

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 070317

Please Read
Application And
Notes, If Any,
Attached

This is to certify that PETIT MICHAEL R /Jason owner

has permission to Build new 10' x 13' Deck

AT 23 WATERVILLE ST

016 1020001

PERMIT ISSUED

APR 17 2007

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is started or work is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Monahan 4/17/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

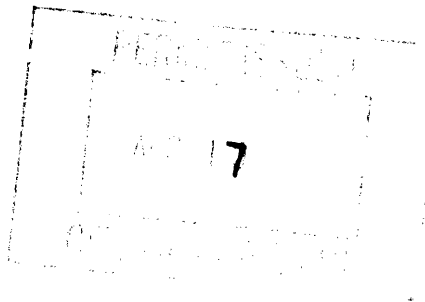
Permit No: 07-0317	Issue Date:	CBL: 016 J020001
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Location of Construction: 23 WATERVILLE ST	Owner Name: PETIT MICHAEL R	Owner Address: 25 WATERVILLE ST	Phone:
Business Name:	Contractor Name: Jason Vance	Contractor Address: 49 Pine Street Waterboro,	Phone: 2072294372
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-6

Past Use: 2 Unit	Proposed Use: 2 Unit - Build new 10' x 13' Deck	Permit Fee: \$40.00	Cost of Work: \$1,500.00	CEO District: 1
Proposed Project Description: Build new 10' x 13' Deck <i>legal use: 2 residential dwelling units</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC 2003	
		Signature:	Signature: <i>Jm 4/17/07</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 03/27/2007	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>3/28/07</i>	Date: <i>4/15/07</i>	Date: <i>S</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0317	Date Applied For: 03/27/2007	CBL: 016 J020001
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Location of Construction: 23 WATERVILLE ST	Owner Name: PETIT MICHAEL R	Owner Address: 25 WATERVILLE ST	Phone:
Business Name:	Contractor Name: Jason Vance	Contractor Address: 49 Pine Street Waterboro,	Phone (207) 229-4372
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: 2 Unit - Build new 10' x 13' Deck	Proposed Project Description: Build new 10' x 13' Deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/28/2007

Note: **Ok to Issue:**

- 1) Any and all conditions from the Zoning Board of Appeals must be met and maintained.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 04/17/2007

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

4/10/2007-tm: Called builder with questions and not accepting calls at this time. Called owner and left a message to call me or get in touch with builder to call me.

4/17/2007-tm: called builder and left message on machine

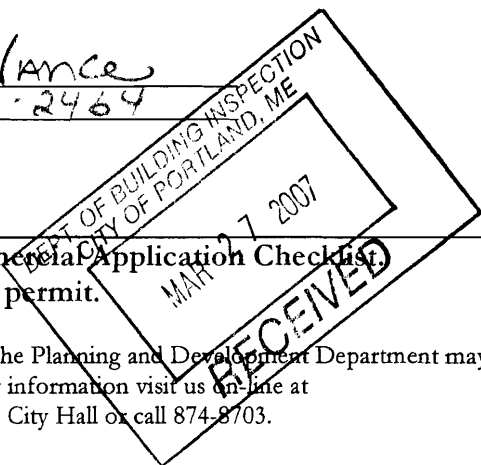


General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>23 Waterville St</u>		
Total Square Footage of Proposed Structure <u>130</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner: <u>Mike Peter</u>	Telephone: <u>229-4372</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Jason Vance 04601</u> <u>49 Pinecrest Ave</u> <u>N. Waterville, ME</u>	Cost Of Work: \$ <u>1500</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>2 Unit</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>new 10'x15 Deck</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Jason Vance</u> Mailing address: _____ Phone: <u>247-2464</u>		

granted Variance on Feb. 15, 2007



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3-</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

I, David Dore, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 15th day of February, 2007, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner: Michael R. Petit**
2. **Property:** 23 Waterville Street, Portland, ME 04101 **CBL:** 016-J-020
Cumberland County Registry of Deeds, Book 23109 , Page 209
Last recorded deed in chain of Title: September 2, 2005
3. **Variance and Conditions of Variance:**
To grant relief from section 14-139(d) of the Zoning Ordinance to allow an approximate 3.5 foot rear setback instead of the required 20 foot rear setback and a 1.5 foot side setback instead of the required 10 foot side setback.

IN WITNESS WHEREOF, I have hereto set my hand and seal this

20th day of February, 2007.

, Chair of
City of Portland Zoning Board, David Dore

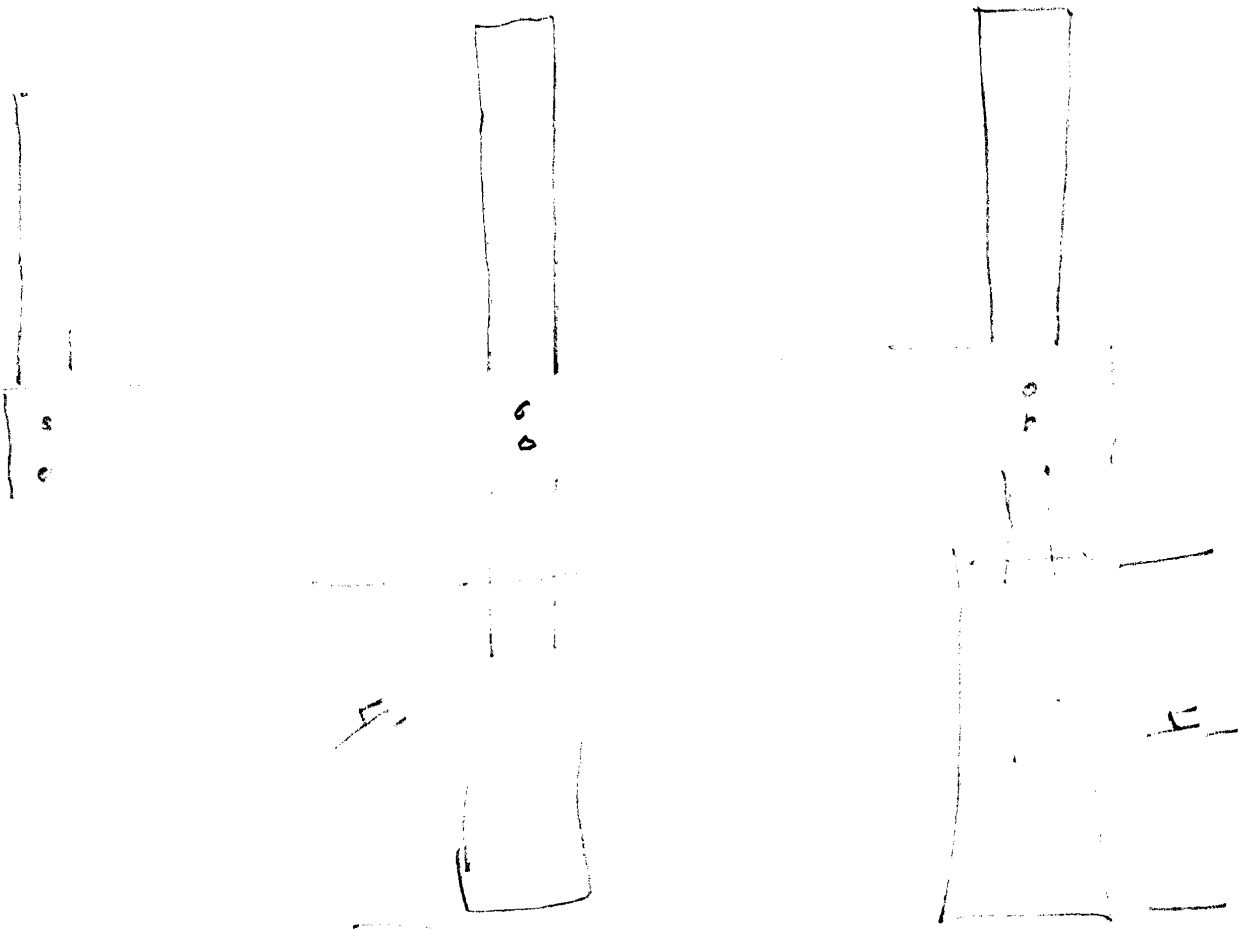
(Printed or Typed Name)

STATE OF MAINE
Cumberland, ss.

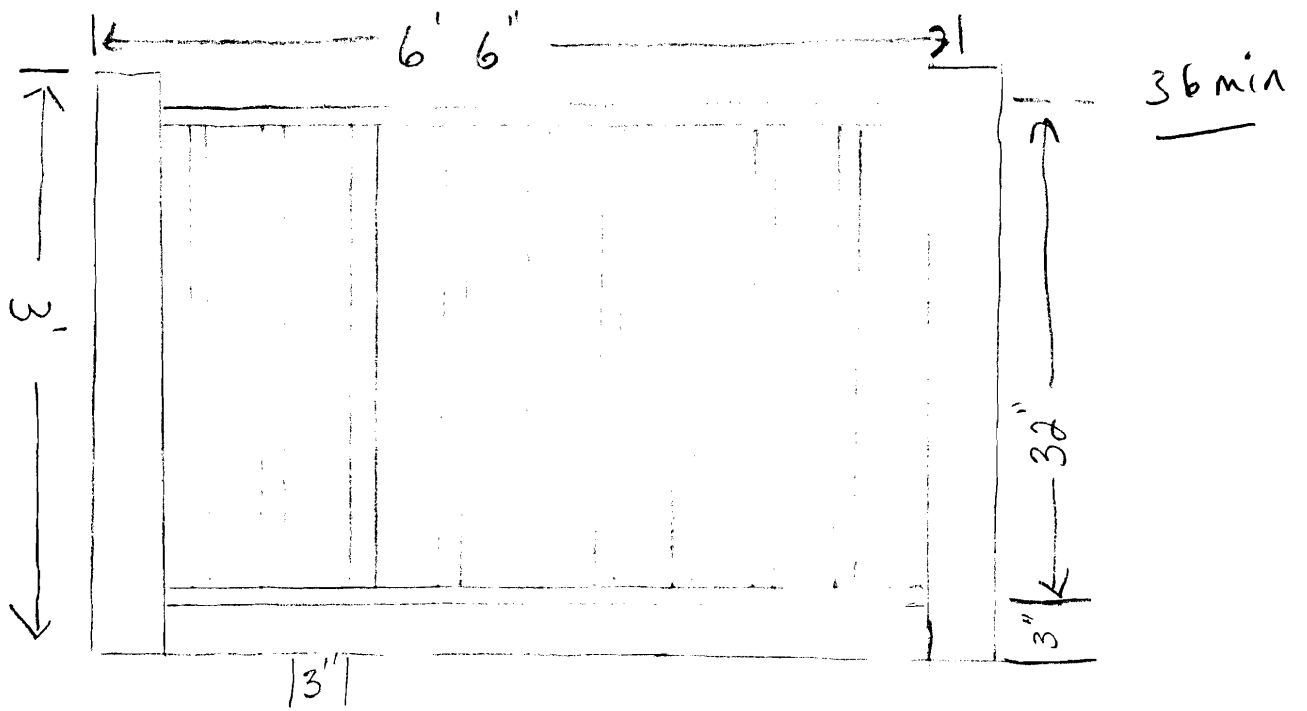
Then personally appeared the above-named David Dore and acknowledged the above certificate to be **his** free act and deed in **his** capacity as Chairman of the Portland Board of Appeals, with his signature witnessed on 2/20, 2007.

(Printed or Typed Name)
Notary Public
Margaret Schmuckal

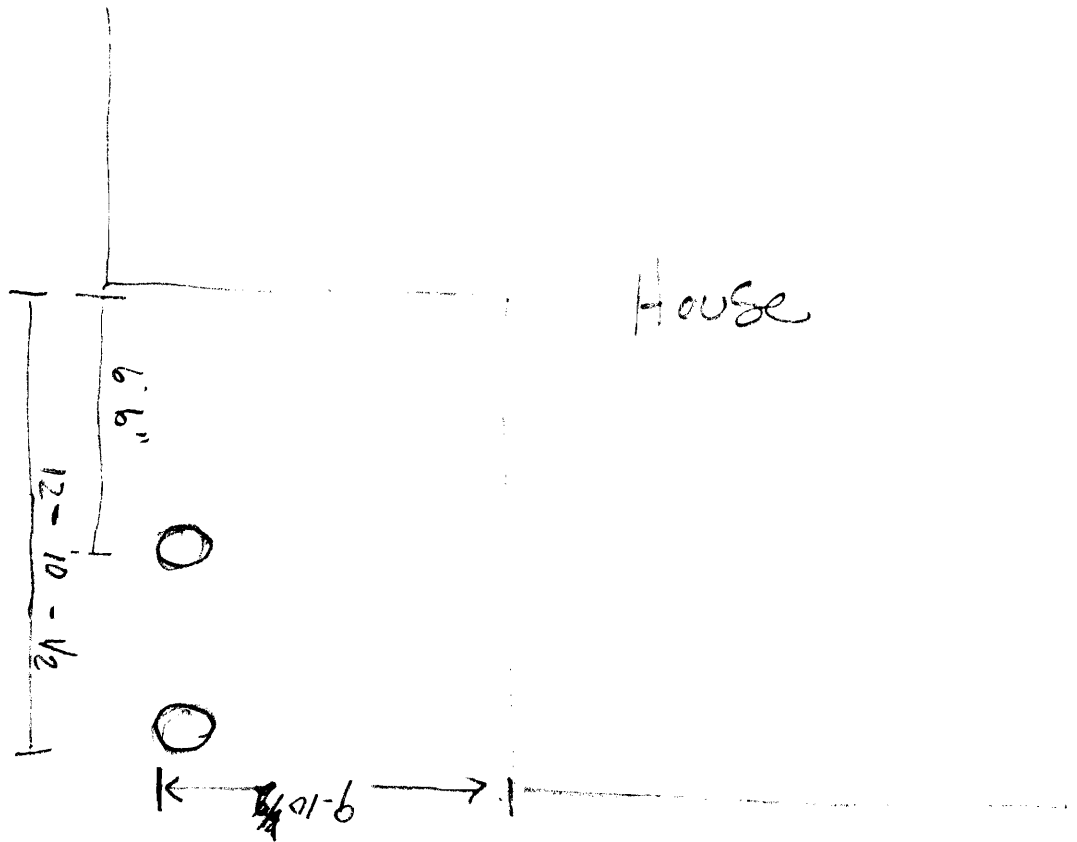
PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.



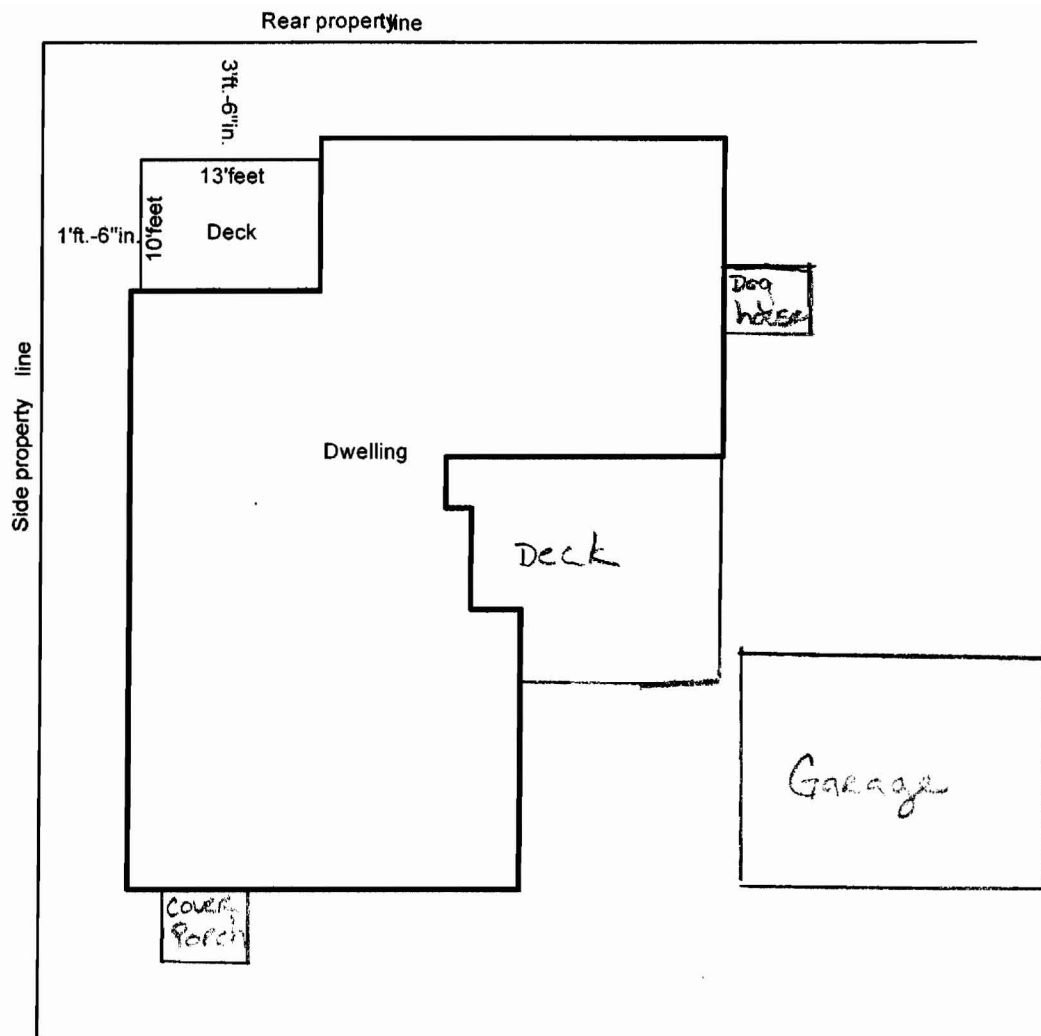
5" Sauna Posts 7' Tall
 4x4's are cemented in and Bolted
 to 2-2x8 with 10" Carriage Bolts



Spacing Between Spindles is 3"



* 8" sauna tube 3' feet Deep



23 Watervill St.

BUILDING A DECK???

INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube or pre cast concrete pier size 8"
- b. depth below grade (minimum 4'-0" below grade) 3'
- c. anchorage of column to footing
- d. spacing and location of tubes/piers

3. Framing Members

- a. Columns – wood size and location (members supporting framing of floor system)
- b. Ledger size attached to building 2x8
- c. Fastener size and spacing attaching ledger
- d. Girder Size and spans carrying floor system
- e. Joist size, span, and spacing 2x8's 16' OC 10 spans
- f. Joist hangers or ledger Joist hangers

4. Guardrails & Handrail Details

- a. Guardrail height
- b. Baluster spacing
- c. Handrail height

5. Stair Details

- a. Tread depth (measured nosing to nosing)
- b. Riser height
- c. Nosing on tread
- d. Width of stairs