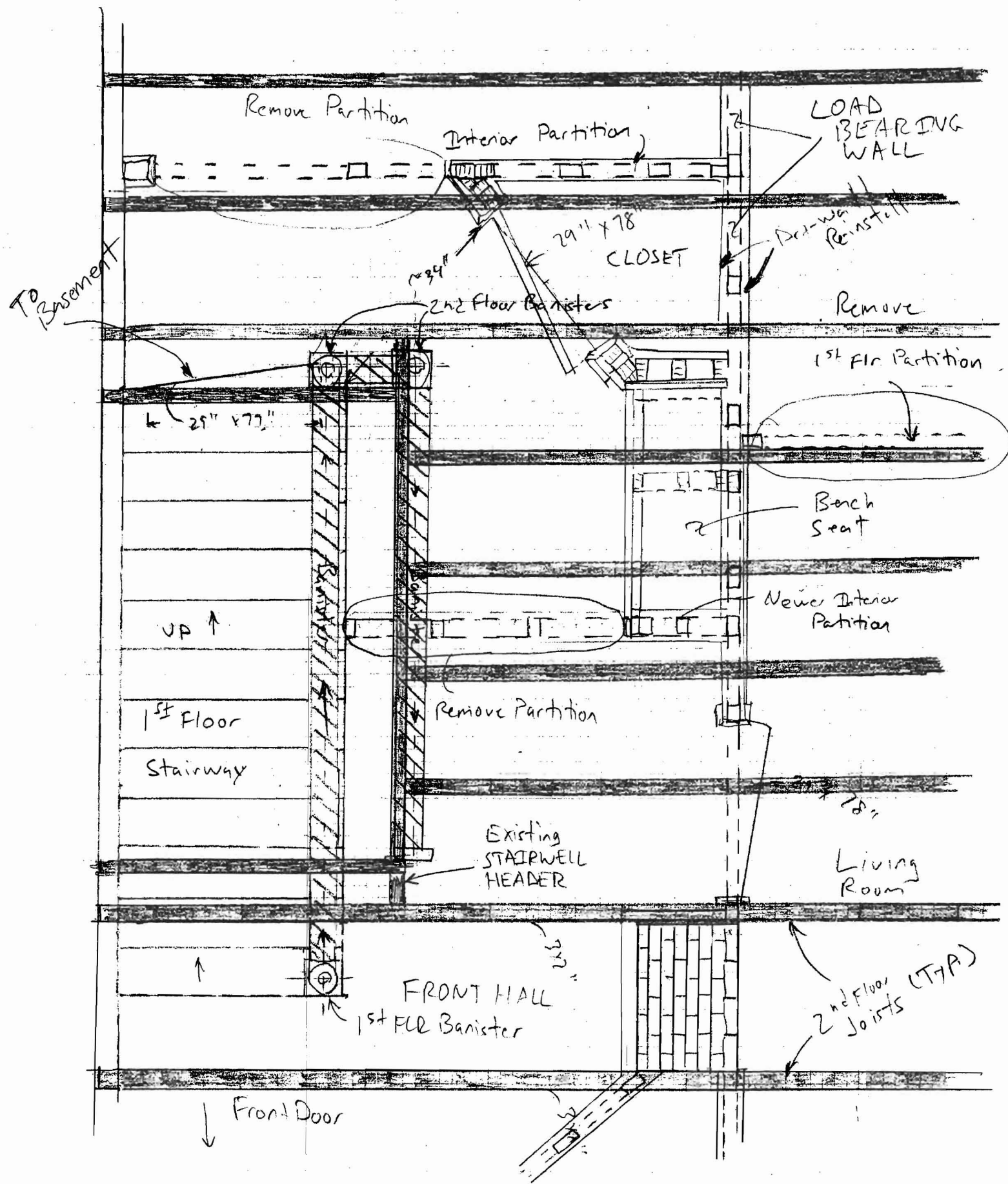
- Remove one partition non-load bearing wall, and install drywall/molding
- Add closet and drywall
- Install a partition wall with door-way to split a room, and install drywall/molding

Third Floor

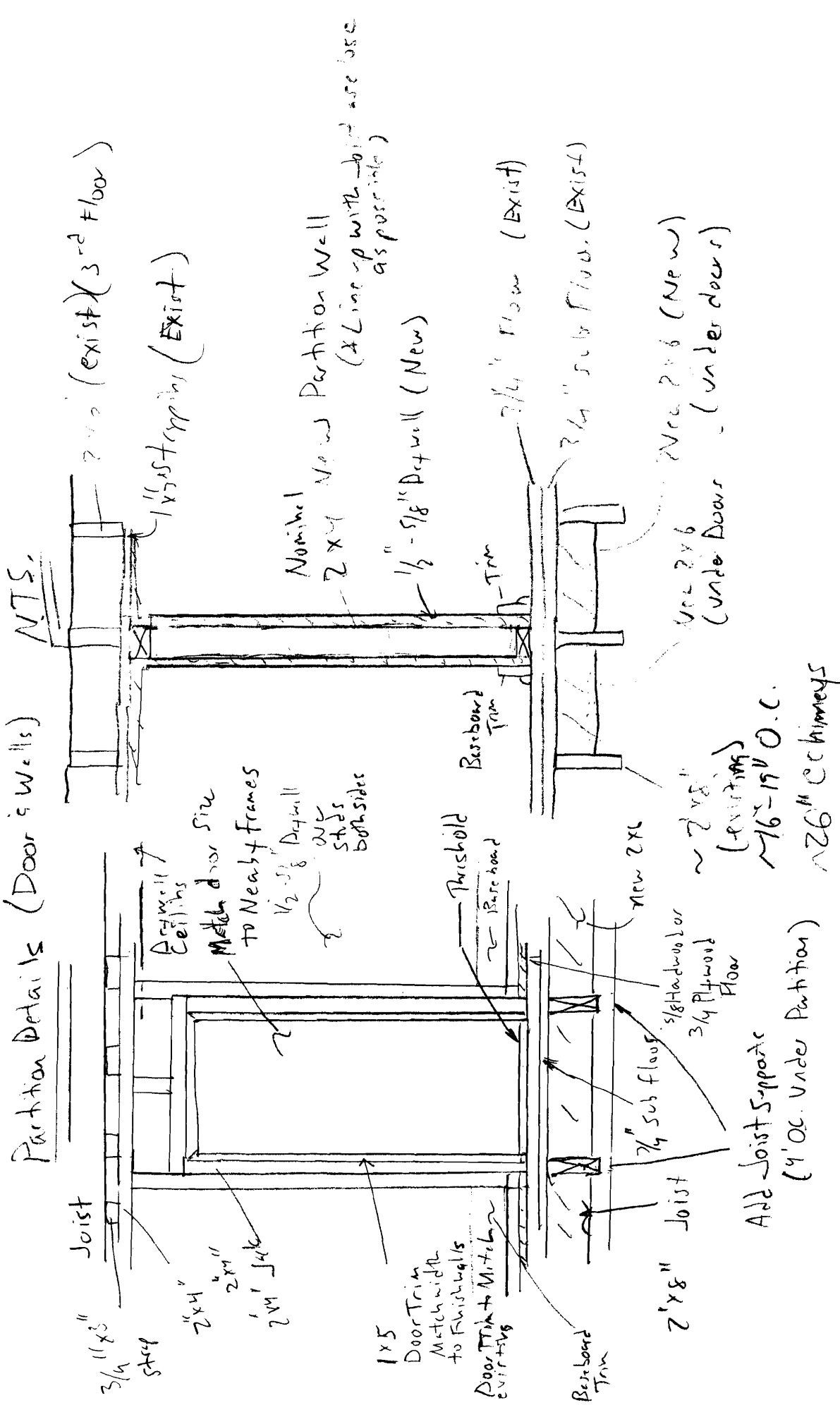
- Add closets and partition, and install drywall/moldings

*** Note - Future permit requests will include a minimum of separate HVAC, Electric and Plumbing permit applications. A Foundation Permit was recently approved and is being implemented.**

FRONT HALL DETAIL



Partition Details (Door & Walls)



* 2" x 4" Beams are Nominal
Others are existing Actual Sizes

17 WATERVILLE STREET
PORTLAND, ME 04101

EXISTING FLOOR PLAN

0 1 2 3 4 5
[] [] [] [] [] []

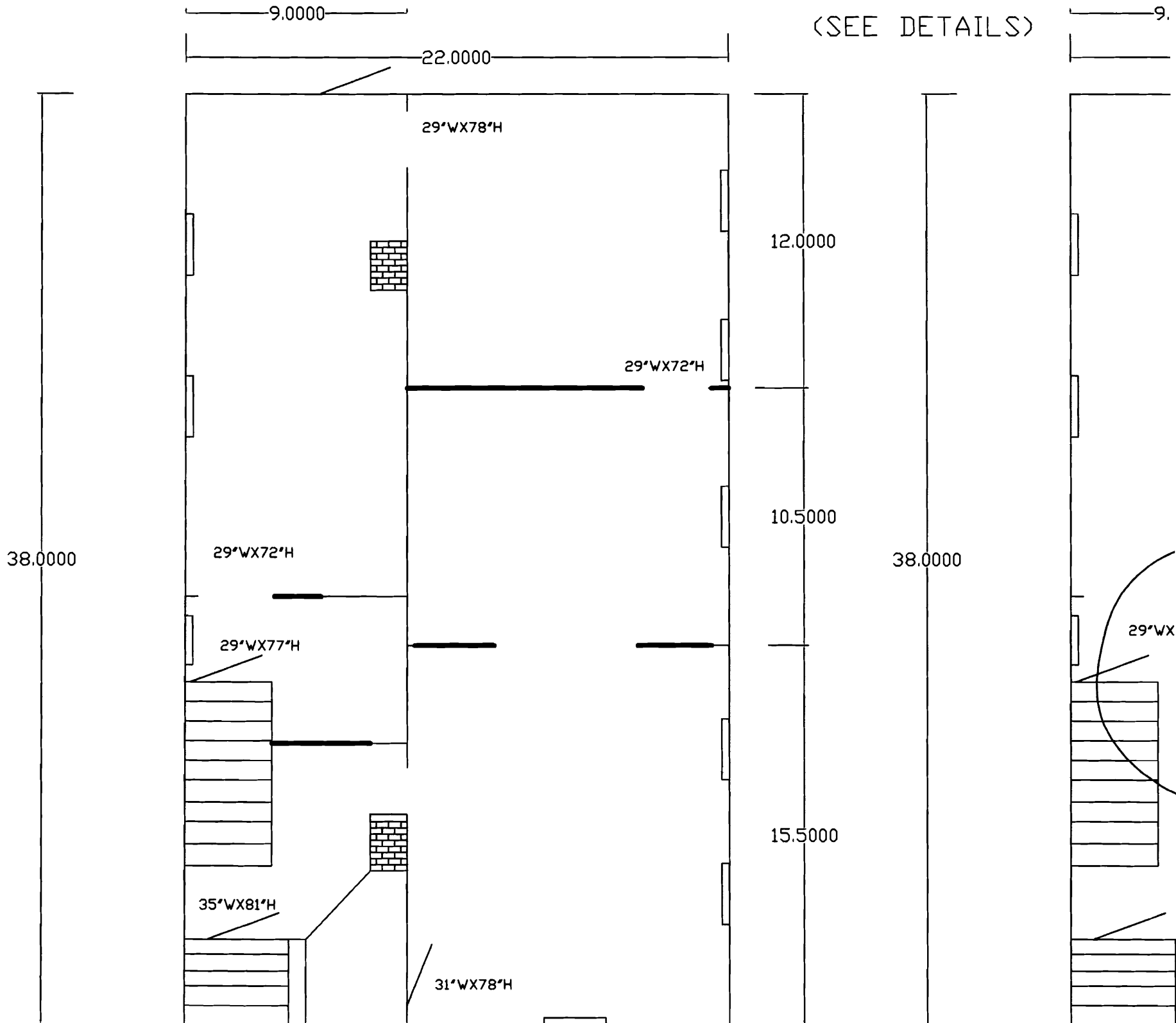


ADD FRAME

PRO

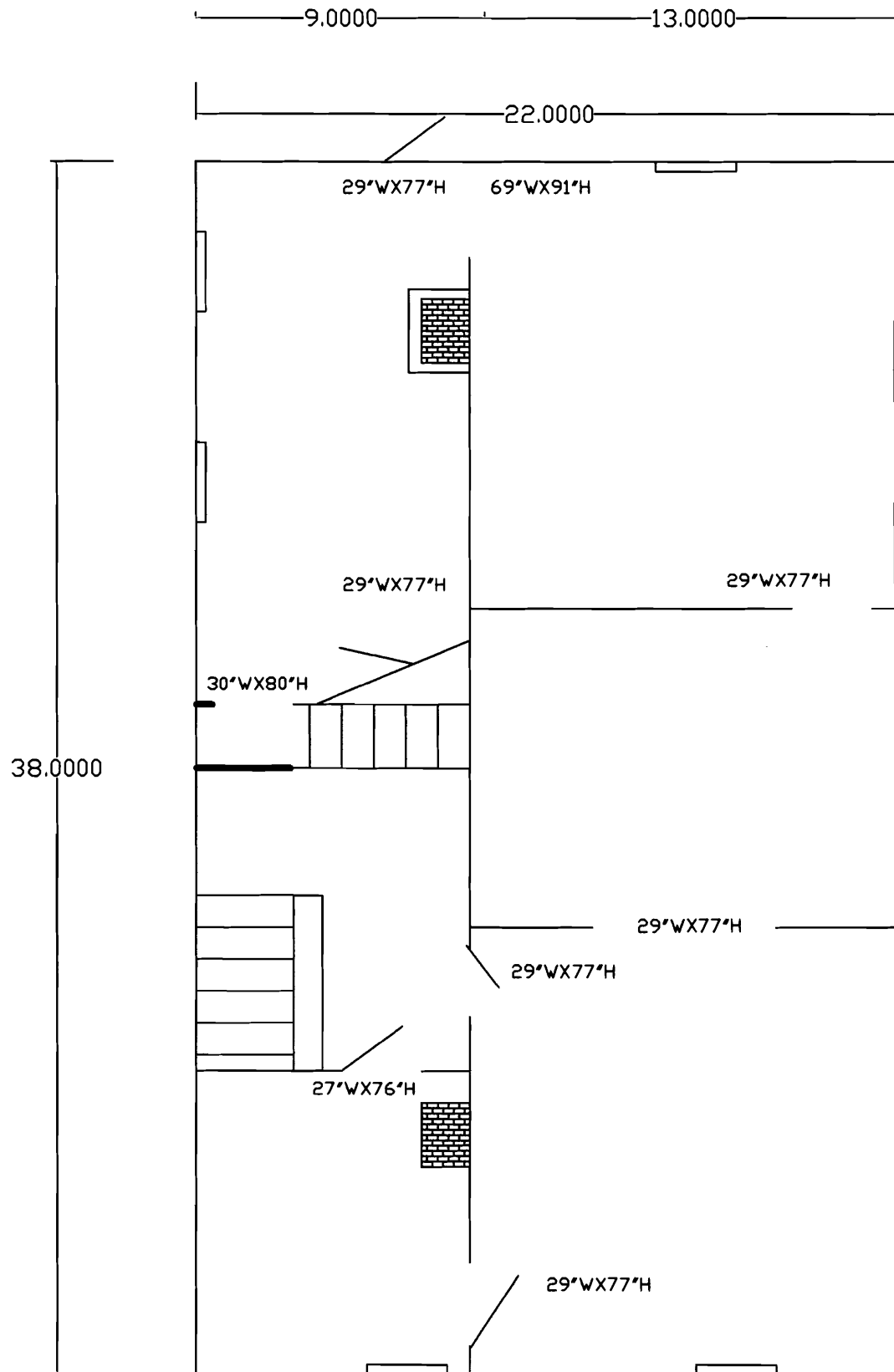
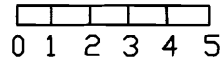
REMOVE

(SEE DETAILS)

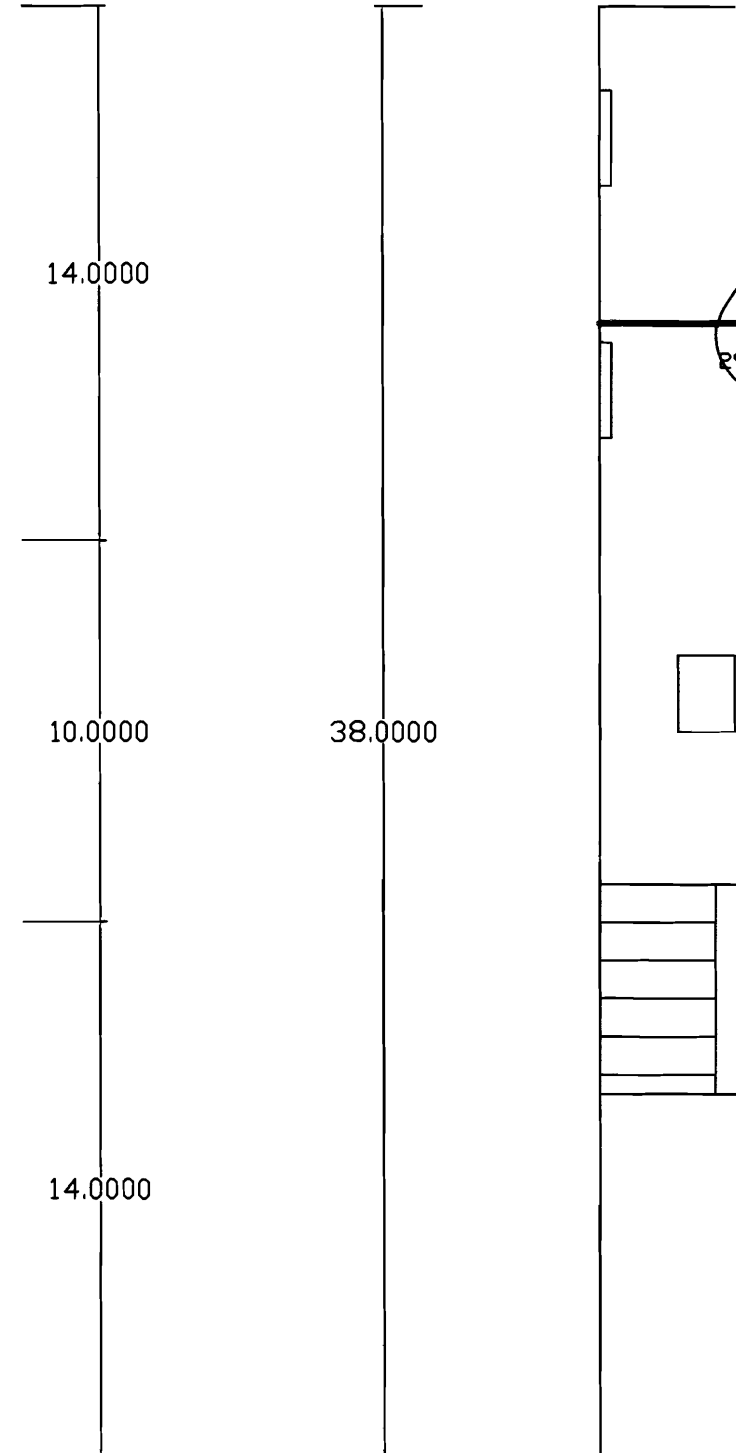


17 WATERVILLE STREET
PORTLAND, ME 04101

EXISTING FLOOR PLAN



— ADD FRAME
— REMOVE
(SEE DETAILS)

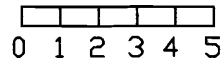


PR

17 WATERVILLE STREET

PORTLAND, ME 04101

EXISTING FLOOR PLAN



— ADD FRAME

— REMOVE

(SEE DETAILS)

PR

