

Listed below are key characters (in bold) for searching within this file.

Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.

APL – all documents behind this target sheet pertain to the original application submitted by the Applicant.

REVIEW – all documents behind this target sheet pertain to those documents submitted to and from staff as part of the project review.

PBM1 – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

PBR1 - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

CC1 - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

DRC1 - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

MISC1 - all documents behind this target sheet are those that may not be included in any of the categories above.

DRC1

DEVELOPMENT REVIEW COORDINATOR
POST APPROVAL PROJECT CHECKLIST

Date: 8/31/09

Project Name: Waterville Str. Condos

Project Address: 29 Waterville Str.

Site Plan ID Number: 2009-0019

Planning Board/Authority Approval Date: 7/14/09

Site Plan Approval Date: 7/14/09 & 3/18/10

Performance Guarantee Accepted: 5/6/10

Inspection Fee Paid: 5/5/10

Infrastructure Contributions Paid: 5/5/10

Amount of Disturbed Area in SF or Acres: < 1 Acre

MCGP/Chapter 500 Stormwater PBR: < 1 Acre

Plans/CADD Drawings Submitted: 5/12/10

Pre-Construction Meeting: 5/5/10

Conditions of Approval Met: 6/20/11

As-Builts Submitted: → Accepted by Chuck Wardell 8/18/11

Public Services Sign Off: 6/8/11

Certificate of Occupancy Memo Processed: Temp issued 1/25/11 - Expires 6/1/11

(Temporary or Permanent) → 6/20/11

Performance Guarantee to Defect Guarantee: Reduced 12/13/10 by \$25,360 - \$8,070 remains → 6/20/11 - \$3,343.00 remains

Defect Guarantee Released: 6/14/12



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Gregory A. Mitchell, Acting Director

Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: June 14, 2012
SUBJECT: Request for Release of Defect Guarantee
Waterville Street Condominiums, 29 Waterville Street
(ID# 2009-0019 Lead CBL # 016 J 019001)

Please release the Defect Guarantee, Letter of Credit # 8010012584 for the Waterville Street Condominiums Project at 29 Waterville Street.

Remaining Balance \$3,343.00

Approved:



Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

Jean Fraser - Re: 29 Waterville street

From: Jean Fraser
To: Lloyd, David
Date: 4/13/2011 3:36 PM
Subject: Re: 29 Waterville street
CC: DiPierro, Philip; Lisberger, Lin; Scheu, Jenny Potter; Seymour, Andy;...

Copy for Phil

David

I am writing to confirm the site plan approval to the di minimus changes shown in red on the annotated plans L1 and S1 received 4.11.2011, which include:

- maple on north side rear to be relocated onto Mary Casale's property with her permission
- juniper and daylily along north side to be deleted
- 2X2 paviors to be located along side of north elevation with ground cover between
- Trellis on north elevation to be planted with 3 "arctic beauty kiwi" (instead of hydrangea)
- 4 trees at rear to be 2 weeping crabapple and 2 fringe trees
- shrubs on south side next to building to be 7 blueberry shrubs (#7 arborvitae at front eliminated)
- 16'X6' high cedar fence at rear along north property boundary to be 16' rail fence to match existing, as agreed with Mary Casale

Jean Fraser
Planner
City of Portland
874 8728

>>> David Lloyd <lloyd@archetypepa.com> 4/11/2011 4:42 PM >>>

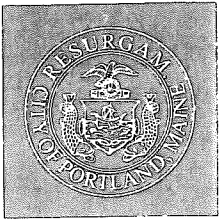
Jean

Attached is the site plan and landscape plan that have been modified per my emails, discussions with Mary Casale and negotiations between Jeff Tarling and Lin Lisberger. Please call with any questions

David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Tele: (207) 772-6022
Fax: (207) 772-4056
Cell: (207) 831-8627
lloyd@archetypepa.com
<http://www.archetype-architects.com>

-----Original Message-----

From: Toshiba Copier [mailto:sue@archetypepa.com]



Plat - for your files - see e-mail.

Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

January 25, 2010

Peter Bass
Waterville Triad LLC
17 Chestnut Street
Portland, ME 04101

RE: Waterville Street Condominiums
29 Waterville Street

Dear Peter Bass,

I am writing to clarify and confirm the current status of the Subdivision Plat that relates to your July 14, 2009 Site Plan and Subdivision Approval (application #2009-0019) for Waterville Street Condominiums, a three unit, three storey plus basement condominium building at 29 Waterville Street.

I confirm that the Subdivision Plat mylars (two identical mylars that would be recorded as copies of each other) have been signed by the requisite members of the Portland Planning Board. The Planning Division can not release the plat for recording at the Cumberland County Registry of Deeds until the following steps are complete:

- The City (Planning Division DRC) receives the relevant Performance Guarantee, including the cost estimate form to be approved by DRC and a Performance Guarantee that is acceptable to the City;
- The relevant Inspection Fee is paid;
- The Infrastructure Contribution of \$1000 (referenced in Subdivision Approval, Conditions 3i and 4ii) is paid;
- Seven (7) paper sets (at scale) of the Final Plans (as approved- see below) are submitted to the Planning Division.

Please note:

- The Planning Division has received documentation that all of the conditions have been met except for the infrastructure contribution referenced in Conditions 3i and 4ii, and corrections to the Site Plan referenced in Condition 8iii;
- The Site Plan (ARCHETYPE, P.A. ARCHITECTS Sheet S1 Preliminary Site Plan Revision 4-27-2009) needs to be corrected in respect of the balcony projection on the downhill side to comply with Condition 8iii;

- The Final Plans would comprise: the Recording Plat with Surveyor Certification date of December 16, 2009; the corrected Site Plan S1 (as mentioned above); Sheet S2 Site Details dated January 5, 2009; Sheets A1, A2, A3 Floor Plans and A4, A5 Elevations all dated March 23, 2009; Sheet L1 Landscaping Plan dated November 10, 2009; Sheet A8 Bay Window Projection dated March 23, 2009; and Sheet A9 Bay Window/Site dated March 23, 2009 (all by ARCHETYPE, P.A. ARCHITECTS except for the Plat);
- That the final plans need to be submitted in AutoCAD format when the project moves into the construction stage;
- That the Subdivision Plat becomes null and void if it has not been recorded within three (3) years from the Planning Board Approval (i.e. by July 13, 2012), and the signed but unrecorded plat can not be released after that date;
- That the site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date;
- That one copy of the recorded mylar of the Subdivision Plat and five (5) paper copies (at scale) of the recorded Subdivision Plat should be submitted to the Planning Division immediately after it is recorded.

Please let me know if you have any questions; I can be reached on (207) 874 8728 or at jf@portlandmaine.gov.

Sincerely,



Jean Fraser
Planner

cc: Barbara Barhydt, Development Review Services Manager
Danielle West-Chuhta, Associate Corporation Counsel
Marge Schmuckal, Zoning Administrator
David Margolis-Pineo, Deputy City Engineer
Bill Clark, Public Services
Phil DiPierro, Planning Division DRC

David Lloyd, *Archetype P.A. Architects*, 48 Union Wharf, Portland, ME 04101

SUBDIVISION/SITE DEVELOPMENT
Cost Estimate of Improvements to be covered by Performance Guarantee

Date: 2/22/10

Name of Project: Waterville Street Condominiums

Address/Location: 29 Waterville St.

Application ID #: _____

Developer: Waterville TRAD LLC

Form of Performance Guarantee: Letter of Credit

Type of Development: Subdivision Site Plan (Major/Minor)

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas						
Curbing	<u>20</u>	<u>75</u>	<u>1,500 ✓</u>			
Sidewalks	<u>400 sf.</u>	<u>500</u>	<u>2,000 ✓</u>			
Esplanades						
Monuments						
Street Lighting						
Street Opening Repairs	<u>1</u>	<u>1,000</u>	<u>1,000 ✓</u>			
Other - <u>Water Main Svc.</u>			<u>8,000 ✓</u>			
2. EARTH WORK						
Cut				<u>530 cyd</u>	<u>\$10.00</u>	<u>5,300 ✓</u>
Fill				<u>200 cyd</u>	<u>\$15.00</u>	<u>3,000 ✓</u>
3. SANITARY SEWER						
Manholes						
Piping						
Connections						
Main Line Piping						
House Sewer Service Piping				<u>40 ft</u>	<u>15.00</u>	<u>600.00 ✓</u>
Pump Stations						
Other						
4. WATER MAINS						
				<u>40 ft</u>	<u>10.00</u>	<u>400.00 ✓</u>
5. STORM DRAINAGE						
Manholes						
Catchbasins - <u>reset</u>	<u>1</u>	<u>3,000</u>	<u>3,000 ✓</u>			
Piping						
Detention Basin						
Stormwater Quality Units						
Other						

6. SITE LIGHTING					
7. EROSION CONTROL					
Silt Fence			120	4.00	430 ✓
Check Dams					
Pipe Inlet/Outlet Protection					
Level Lip Spreader					
Slope Stabilization					
Geotextile					
Hay Bale Barriers					
Catch Basin Inlet Protection					
8. RECREATION AND OPEN SPACE AMENITIES					
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	1 tree with well	500	500	7,500	7,570
10. MISCELLANEOUS					
TOTAL:		10,000 8,000		17,430	
GRAND TOTAL:		25,430			

~~\$25,430.00~~ → \$33,430
OK 3/8/10

INSPECTION FEE (to be filled out by the City)

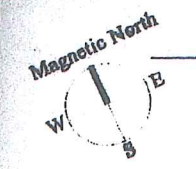
	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals:	\$160 \$320	\$348.60	\$508.60 \$668.60
or			
B: Alternative Assessment:			
Assessed by:	<u>[Signature]</u> (name)	<u>3/8/10</u> (name)	

12/13/10
OK to release \$25,360 → Hold \$8,070

TWO WEEPING CEDARAPPLE & TWO FRINKE TREES

PLANT LIST

NO	POT / COMMON NAME	QUANT	SIZE	REMARKS
1	NEAR PALMATION X TROPICANA REPLANT JAPANESE MAPLE	1	6'-10" HT	SEE SPECIMEN
2	SHARONVELLA LAGERHIA COMMON QUINCE	5	2'-3" HT.	CONTAINERS
3	HYDRANGEA CLIMBING HYDRANGEA	2	2'-3" HT.	"
4	HYDRANGEA ARBOREAL JUNIPER	3	2'-3" HT.	"
6	MAHONIA 'SANDY' SANDY CEDARAPPLE	4	2'-3" HT.	SEE SPECIMEN
7	TRIVIA OCCIDENTALIS OUBOSA SLOPED ARBOVITAE	2	2'-3" HT.	CONTAINERS
9	MYRTLE MYRTLE	94	6"-10" HT.	PLANTS
10	HOSTA VAR. (A) 'FRANCIS' (B) 'ROYAL STANDARD'	30 85	6" POTS	"
8	CERCIDIPHYUM JAPONICUM KATSURA TREE	1	2'-3" HT.	BACK STREET TREE
9	RHUS AROMATICA LOW-GROW SUMAC	8	"	"
10	HEMEROCALLIS STELLA DE ORO DAYLILY	25	"	"



NOTE: SPACE HOSTA AND MYRTLE SETS IN LOOSE GROUPINGS AT AN AVERAGE SPACING OF 12" x 12"



MAPLE TO BE PLANTED ON ADJACENT PROPERTY

NO. 1
1/2 HO (A)

ARCTIC BEAUTY KIWI
3- NO. 3
PLANT @ BASE OF TRELLIS

30- HE
DELETE

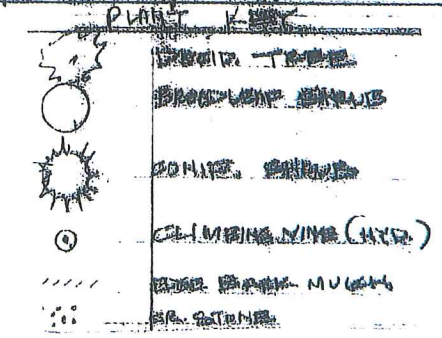
3- NO. 4
DELETE

2x2 PAVEMENT CONC.

GROUND COVER BETWEEN 2x2 PAVEMENTS

CLIMATE 7 BLUEBERRY SHRUBS

ELIMINATE #7



- PLANTING NOTES:
- PROVIDE 12" OF TOPSOIL IN PLANT BEDS.
 - PROVIDE 2" OF BARK MULCH ON ALL PLANT BEDS.
 - UNDER WALKS AND BARBER AREAS (REMAINING UNPLANTED) PROVIDE 12" OF STONE FILL IN PLACE OF TOPSOIL.
 - REMOVE MULTIPLE ROOTS FROM REMOVAL TREES.

* CHANGES 3/28/11
X CHANGES 4/11/11

LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

WATERVILLE STREET

(2009-0019)

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-14-2009

as amended 3-18-2010
and 4-13-2011

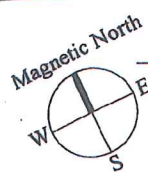
OWNER: WATERVILLE TRIAD LLC
48 Union Wharf, Portland, Maine 04108
(207) 772-6022 Fax (207) 772-4656

PROJECT: ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf, Portland, Maine 04108
(207) 772-6022 Fax (207) 772-4656

PROJECT: WATERVILLE STREET CONDOMINIUMS
WATERVILLE STREET PORTLAND

LANDSCAPE PLAN

LI



RAIN BARREL CONNECTED TO GUTTER DOWNSPOUT. SET ON 3'X3'X12" BED OF CRUSHED STONE.

16'-0" X 6'-0" HIGH CEDAR FENCE. STYLE TO BE SELECTED BY MARY CASALE

CHANGE TO 16' X 6" RAIL FENCE FLAGSTONE PAVERS. TO MATCH DRISMAN

16'-0" OF RAIL FENCE TO MATCH EXIST

ELECTRIC PANEL

EXISTING TREES TO BE REMOVED

PROPOSED PARKING EASEMENT

FOUNDATION DRAIN 4" PERFORATED PVC PIPE

CONCRETE WALKWAY

PROJECTION OF BAY WINDOW OVERHEAD.

NEW GRANITE CURB (SEE SHEET S2 FOR INSTALLATION DETAILS) EXISTING CURB ALONG PROPERTY TO BE RESET

6' GRANITE TIP-DOWN CURB BOTH SIDES OF DRIVE
RELOCATED POLE

EXISTING DROP INLET CATCH BASIN: RESET TOP OF CATCH BASIN WITH A STANDARD CAST IRON FRAME AND GRATE PER CITY OF PORTLAND SPECS.
REMOVE EXISTING POLE

12" BITUMINOUS STRIP

NEW RETAINING WALL BUILT ON OUTSIDE OF EXIST STONE RETAINING WALL

5'-2"

98

97

96

95

94

93

92

91

90

89

88

87

86

85

84

83

82

81

80

79

78

77

76

75

74

73

72

71

70

69

68

67

66

65

64

63

62

61

60

59

58

57

56

55

54

53

52

51

50

49

48

47

46

45

44

43

42

41

40

39

38

37

36

35

34

33

32

31

30

29

28

27

26

25

24

23

22

21

20

19

18

17

16

15

14

13

12

11

10

9

8

7

6

5

4

3

2

1

0

-1

-2

-3

-4

-5

-6

-7

-8

-9

-10

-11

-12

-13

-14

-15

-16

-17

-18

-19

-20

-21

-22

-23

-24

-25

-26

-27

-28

-29

-30

-31

-32

-33

-34

-35

-36

-37

-38

-39

-40

-41

-42

-43

-44

-45

-46

-47

-48

-49

-50

-51

-52

-53

-54

-55

-56

-57

-58

-59

-60

-61

-62

-63

-64

-65

-66

-67

-68

-69

-70

-71

-72

-73

-74

-75

-76

-77

-78

-79

-80

-81

-82

-83

-84

-85

-86

-87

-88

-89

-90

-91

-92

-93

-94

-95

-96

-97

-98

-99

-100

-101

-102

-103

-104

-105

-106

-107

-108

-109

-110

-111

-112

-113

-114

-115

-116

-117

-118

-119

-120

-121

-122

-123

-124

-125

-126

-127

-128

-129

-130

-131

-132

-133

-134

-135

-136

-137

-138

-139

-140

-141

-142

-143

-144

-145

-146

-147

-148

-149

-150

-151

-152

-153

-154

-155

-156

-157

-158

-159

-160

-161

-162

-163

-164

-165

-166

-167

-168

-169

-170

-171

-172

-173

-174

-175

-176

-177

-178

-179

-180

-181



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: June 20, 2011
SUBJECT: Request for Reduction and conversion of Performance Guarantee to Defect Guarantee
Waterville Street Condominiums, 29 Waterville Street
(ID# 2009-0019 Lead CBL # 016 J 019001)

Please reduce and convert the Performance Guarantee, Letter of Credit # 8010012584 for the Waterville Street Condominiums Project at 29 Waterville Street, to the Defect Guarantee.

Original Amount	\$33,430.00
First Reduction	\$25,360.00
<u>This Reduction</u>	<u>\$4,727.00</u>
Remaining Balance	\$3,343.00

This is the second reduction for the project.

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: June 20, 2011

RE: C. of O. for # 29 Waterville Street, Waterville Triad, LLC
(Id#2009-0019) (CBL 016 J 019001)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Inspection Services Manager
File: Barbara Barhydt, Development Review Services Manager
File: Urban Insight

Philip DiPierro - Re: 29 Waterville street

From: Jean Fraser
To: Lloyd, David
Date: 4/13/2011 3:36 PM
Subject: Re: 29 Waterville street
CC: DiPierro, Philip; Lisberger, Lin; Scheu, Jenny Potter; Seymour, Andy;...

David

I am writing to confirm the site plan approval to the di minimus changes shown in red on the annotated plans L1 and S1 received 4.11.2011, which include:

- maple on north side rear to be relocated onto Mary Casale's property with her permission
- juniper and daylily along north side to be deleted
- 2X2 paviors to be located along side of north elevation with ground cover between
- Trellis on north elevation to be planted with 3 "arctic beauty kiwi" (instead of hydrangea)
- 4 trees at rear to be 2 weeping crabapple and 2 fringe trees
- shrubs on south side next to building to be 7 blueberry shrubs (#7 arborvitae at front eliminated)
- 16'X6' high cedar fence at rear along north property boundary to be 16' rail fence to match existing, as agreed with Mary Casale

Jean Fraser
Planner
City of Portland
874 8728

>>> David Lloyd <lloyd@archetypepa.com> 4/11/2011 4:42 PM >>>

Jean

Attached is the site plan and landscape plan that have been modified per my emails, discussions with Mary Casale and negotiations between Jeff Tarling and Lin Lisberger. Please call with any questions

David Lloyd
Archetype, P.A.
48 Union Wharf
Portland, ME 04101
Tele: (207) 772-6022
Fax: (207) 772-4056
Cell: (207) 831-8627
lloyd@archetypepa.com
<http://www.archetype-architects.com>

-----Original Message-----

From: Toshiba Copier [mailto:sue@archetypepa.com]

Sent: Monday, April 11, 2011 4:32 PM

To: David

Subject: Scanned from MFP-05348103 04/11/2011 16:31

Scanned from MFP-05348103.

Date: 04/11/2011 16:31

Pages:2

Resolution:300x300 DPI

Philip DiPierro - 29 Waterville Street Open Items

From: Andy Seymour <aseymour@wright-ryan.com>
To: "pd@portlandmaine.gov" <pd@portlandmaine.gov>
Date: 3/11/2011 12:56 PM
Subject: 29 Waterville Street Open Items

Hi Phil,

The list of open items which all will be completed when warm weather allows or by June 1 are:

Fencing - \$2000

Landscaping - \$5500

Misc Painting - \$1000

Andy Seymour
Project Manager
Wright-Ryan Homes
Phone: 207-773-3625
Fax: 207-773-5173
aseymour@wright-ryan.com

 Please consider the environment before printing this email.

CITY OF PORTLAND, MAINE
PLANNING BOARD

David Silk, Chair
Bill Hall
Joe Lewis
Lee Lowry, III
Janice Tevanian
Michael J. Patterson

July 22, 2009

Peter Bass
Waterville Triad LLC
17 Chestnut Street
Portland, ME 04101

RE: **Waterville Street Condominiums**
29 Waterville Street

CBL: 016 J 017001
Application ID: #2009-0019

Dear Peter Bass,

On July 14, 2009, the Portland Planning Board considered the complete application for Waterville Street Condominiums, a three unit, three storey plus basement condominium building at 29 Waterville Street. The Planning Board reviewed the proposal for conformance with the standards of the Subdivision Ordinance and Site Plan Ordinance. The Planning Board voted (4-0 Lowry recused, Lewis absent) to approve the application with the following motions, waivers, and conditions as presented below.

WAIVERS

1. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in the Planning Board Report # 32-09 relevant to the Portland Technical and Design Standards and Guidelines and other regulations and the testimony presented at the Planning Board hearing:
 - i. The Planning Board voted (4-0 Lowry recused, Lewis absent) to waive the requirement of Section II 5. of the Technical and Design Standards and Guidelines for catchbasins to not be located in driveway openings, to allow the catchbasin to remain in its current position and to change the curb inlet to a standard casting, as shown on the approved Plan S1 (Attachment E.4 to Report #32-09).
 - ii. The Planning Board voted (4-0 Lowry recused, Lewis absent) to waive the requirements of Section III.2.A.(b) of the Technical and Design Standards and Guidelines which requires driveway access to the street to be 24 feet wide, to allow a 20 foot wide access (16 feet at property line) as shown on the approved Plan S1 (Attachment E.4 to Report #32-09).
 - iii. The Planning Board voted (4-0 Lowry recused, Lewis absent) to waive the requirement of Section III.3.A of the Technical and Design Standards and Guidelines for parking spaces to be 9 feet by 19 feet, to allow 9 feet by 18 feet parking spaces as shown on the approved Plan S1 (Attachment E.4 to Report #32-09).
 - iv. The Planning Board voted (4-0 Lowry recused, Lewis absent) to waive the requirement of Section III.3.D of the Technical and Design Standards and Guidelines for aisle width to be 24 feet, to allow an aisle width of 22.8 feet as shown on the approved Plan S1 (Attachment E.4 to Report #32-09).

done
12/10/10

3/11/11
OK
21' wide access,
15' @ property line

done
3/11/11

3/11/11
OK
22'

SUBDIVISION REVIEW

- done
2. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Subdivision Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with subdivision standards 14-497 (a) 1- 7, 9 and 10 of the Land Use Code.
- done
3. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Subdivision Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with subdivision standards 14-497 (a) 8 (*Scenic Beauty*) of the Land Use Code, subject to the following condition of approval:
- done
5/10/10
- i. That the developer shall contribute \$1000 towards the City's Residential Tree Program to cover the cost of purchasing and installation of five (5) trees in the vicinity of the project as determined by the City Arborist, in accordance with the provisions of Section 14-499 Required Improvements of the Subdivision Ordinance. The landscaping contribution shall be provided prior to issuance of a building permit.
- done
4. On the basis of the application, plans, reports and other information submitted findings and recommendations contained in Planning Board Report # 32-09, relevant to the Subdivision Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with the applicable subdivision standards of the Land Use Code [the Planning Board found that subdivision standards 14-497 (a) 11-15 are not relevant to the subject proposal], subject to the following conditions of approval:
- done
5/4/10
- i. That the final recording subdivision plat will be completed to the satisfaction of the Associate Corporation Counsel and include a listing of any conditions imposed by the Planning Board, and will be submitted for the Planning Board's Signature; and
- done
5/10/10
- ii. That the developer shall contribute \$1000 towards the City's Residential Tree Program to cover the cost of purchasing and installation of five (5) trees in the vicinity of the project as determined by the City Arborist, in accordance with the provisions of Section 14-499 Required Improvements of the Subdivision Ordinance. The landscaping contribution shall be provided prior to issuance of a building permit.

SITE PLAN REVIEW

- done
5. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Site Plan Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with the site plan standards 14-526 (a) 1, 2, 3, 4, 5, 7, 8, 9, 10, 15, and 28 of the Land Use Code.
- done
6. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Site Plan Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with the site plan standards 14-526 (a) 6 (*Landscaping and Buffering*) of the Land Use Code, subject to the following condition of approval:
- done
5/4/10
- i. That the applicant submit a revised Landscaping Plan, for review and approval by the Planning Authority and the City Arborist prior to the issuance of a building permit, to design the sidewalk tree well so it does not impede the sidewalk and to improve the planting/fencing to provide additional buffering between the property uphill and the proposed development, to accommodate the potential parking easement if agreed.

OK
7. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Site Plan Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with the site plan standards 14-526 (a) 11 (*Consistency with City Infrastructure*) of the Land Use Code, subject to the following conditions of approval:

done 9/2/09
i. That the applicant shall obtain a license for the bay window and landscaping encroachment onto City property as shown in the approved plan S1 (Attachment E.4 to Report #32-09), prior to the issuance of a building permit, such license to be substantially in accordance with the draft attached as Attachment C.2.1 to Report #32-09; and

done 5/3/10 Not needed
ii. The applicant shall obtain a waiver from the City Council for the use of concrete sidewalk materials instead of the required brick, prior to the issuance of a building permit.

OK
8. On the basis of the application, plans, reports and other information submitted by the applicant, findings and recommendations contained in Planning Board Report # 32-09, relevant to the Site Plan Ordinance and other regulations and the testimony presented at the Planning Board hearing, the Planning Board voted (4-0 Lowry recused, Lewis absent) that the plan is in conformance with the applicable site plan standards of the Land Use Code [the Planning Board specifically found that site plan standard 14-526 (a) 19 is not applicable to the subject proposal], subject to the following conditions of approval:

done 9/2/09
i. That the applicant shall obtain a license for the bay window and landscaping encroachment onto City property as shown in the approved plan S1 (Attachment E.4 to Report #32-09), prior to the issuance of a building permit, such license to be substantially in accordance with the draft attached as Attachment C.2.1 to Report #32-09; and

done
ii. The applicant shall obtain a waiver from the City Council for the use of concrete sidewalk materials instead of the required brick, prior to the issuance of a building permit; and

done
iii. The applicant shall reduce the balcony projections on the downhill side to meet the zoning setback requirement of four (4) feet from the property line with Fitch House LLC; the revised Site Plan, Subdivision Plat and all associated plans reflecting this reduction shall be submitted for review and approval prior to the issuance of a building permit; and

done
ii. That the applicant submit a revised Landscaping Plan, for review and approval by the Planning Authority and the City Arborist prior to the issuance of a building permit, to design the sidewalk tree well so it does not impede the sidewalk and to improve the planting/fencing to provide additional buffering between the property uphill and the proposed development, to accommodate the potential parking easement if agreed.

The approval is based on the submitted plans and the findings related to site plan and subdivision review standards as contained in Planning Board Report #32-09 which is attached.

Please note the following provisions and requirements for all site plan and subdivision approvals:

1. A revised recording plat listing all conditions of subdivision approval must be submitted for review and signature prior to the issuance of a performance guarantee.
2. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation

and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.

3. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
4. Pursuant to 30-A MRSA section 4406, notice of any waiver(s) must be recorded in the Cumberland County Registry of Deeds within 90 days of the granting of said waiver(s).
5. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.
6. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
7. The subdivision approval is valid for three (3) years.
8. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
9. Mylar copies of the as-built drawings for the public streets and other public infrastructure in the subdivision must be submitted to the Public Services Dept. prior to the issuance of a certificate of occupancy.
10. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
11. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
12. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

Philip DiPierro, Development Review Coordinator, must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser, Planner at 874-8728.

Sincerely,



David Silk, Chair

Portland Planning Board

Attachments:

1. Planning Board Report #32-09, including the Report Attachments
2. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Earley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Todd Merkle, Public Services
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

**Philip DiPierro - PLEASE CALL DAY BEFORE W/ TIME Certificate of
Occupancy/Final Scheduled. Property Addr: 29 WATERVILLE ST Parcel ID: 016
J017001 Dist: 1**

From: Lannie Dobson
To: C of O; Nicholas Adams; tmm
Date: 3/2/2011 3:18 PM
Subject: PLEASE CALL DAY BEFORE W/ TIME Certificate of Occupancy/Final Scheduled. Property Addr: 29
WATERVILLE ST Parcel ID: 016 J017001 Dist: 1

Date: 3/10/2011 Time: 6:00:00 AM

Note: Finish units 1 & 2 full inspection unit 3 Common areas - 329-0749 Mike Property Addr: 29 WATERVILLE
ST Parcel ID: 016 J017001

Application Type: Prmt
Application ID: 100214

Contact:
Phone1: Phone2:

Owner Name: WATERVILLE TRIAD LLC
Owner Addr: 17 CHESTNUT ST
PORTLAND , ME 04101

Final license for Row
29 Waterville

REVOCABLE
LICENSE AGREEMENT

FOR VALUABLE CONSIDERATION, the receipt and sufficiency of which is hereby acknowledged, the CITY OF PORTLAND, a Maine body corporate and politic, with a mailing address of City Hall, 389 Congress Street, Portland, Maine 04101 (the "City"), hereby GRANTS to Waterville Triad LLC, a Maine limited liability company with a place of business in Portland, Maine and mailing address c/o Peter Bass, at 17 Chestnut St., (hereinafter the "Licensee") a revocable license to occupy portions on or over land owned by the City on Waterville St. in Portland, Cumberland County, Maine, which land abuts the property of Waterville Triad LLC at 29 Waterville St, Portland, Maine, for the purpose of allowing encroachments by certain portions of the buildings and improvements constructed by Waterville Triad LLC onto the City's property as shown on Exhibit A and Exhibit B attached hereto and made a part hereof: (i) encroachments of bay window (Exhibit A and B); (ii) encroachments of landscape plantings. (Exhibit A) The license granted in this agreement is subject to the following conditions:

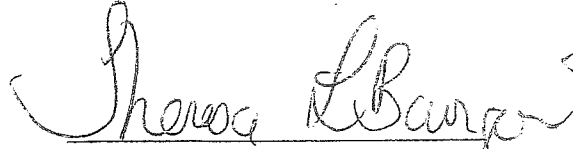
1. Waterville Triad LLC, its successors and assigns shall indemnify the City, its officers, agents, and employees from any and all claims which arise out of its use, or the use of others, of the City's property encroached upon as described above.
2. Licensee shall procure and maintain liability insurance in an amount of not less than Four Hundred Thousand Dollars (\$400,000) combined single limit, (or any amount noted in the Maine Tort Claims Act, as may be amended from time to time), covering claims for bodily injury, death and property damage and shall either name the City of Portland as an additional insured with respect to such coverage or shall obtain a contractual liability endorsement covering the obligations of Licensee under the terms of this license.
3. This license is assignable to any subsequent owners of the buildings located on the land described on the approved site plan for Waterville St. Condominiums, Portland, Maine and depicted on Exhibit C attached hereto.
4. This license may be revoked upon six (6) months written notice by the City in the event that: 1) the buildings shown on the attached plans (Exhibits A, B and C) fail to be constructed substantially in accordance with such plans or any amendments thereto; 2) the buildings as shown on such plans or any amendments thereto are destroyed, removed or otherwise thereafter cease to exist on the site at 29 Waterville St. for a period of one year or more.
5. All landscape plantings in the designated area in the public right of way, as shown in Exhibit A, shall be owned and maintained by Waterville Triad LLC and all subsequent owners of the building.

STATE OF MAINE
CUMBERLAND, ss.

9/2, 2009

PERSONALLY APPEARED the above named PETER BASS as
aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his
said capacity and the free act and deed of said Waterville Triad LLC.

Before me,



Notary Public/Attorney at Law

Print name:

My commission expires:

THERESA L. BOURGOIN
MY COMMISSION EXPIRES
OCTOBER 26, 2014

A9

29 WATERVILLE STREET
PORTLAND, MAINE

WATERVILLE STREET
CONDOMINIUMS

BAY WINDOW/SITE

Date: 21 March 2009
Scale:

ARCHITYPE, P.A.
ARCHITECTS

48 Crown Street Portland, Maine 04101
(207) 772-8022 Fax (207) 772-4556

EXHIBIT B

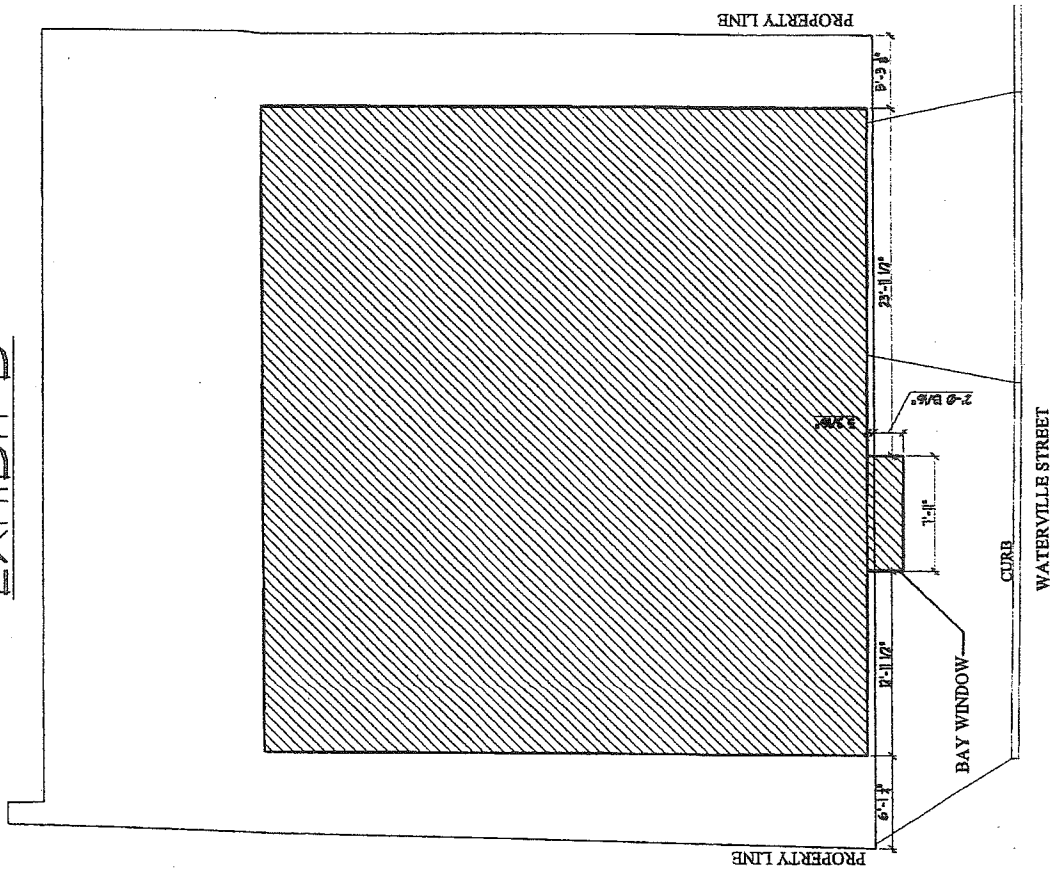
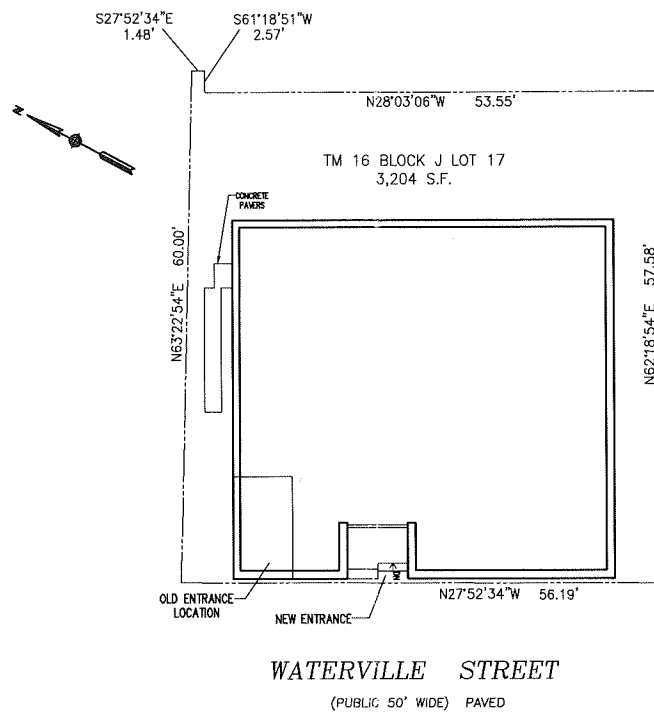


DIAGRAM SHOWING RELATIONSHIP OF
BAY WINDOW TO SITE



Approved by City of Portland,
 Director of Planning and Urban Development

signed PL date 3.29.10

NOTES:

1. This Amended Site Plan Associated with Subdivision Plat entitled: RECORDING PLAT, WATERVILLE TRIAD, LLC and dated: MARCH 26, 2009 and recorded at Book 210, Page 170, includes the relocation of the entrance to the center front of the building as shown on this plan.
2. The Site Plan Approval for the Amendments is dated March 18, 2010

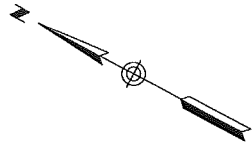
FOR REGISTRY OF DEEDS

Plan Bk 210 Pg 171

Scaled + stamped ones on PL file or DPS/Assessors

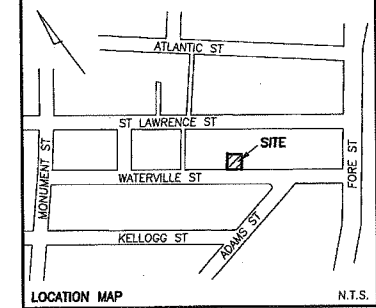
Plats need to be kept together

OWNER: WATERVILLE TRIAD LLC.	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
PROJECT: WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND	
Revisions:	
Date: March 18, 2010	Scale: 1" = 10'-0"
AMENDMENT TO RECORDING PLAT WATERVILLE TRIAD, LLC, dated March 26, 2009 and recorded at Book _____, Page _____	

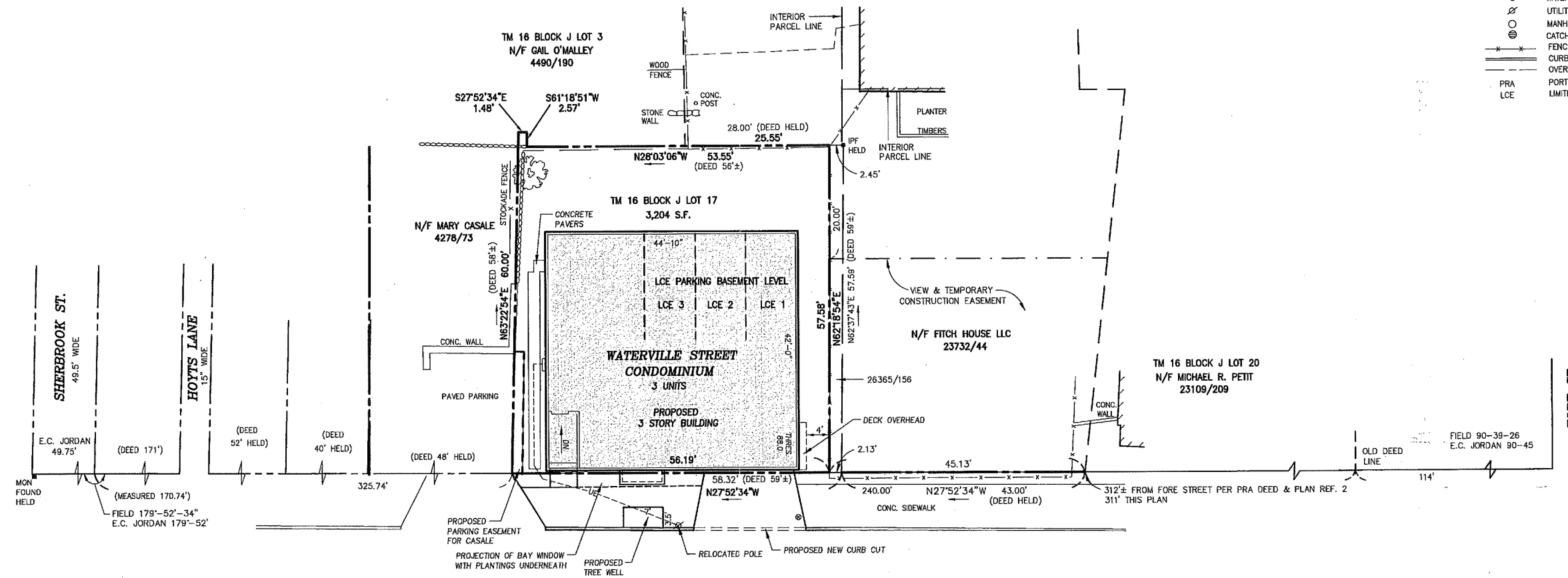


FLOOD NOTE:
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 14B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONING:
 ZONE: R-6 RESIDENTIAL ZONE
 SMALL RESIDENTIAL LOT DEVELOPMENT
 MINIMUM LOT SIZE: NONE
 MAXIMUM LOT SIZE: 10,000 S.F.
 FRONT YARD: NO MORE THAN 10'
 SIDE AND REAR YARDS: NONE EXCEPT 10' OR THE SUM OF THE HEIGHTS OF ADJUTING BUILDINGS DIVIDED BY 5, WHICHEVER IS GREATER AND REAR OR ONE SIDE YARD MUST BE 15'
 MINIMUM BUILDING HEIGHT: 2 STORIES
 MAXIMUM BUILDING HEIGHT: 45'
 OPEN SPACE REQUIREMENT: 10% OR DECK, PORCH, PATIO OR BALCONY FOR EACH UNIT



- LEGEND:**
- IRON PIPE OR ROD FOUND
 - ⊙ WATER VALVE
 - ⊕ UTILITY POLE
 - MANHOLE
 - ⊗ CATCH BASIN
 - FENCE
 - CURB
 - OVERHEAD WIRES
 - PRA
 - LCE
 - PORTLAND RENEWAL AUTHORITY LIMITED COMMON ELEMENT



WATERVILLE STREET
 (PUBLIC 50' WIDE) PAVED

CONDITIONS OF APPROVAL

1. A REVOCABLE LICENSE AGREEMENT DATED SEPTEMBER 2, 2009 HAS BEEN EXECUTED FOR ENCROACHMENT OF BAY WINDOW AND PLANTINGS ONTO CITY RIGHT OF WAY.
2. A SIDEWALK MATERIAL WAIVER WAS GRANTED TO USE CONCRETE INSTEAD OF THE REQUIRED BRICK.
3. FINAL LANDSCAPE PLAN L1 DATED 11/10/2009 HAS BEEN APPROVED BY THE CITY.
4. IF WATERVILLE TRIAD LLC SHOULD EVER SELL ANY UNITS/PROPERTY, DOCUMENTS (PURSUANT TO THE MAINE CONDO ACT) SHALL BE PREPARED AND RECORDED AND A COPY PRESENTED TO THE CITY.

NOTES:

- 1) OWNER OF RECORD: WATERVILLE TRIAD, LLC, c/o RANDOM ORBIT, INC., 17 CHESTNUT STREET, PORTLAND, MAINE, CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 26365 PAGE 166
- 2) LOCUS IS SHOWN AS MAP 16 BLOCK J LOT 17 OF THE CITY OF PORTLAND ASSESSORS PLANS.
- 3) BEARINGS ARE MAGNETIC 2000 AS PER MARKERS FOUND AS SHOWN ON PLAN REFERENCE 1.
- 4) ELEVATION IS BASED ON CITY DATUM AS PER ELEVATIONS AND CONTOURS SHOWN ON PLAN REFERENCE 4.
- 5) THE PROPOSED BUILDING WILL CONSIST OF 3 CONDOMINIUM UNITS AND A GARAGE LEVEL WITH 3 PARKING SPACES.

WAIVERS

1. THE PLANNING BOARD VOTED TO WAIVE THE REQUIREMENT OF SECTION II.5 OF THE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES FOR CATCH BASINS TO NOT BE LOCATED IN DRIVEWAY OPENINGS, TO ALLOW THE CATCH BASIN TO REMAIN IN ITS CURRENT POSITION AND TO CHANGE THE CURB INLET TO A STANDARD CASTING, AS SHOWN ON THE APPROVED PLAN S1 (ATTACHMENT E.4 TO REPORT #32-09).
2. THE PLANNING BOARD VOTED TO WAIVE THE REQUIREMENTS OF SECTION III.2.A.(b) OF THE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES WHICH REQUIRES DRIVEWAY ACCESS TO THE STREET TO BE 24 FEET WIDE, TO ALLOW A 20 FOOT WIDE ACCESS (16 FEET AT PROPERTY LINE) AS SHOWN ON THE APPROVED PLAN S1 (ATTACHMENT E.4 TO REPORT #32-09).
3. THE PLANNING BOARD VOTED TO WAIVE THE REQUIREMENT OF SECTION III.3.A OF THE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES FOR PARKING SPACES TO BE 9 FEET BY 19 FEET, TO ALLOW 9 FEET BY 18 FEET PARKING SPACES AS SHOWN ON THE APPROVED PLAN S1 (ATTACHMENT E.4 TO REPORT #32-09).
4. THE PLANNING BOARD VOTED TO WAIVE THE REQUIREMENT OF SECTION III.3.D OF THE TECHNICAL AND DESIGN STANDARDS AND GUIDELINES FOR AISLE WIDTH TO BE 24 FEET, TO ALLOW AN AISLE WIDTH OF 22.8 FEET AS SHOWN ON THE APPROVED PLAN S1 (ATTACHMENT E.4 TO REPORT #32-09).

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE: *(Signature)*
 JOHN C. SCHWANDA, PLS #1252

CONDITION OF APPROVAL

THAT THE DEVELOPER SHALL CONTRIBUTE \$1000 TOWARDS THE CITY'S RESIDENTIAL TREE PROGRAM TO COVER THE COST OF PURCHASING AND INSTALLATION OF FIVE (5) TREES IN THE VICINITY OF THE PROJECT AS DETERMINED BY THE CITY ARBORIST, IN ACCORDANCE WITH THE PROVISIONS OF SECTION 14-489 REQUIRED IMPROVEMENTS OF THE SUBDIVISION ORDINANCE. THE LANDSCAPING CONTRIBUTION SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

*Recorded:
 Book 210 Page 170*

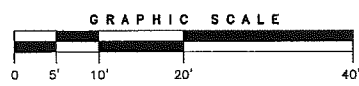
APPROVED BY THE
 CITY OF PORTLAND PLANNING BOARD

(Signature)
 1-14-09

DATE

PLAN REFERENCES:

- 1) "STANDARD BOUNDARY SURVEY ON WATERVILLE STREET, PORTLAND, MAINE MADE FOR LARRY DAVIS SEPT. 12, 2000 OWEN HASKELL, INC. JOB NO. 2000-126P."
- 2) "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR MUNJOY SOUTH PROJECT ME-R-2 DISPOSITION PARCEL NO. 16-E 11-18-71 H.I. & E.C. JORDAN-SURVEYORS."
- 3) BOUNDARY SURVEY AT 28 ST. LAWRENCE STREET PORTLAND, MAINE MADE FOR FITCH HOUSE LLC JULY 6, 2006 BY OWEN HASKELL, INC. JOB NO. 2006-056P" REVISED 9-03-08.
- 4) BOUNDARY SURVEY & TOPOGRAPHIC PLAN AT 29 WATERVILLE STREET, PORTLAND, MAINE FOR BILL UMBEL DATED 04-19-07 BY BACK BAY BOUNDARY.
- 5) BOUNDARY SURVEY AT 29 WATERVILLE STREET, PORTLAND, MAINE MADE FOR WATERVILLE TRIAD, LLC SEPT. 12, 2008 BY OWEN HASKELL, INC.



RECORDING PLAT
WATERVILLE TRIAD, LLC
 29 WATERVILLE STREET, PORTLAND, MAINE
 MADE FOR RECORD OWNER
WATERVILLE TRIAD, LLC
 17 CHESTNUT STREET, PORTLAND, MAINE

OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
 PROFESSIONAL LAND SURVEYORS

Drwn By	JCS	Date	MARCH 26, 2009	Job No.	2008-111P
Trace By	RWC/JLW	Scale	1" = 10'	Drwg. No.	1RP
Check By	JCS	Book No.	1032		

Memorandum
Department of Planning and Development
Planning Division



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: January 25, 2011

RE: C. of O. for # 29 Waterville Street, Waterville Triad, LLC
(Id#2009-0019) (CBL 016 J 019001)

After visiting the site, I have the following comments:

Site work incomplete:

1. Striping inside the garage,
2. Landscaping,
3. Fence installation,
4. Submission of "as-built" plans,
5. Minor Miscellaneous site work,

I anticipate this work can be completed by **June 1, 2011**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Inspection Services Manager
File: Barbara Barhydt, Development Review Services Manager
File: Urban Insight

Jean Fraser - Fwd: Re: Waterville Street Triad (P Bass) - Design changes and CO

From: Jean Fraser
To: DiPierro, Philip
Date: 12/28/2010 1:14 PM
Subject: Fwd: Re: Waterville Street Triad (P Bass) - Design changes and CO

Phil

Alex and I have signed off regarding the exterior design changes.

Re the access to the garage (and garage door width), I would like to know whether they have changed the approved drive width/apron etc at edge of ROW as that is the most critical issue given the pressure for parking on that street.

I assume the unfinished items will be on the temp CO punch list for the Spring.

Let me know if we have missed anything.

Jean

>>> Alex Jaegerman 12/28/2010 11:41 AM >>>

As we discussed, I have reviewed these details with you and authorize approval/sign off as built. The design continues to meet the R-6 standards.

Alex.

Alexander Jaegerman, AICP
 Planning Division Director
 389 Congress Street, Suite 400
 Portland, ME 04101

Phone: (207)874-8724

>>> Jean Fraser 12/28/2010 11:04 AM >>>

Alex,

You will recall that you, Scott Hanson and I did a very thorough Design Review (R6 infill) on this project, and that we also reviewed amendments to this project.

Phil did a CO (temp) inspection last week and reported (see his photos attached):

Exterior Design changes

- No protruding cornice over front door as shown in approved detail
- Garage door- reduced in width by 1 ft and no glass (parking aisle also reduced)
- Fencing of balconies different
- Addition of 6 vents and elec meters on elevation facing Casales; many vents etc on rear elevation
- Lights/camera inside front entrance appear different

Work not completed (but this will be a temp CO)

- Fencing between site and Casales up hill
- Striping in parking area
- Landscaping

Phil needs to know if we can sign off on the design changes.....

I'm OK with all the changes except the absence of the cornice over the front entrance- that was (as I recall) specifically to meet the R6 standards regarding the prominence of the front entrance; but the door as built probably meets the standards too because the emphasis in the standard is on relation to the street and articulation.

Technically we need to ask Tom Errico re the layout of the parking level/reduction in width of garage door but since they are unable to make any changes to that I am not sure its worth asking Tom. The apron width as it affects ability to turn into and out of garage is probably more crucial and Phil can follow up on that with DPS.

I would like your "sign off" on the design issues particularly; I have printed out the photos and have Phil's file. (I am in: today until 1:30pm; AM tomorrow and all day thursday).

thanks
Jean

**Philip DiPierro - Certificate of Occupancy/Final Scheduled. Property Addr: 29
WATERVILLE ST Parcel ID: 016 J017001 Dist: 1**

From: Lannie Dobson
To: C of O; nadams
Date: 12/23/2010 10:28 AM
Subject: Certificate of Occupancy/Final Scheduled. Property Addr: 29 WATERVILLE ST Parcel ID: 016
J017001 Dist: 1

Date: 12/28/2010 Time: 6:00:00 AM

Note: 329-0749 Mike First floor unit and the common area's Property Addr: 29 WATERVILLE ST Parcel ID:
016 J017001

Application Type: Prmt
Application ID: 100214

Contact:
Phone1: Phone2:

Owner Name: WATERVILLE TRIAD LLC
Owner Addr: 17 CHESTNUT ST
PORTLAND , ME 04101



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life
www.portlandmaine.gov

Planning and Urban Development
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

TO: Ellen Sanborn, Finance Department
FROM: Alexander Jaegerman, Planning Division Director
DATE: December 13, 2010
SUBJECT: Request for Reduction of Performance Guarantee
Waterville Street Condominiums, 29 Waterville Street
(ID# 2009-0019 Lead CBL # 016 J 019001)

Please reduce the Performance Guarantee, Letter of Credit # 8010012584 for the Waterville Street Condominiums Project at 29 Waterville Street.

Original Amount	\$33,430.00
<u>This Reduction</u>	<u>\$25,360.00</u>
Remaining Balance	\$8,070.00

This is the first reduction for the project.

Approved:


Alexander Jaegerman
Planning Division Director

cc: Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
File: Urban Insight

389 Congress Street, Portland, Maine 04101-3509 Ph (207)874-8721 or 874-8719 Fx 756-8258 TTY 874-8936

From: Peter Bass-Developers Collaborative <pbass@maine.rr.com>
To: Philip DiPierro <PD@portlandmaine.gov>
Date: 5/3/2010 12:49 PM
Subject: Fees

Phil,
Please let me know total of fees to deliver to the city. I believe I have an inspections fee and tree planting fee of \$1000. Please recalculate the inspection fee and let me know. Thanks.

Peter

— Revised ROW license



WRIGHT-RYAN HOMES

10 Danforth Street
 Portland, Maine 04101

Phone (207) 773-3625
Fax (207) 773-5173

LETTER OF TRANSMITTAL

DATE: 2/24/11	JOB NO. 1053
ATTENTION: Nick Adams	
RE: 29 Waterville As Builts	

TO City of Portland
Planning and Urban Development
389 Congress Street
Portland, ME 04101

WE ARE SENDING YOU Attached Under separate cover via the following items:
 Shop drawings Prints Plans Samples
 Copy of letter Spec's Change order

COPIES	DATE	NO.	DESCRIPTION
1			Site As-Builts

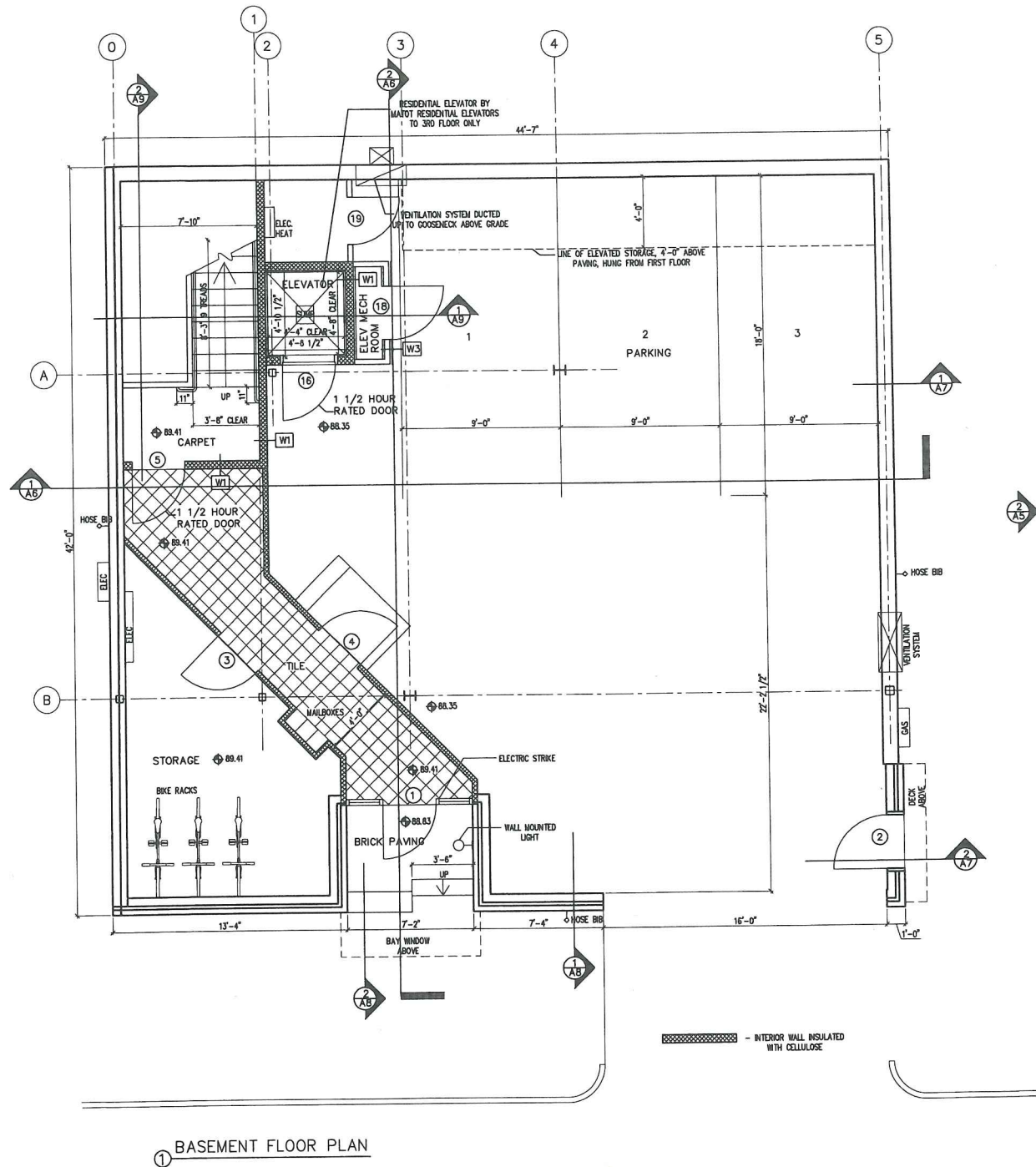
THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted Resubmit copies for approval
 For your use Approved as noted Submit copies for distribution
 As requested Returned for corrections Return corrected prints
 For review and comment
 FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US

REMARKS: Hi Nick,
 Please see enclosed as-built Site Drawings as requested as a condition of final Certificate of Occupancy.

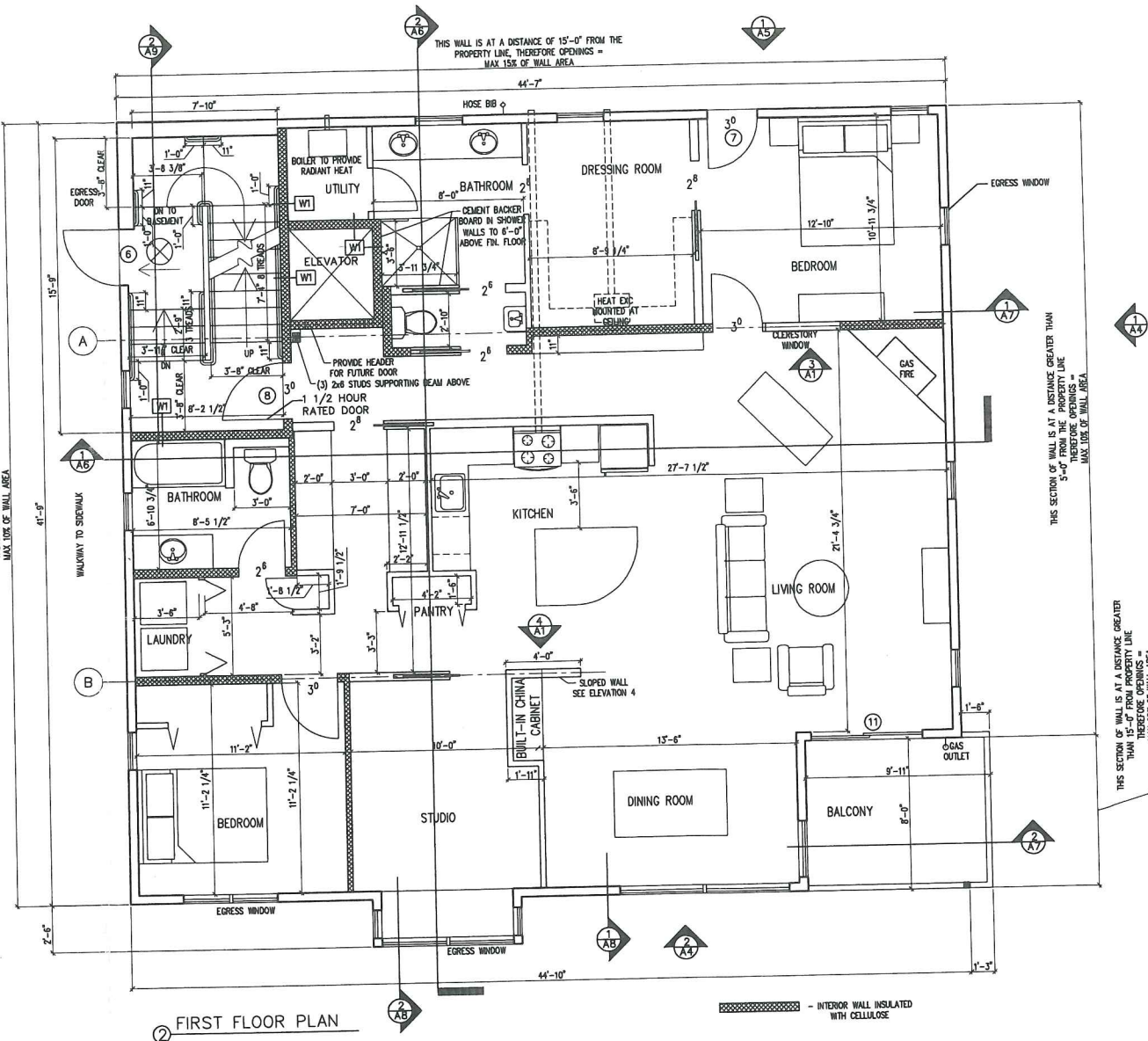
COPY TO: _____ SIGNED: Andy Seymour

If enclosures are not as noted, kindly notify us at once.

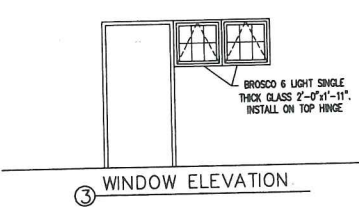


1 BASEMENT FLOOR PLAN

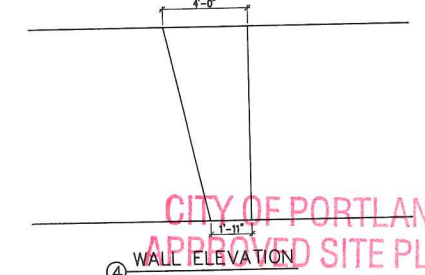
NOTE:
 ALL INTERIOR WALLS ON 1ST, 2ND AND 3RD FLOOR IN CONTRACT FINISHED WITH GYPSUM BOARD. PAINTING NOT IN CONTRACT.
 PLUMBING FIXTURES FBO AND INSTALLED BY CONTRACTOR.
 5 EXTERIOR HOSE BIBS SUPPLIED BY CONTRACTOR.
 LIGHTING FIXTURES FBO AND INSTALLED BY CONTRACTOR.
 ROUGH IN FOR KITCHEN CABINETS NOT IN CONTRACT



2 FIRST FLOOR PLAN



3 WINDOW ELEVATION



4 WALL ELEVATION

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-14-09

As amended 3-18-10 re location of front entrance

OWNER:
 WATERVILLE TRIAD LLC.

PROJECT:
 WATERVILLE STREET
 CONDOMINIUMS
 29 WATERVILLE STREET
 PORTLAND

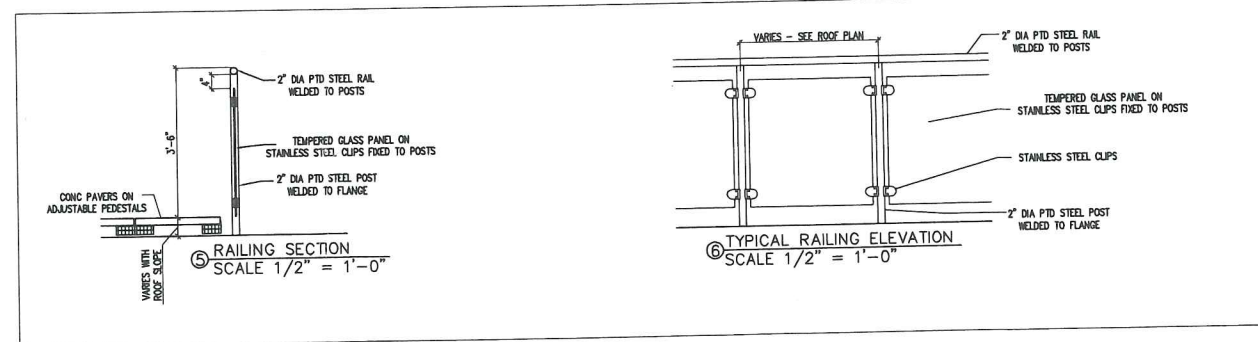
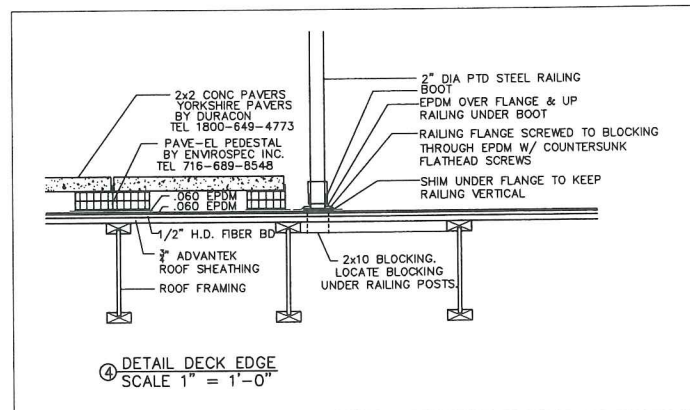
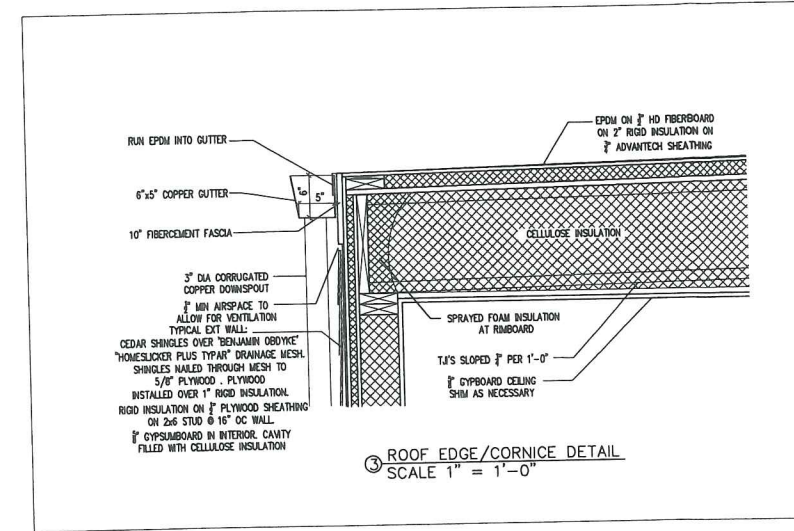
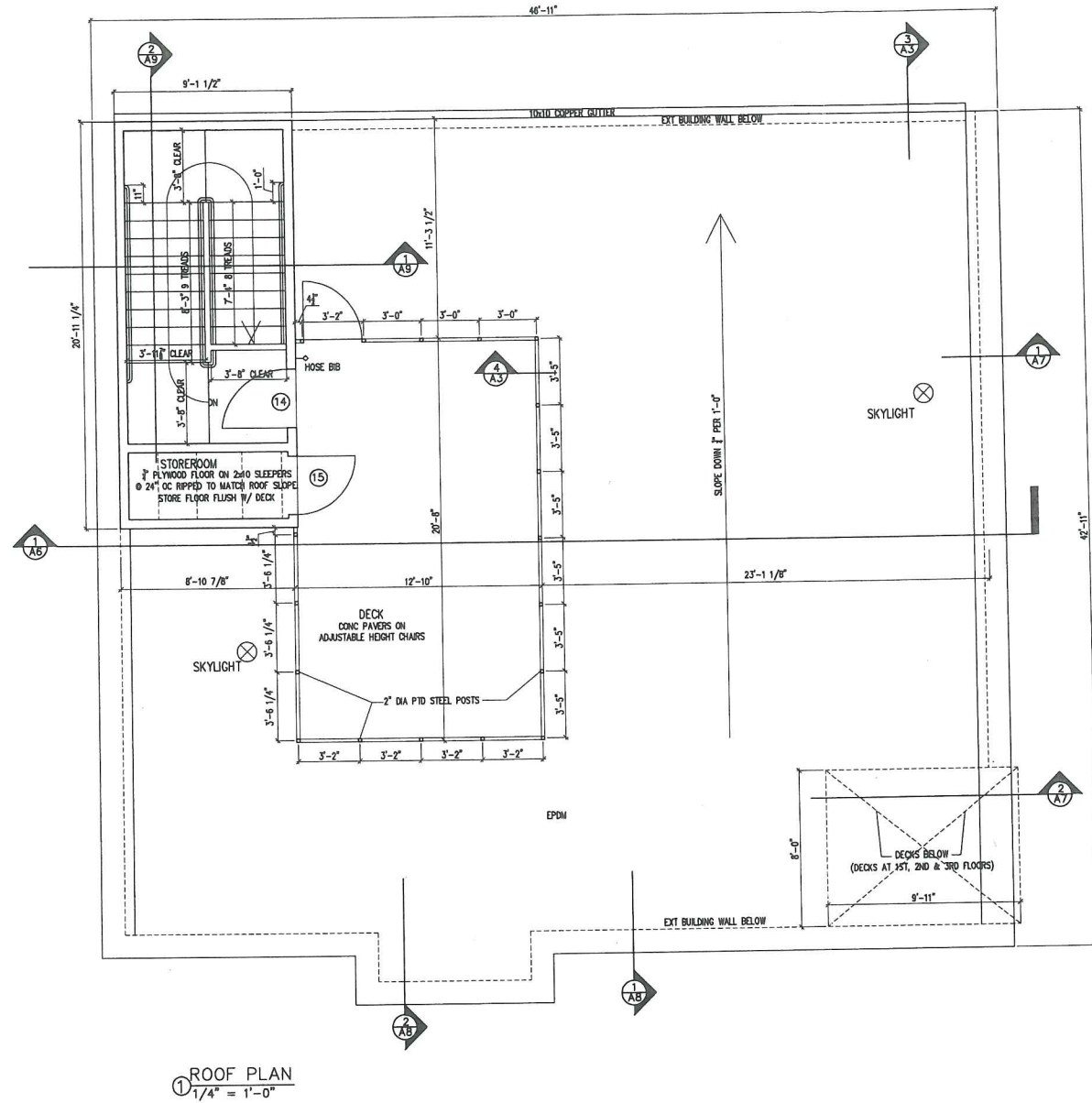
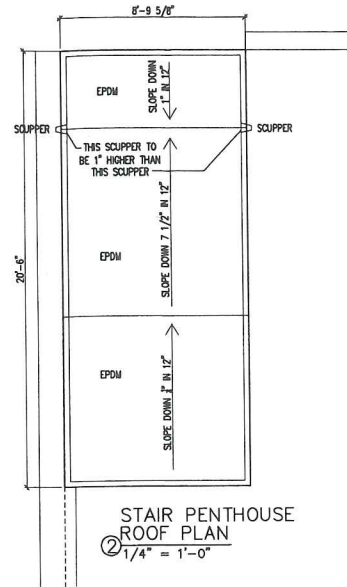
Revisions:
 Permit Set 3/4/10
 Bid Set 4/1/10

Date:
 MARCH 3, 2010

Scale:
 1/4" = 1'-0"

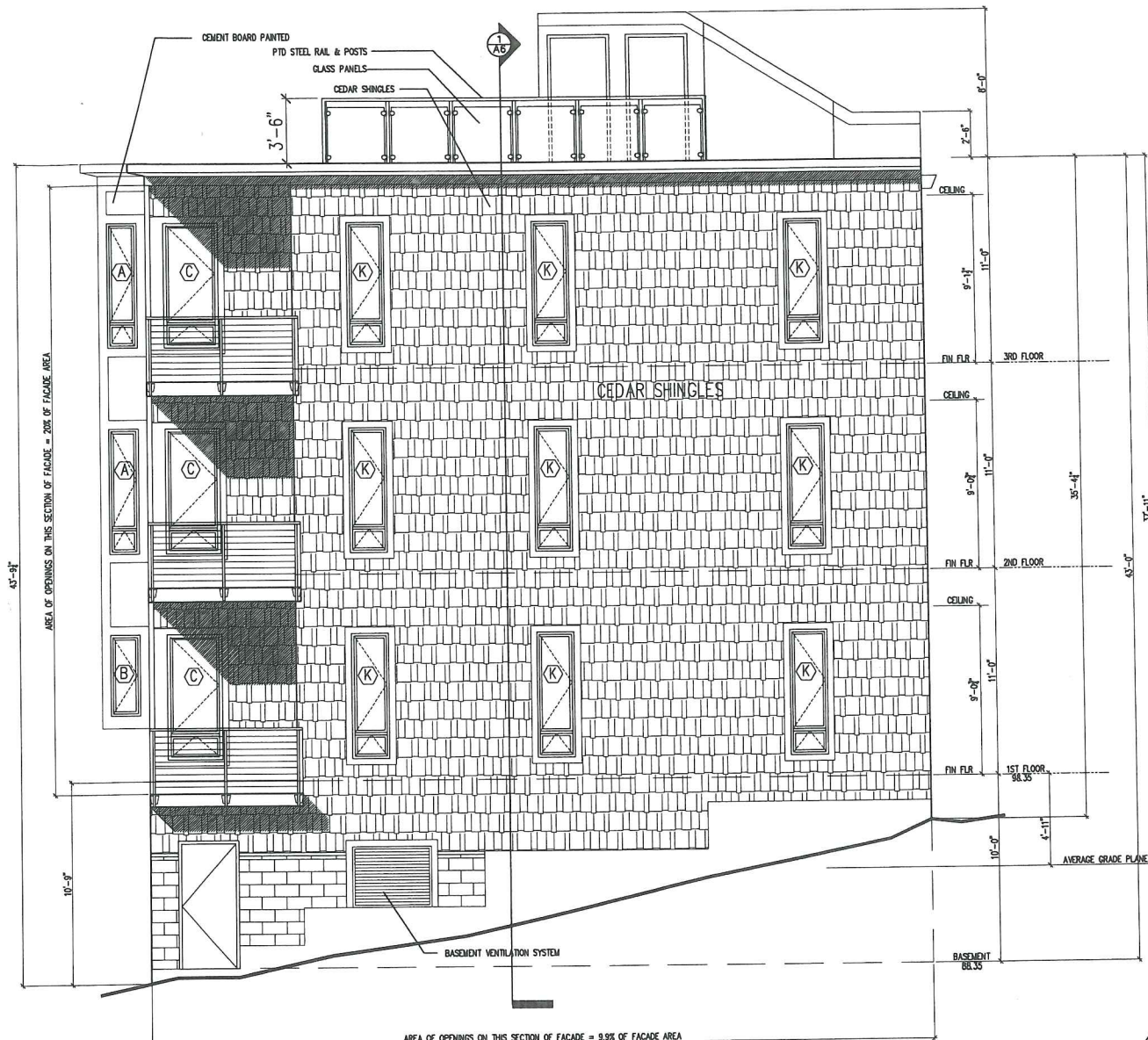
FLOOR PLANS

A1



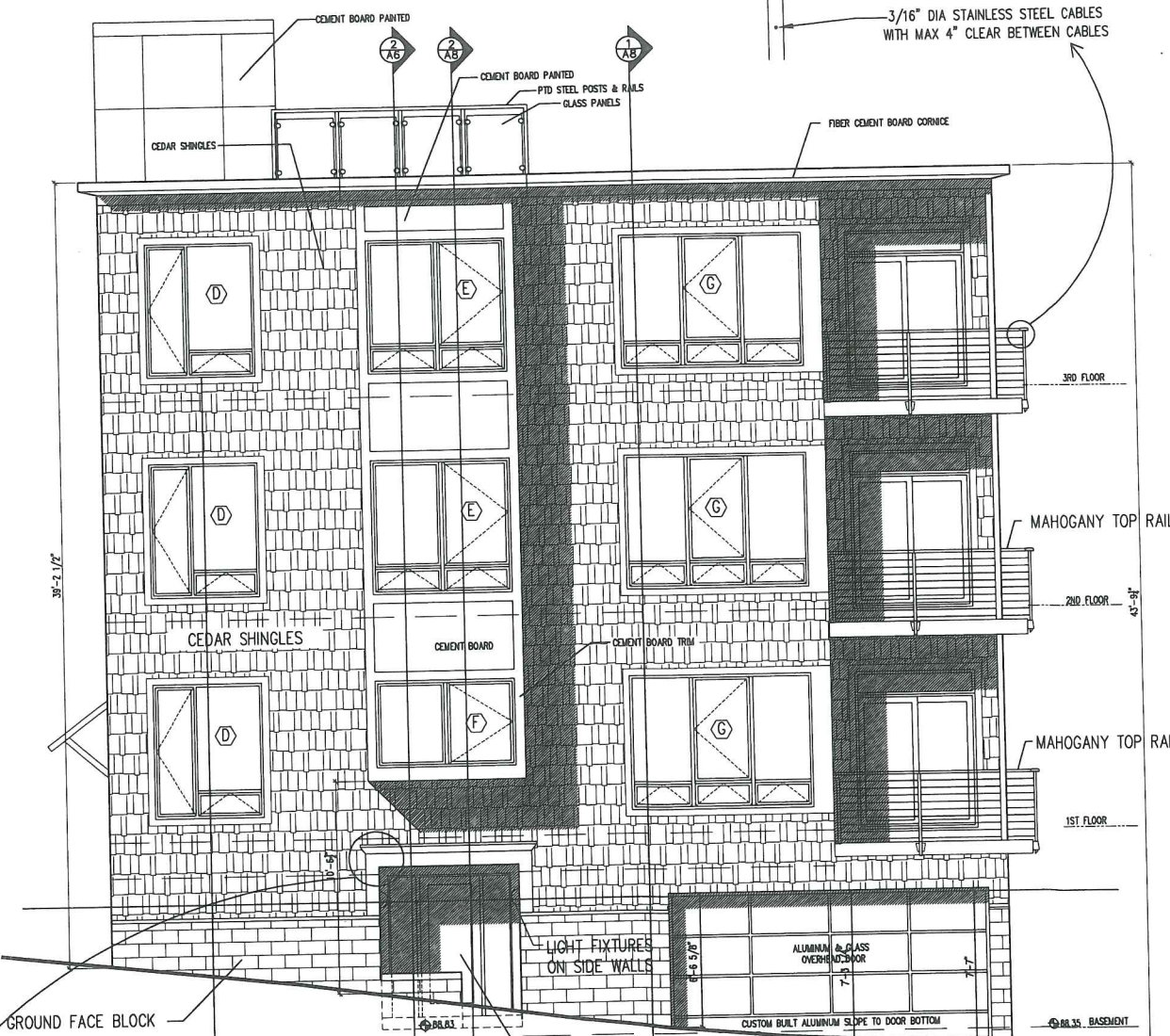
CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 7-14-09
as amended 3-18-10

OWNER:	WATERVILLE TRIAD LLC.	
PROJECT:	WATERVILLE STREET CONDOMINIUMS	
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS	
DATE:	MARCH 3, 2010	29 WATERVILLE STREET PORTLAND
REVISIONS:	Permit Set 3/4/10 Bid Set 4/1/10	
SCALE:	AS NOTED	
FLOOR PLANS		
A3		

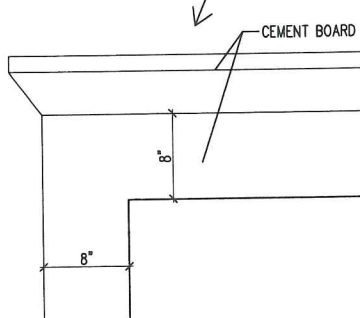


① SOUTH ELEVATION

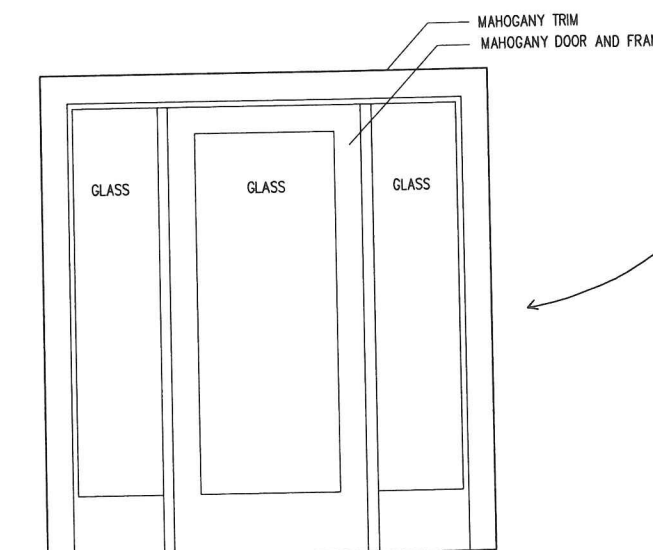
AREA OF OPENINGS ON THIS SECTION OF FACADE = 9.9% OF FACADE AREA



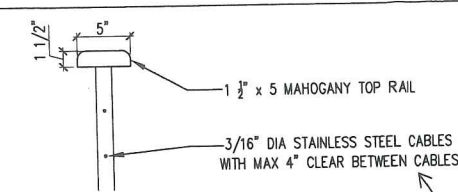
② STREET (WEST) ELEVATION



SECTION AT ENTRANCE



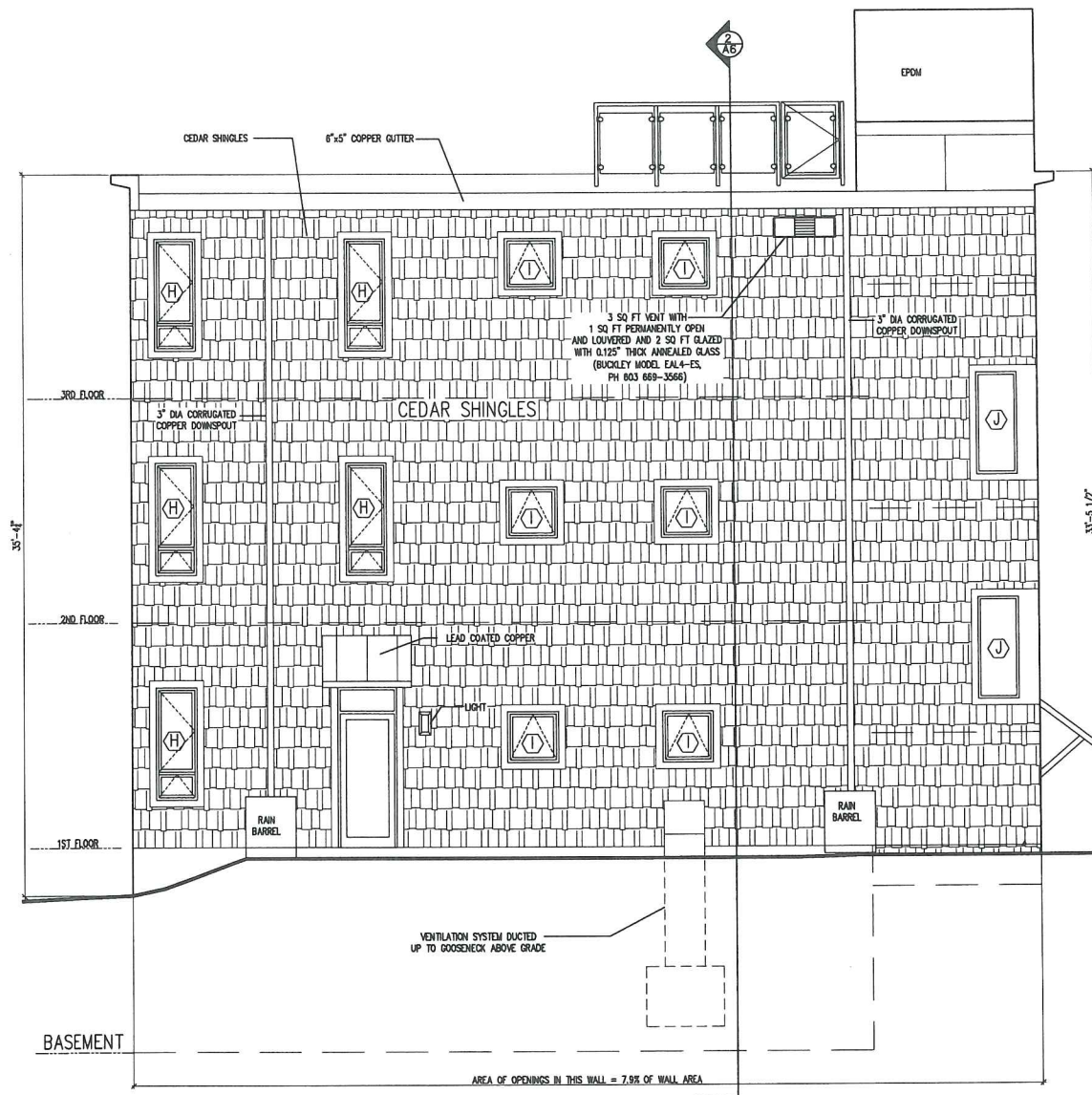
③ ENTRY DOOR ELEVATION



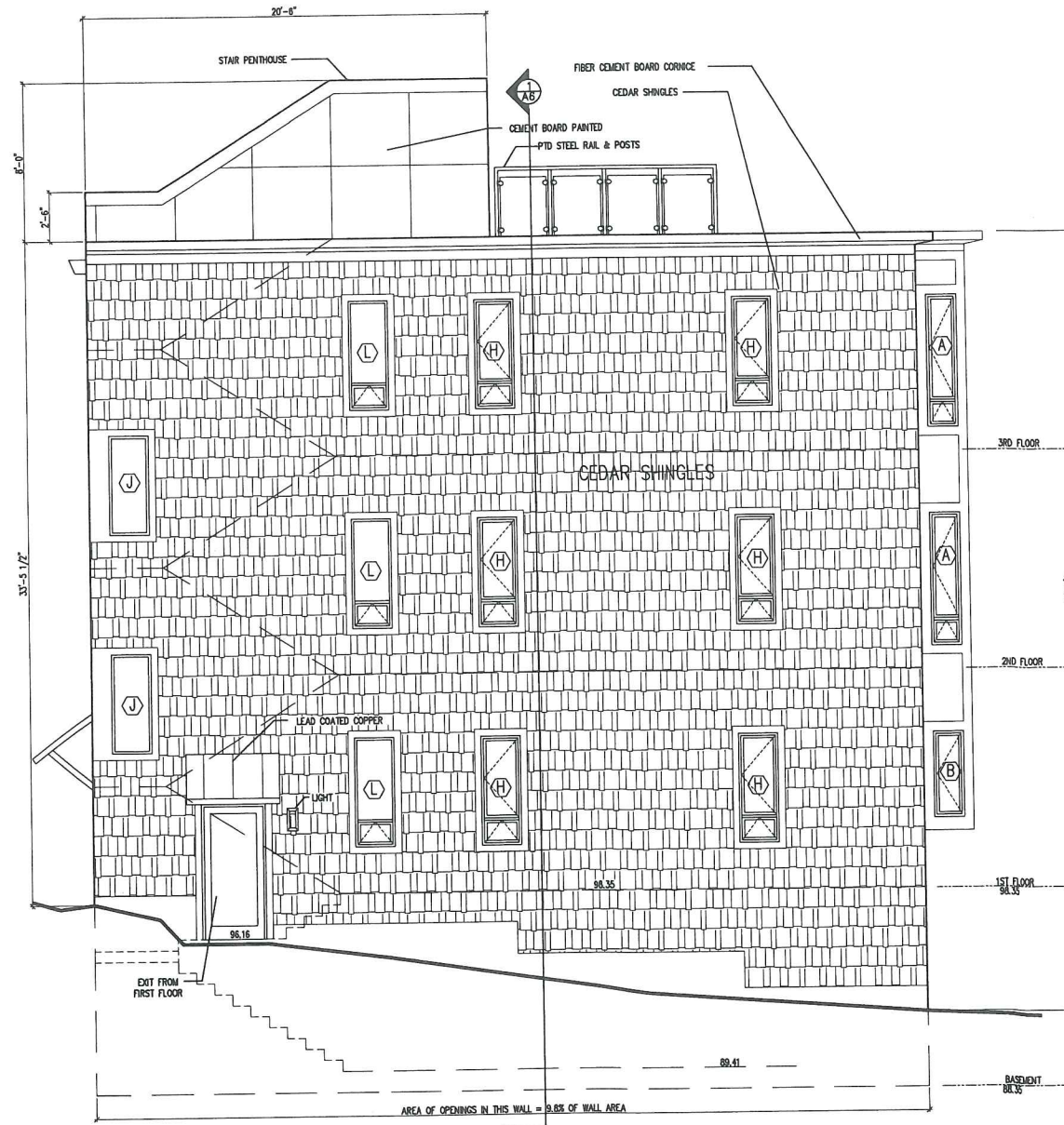
CITY OF PORTLAND
APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 7-14-09
as amended 3-18-10
re location of front entrance

GENERAL NOTE:
 CEDAR SHINGLE EASTERN WHITE
 BY "MAIBEC" SIDINGS
 5" TO WEATHER.

OWNER: WATERVILLE TRIAD LLC.	
PROJECT: WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND	
Revisions: Permit Set 3/4/10 Bid Set 4/17/10	ELEVATIONS
Date: MARCH 3, 2010	A4



① EAST ELEVATION



② NORTH ELEVATION

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 7-14-09
as amended 3-18-10

GENERAL NOTE:
CEDAR SHINGLE EASTERN WHITE
BY "MAIBEC" SIDINGS
5" TO WEATHER.

OWNER: WATERVILLE TRIAD LLC.	
PROJECT: WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND	
ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
Revisions: Permit Set 3/4/10 Bid Set 4/1/10	
Date: MARCH 3, 2010	Scale: 1/4" = 1'-0"
ELEVATIONS	
A5	



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director
March 18, 2010

Peter Bass
Waterville Triad LLC
17 Chestnut Street
Portland, ME 04101

RE: Waterville Street Condominiums
29 Waterville Street
ADMINISTRATIVE AMENDED PLAN

CBL: 016 J 017001
Application ID: HTE 10-89900001

Dear Peter Bass,

On March 18, 2010, the Portland Planning Authority approved the amended site plan for Waterville Street Condominiums, a three unit, three storey plus basement condominium building at 29 Waterville Street which was approved by the Planning Board on July 14, 2009 (both Subdivision and Site Plan).

The amendments comprise relocation of the main entrance to the center front, revised cladding materials (cedar shingle on all four elevations and ground face block at the base) and minor adjustments to landscaping as shown on the approved plans prepared by Archetype, P.A. Architects and received February 24, 2010, dated August 28, 2009 (Preliminary Site Plan) and October 2008 (Floor Plans and Elevations) with the following conditions:

1. That the applicant shall arrange for the amendment to the right of way license and Subdivision Plat, as satisfactory to the City's Associate Corporation Counsel, to reflect the approved Site Plan amendments.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit an amended site plan for staff review and approval.

Please note that Waterville Street is a 5 year moratorium street until 8/13/2012 and additional street opening fees will be required prior to that date.

Please note the following provisions and requirements for all site plan approvals:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.

2. This approval does not constitute approval for building plans, which must be reviewed and approved the City of Portland's Inspection Division.
3. Where submission drawings are available in electronic form, final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lisa Danforth, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Kathi Farley, Public Services

Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Todd Merkle, Public Services
Greg Vning, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File