

WATERVILLE STREET CONDOMINIUMS

29 WATERVILLE STREET, PORTLAND, MAINE

Architect:
 Archetype P.A.
 48 Union Wharf
 Portland, ME
 04101
 (207) 772-6022

Structural Engineer:
 Structural Design
 Consulting Inc.
 22 Oakmont Drive
 Old Orchard Beach, ME
 (207) 934-8038

DRAWING LIST

SITE DRAWINGS

- SITE SURVEY
- S1 SITE PLAN
- S2 SITE DETAILS
- L1 LANDSCAPING PLAN

STRUCTURAL DRAWINGS

- S1 FOUNDATION PLAN
- S2 FIRST FLOOR FRAMING PLAN
- S3 SECOND FLOOR FRAMING PLAN
- S4 THIRD FLOOR FRAMING PLAN
- S5 ROOF FRAMING PLAN
- S6 FOUNDATION SECTIONS AND DETAILS
- S7 FRAMING DETAILS

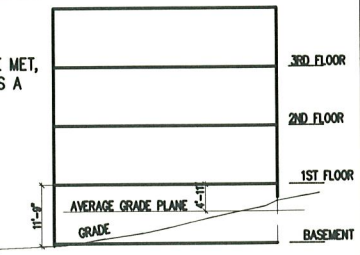
ARCHITECTURAL DRAWINGS

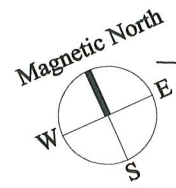
- A1 FLOOR PLANS
- A2 FLOOR PLANS
- A3 ROOF PLANS AND DETAILS
- A4 ELEVATIONS
- A5 ELEVATIONS
- A6 BUILDING SECTIONS
- A7 DETAIL SECTIONS
- A8 DETAIL SECTIONS
- A9 DETAIL SECTIONS
- A10 DETAIL SECTIONS
- A11 SCHEDULES AND FLOOR & WALL TYPES



RELEVANT CODES

NFPA 101 2006	STATE OF MAINE	IBC-2003	CODE REFERENCE	FIRE RESISTANCE FOR TYPE 5B	CODE REFERENCE	IBC BASEMENT DEFINITION
CHAPTER 30 – NEW APARTMENT BUILDINGS	LAWS FOR THE FIRE SERVICE					IBC 2003, SECTION 502
DWELLING UNITS PERMITTED ABOVE NON-RESIDENTIAL OCCUPANCY WHEN NON-RESIDENTIAL HAS SPRINKLER SYSTEM	ANY APARTMENT BUILDING OF 3 STORIES OR LESS IS PERMITTED TO HAVE A SINGLE EXIT UNDER THE CONDITION THAT THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM, MEETS THE REQUIREMENTS OF THE APPLICABLE CHAPTER OF NFPA 101 AND EVERY SLEEPING ROOM HAS A 2ND MEANS OF ESCAPE.	USE GROUP R-2 (RESIDENTIAL) AND U (PRIVATE GARAGE) CONSTRUCTION TYPE 5B Sprinkled W/NFPA 13R	310 406 T-503 903.3.1.2	STRUCTURAL FRAME SUPPORTING 1ST FLOOR – 1 HOURS STRUCTURAL FRAME ABOVE 1ST FLOOR – 0 HOURS BEARING WALLS MORE THAN 10' FROM LOT LINE – 0 HOURS BEARING WALLS LESS THAN 10' FROM LOT LINE – 1 HOURS NONBEARING WALLS MORE THAN 10' FROM LOT LINE – 0 HOURS NONBEARING WALLS LESS THAN 10' FROM LOT LINE – 1 HOURS NONBEARING WALLS – INT. – 0 HOUR FLOOR CONSTRUCTION (1ST FLOOR) – 1 LAYER GYPBOARD FLOOR CONSTRUCTION (2ND & 3RD FLOORS) – 1/2 HOUR ROOF CONSTRUCTION – 0 HOUR	T-601 T-601 T-602 T-602 T-602 T-602 T-601 406.1.4 711.3 T-601 707.4 717.3.2 exception 2 905.3.1 903.3.7 (AS DIRECTED BY FIRE DEPT)	1. THE FIRST FLOOR IS 4'-11" ABOVE GRADE PLANE (IBC ALLOWS 6'-0" MAX). 2. THE FIRST FLOOR IS MORE THAN 6'-0" ABOVE FINISHED GROUND LEVEL FOR ONLY 36% OF THE TOTAL BUILDING PERIMETER. (IBC ALLOWS 50% MAX). 3. THE FIRST FLOOR IS MAXIMUM 11'-9" ABOVE THE FINISHED GROUND LEVEL. (IBC ALLOWS 12'-0" MAX)
SINGLE MEANS OF EGRESS * STAIRWAY SEPARATED FROM BUILDING BY 1 HOUR BARRIERS AND SELF-CLOSING 1 HOUR RATED FIRE DOORS. *30 MINUTE FIRE RATED VERTICAL AND HORIZONTAL SEPARATION BETWEEN UNITS	THE BUILDING EXIT IS ON THE FIRST FLOOR AND THE BUILDING MEETS THE DEFINITION OF A 3 STORY BUILDING PER NFPA 5000, 3.3.595.2	SEPARATED MIXED USE SEPARATION SHALL BE BY MINIMUM 1/2" GYPBOARD APPLIED TO THE GARAGE SIDE OF THE FLOOR AND WALL	406.1.2 & 406.1.4	4-STORY SHAFT – 2 HOURS DRAFTSTOPPING – N/A STANDPIPE REQUIRED FIRE DEPT. CONNECTION REQUIRED	907.2.9 exception 2 907.2.10.1.2 3004.1	ALL 3 CONDITIONS OF IBC 502 ARE MET, THEREFORE THE LOWEST LEVEL IS A BASEMENT
EMERGENCY LIGHTING REQUIRED IN BUILDINGS MORE THAN 3 STORIES IN HEIGHT		R-2 7,000 sf AREA, 2 STORIES 40' HEIGHT 1,883sf. AREA PROPOSED	503	ALARM NOT REQUIRED SMOKE DETECTORS REQUIRED 3" ELEVATOR VENT REQUIRED	1018.2 T-1018.2 c	
IN BUILDINGS WITH SPRINKLER SYSTEM ALL VERTICAL OPENINGS SHALL BE PROTECTED BY 1 HOUR RATED WALLS AND DOORS		U 5,500 sf AREA, 1 STORIES 40' HEIGHT 1,220sf. AREA PROPOSED	503	BUILDINGS WITH ONE EXIT ALLOWED IN R-2 OF 3 STORIES IF BUILDING SPRINKLED AND PROVIDED WITH EMERGENCY ESCAPE AND RESCUE OPENINGS PER SECTION 1025 (LOWEST FLOOR IS A BASEMENT PER IBC SECTION 502)		
DETECTION AND ALARM SYSTEM NOT REQUIRED		1 STORY AND 10'-0" PROPOSED				
SPRINKLER SYSTEM TO BE IN ACCORDANCE WITH NFPA 13R						
FIRE EXTINGUISHERS NOT REQUIRED						





RAIN BARREL CONNECTED TO GUTTER DOWNSPOUT. SET ON 3'X3'X12" BED OF CRUSHED STONE.

16'-0" X 6'-0" HIGH CEDAR FENCE. STYLE TO BE SELECTED BY MARY CASALE

FLAGSTONE PAVERS.

16'-0" OF RAIL FENCE TO MATCH EXIST

ELECTRIC PANEL

EXISTING TREES TO BE REMOVED

PROPOSED PARKING EASEMENT

CONCRETE WALKWAY

PROJECTION OF BAY WINDOW OVERHEAD.

NEW GRANITE CURB (SEE SHEET S2 FOR INSTALLATION DETAILS) EXISTING CURB ALONG PROPERTY TO BE RESET

6' GRANITE TIP-DOWN CURB BOTH SIDES OF DRIVE

RELOCATED POLE

EXISTING DROP INLET CATCH BASIN: RESET TOP OF CATCH BASIN WITH A STANDARD CAST IRON FRAME AND GRATE PER CITY OF PORTLAND SPECS.

REMOVE EXISTING POLE

12" BITUMINOUS STRIP

NEW RETAINING WALL BUILT ON OUTSIDE OF EXIST STONE RETAINING WALL

BASEMENT GARAGE

EXISTING CONCRETE WALK TO BE REBUILT

EXISTING CONCRETE SIDEWALK

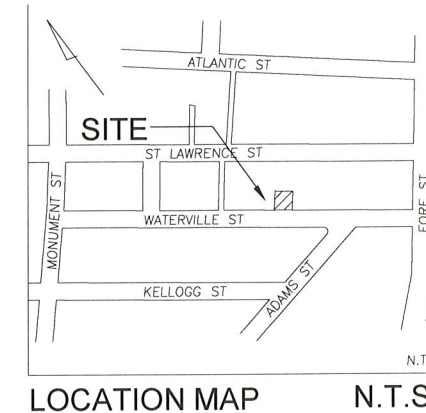
NEW ENTRANCE

WATERVILLE STREET

SITE PLAN SCALE: 1/4" = 1'-0"

LEGEND:

●	IRON PIPE OR ROD FOUND	—	SIGN
■	GRANITE MONUMENT	— X —	FENCE
○	WATER VALVE	—	STONE WALL
⊗	HYDRANT	—	CURB
⊕	UTILITY POLE	— W —	WATER LINE
⊙	LIGHT POLE	— G —	GAS LINE
⊖	MANHOLE	— UE —	NEW UNDERGROUND ELECTRIC
⊗	EXISTING CATCH BASIN	101	EXISTING COUNTOUR
⊗	DECIDUOUS TREE	62.25	PROPOSED CONTOUR
⊗	PLANTINGS	◆ 62.25	PROPOSED SPOT GRADE
⊗	EXIST CONC SIDEWALK TO BE REBUILT	—	SILT FENCE LOCATION



- PLAN REFERENCES:
- "BOUNDARY SURVEY AT 29 WATERVILLE STREET, PORTLAND, MAINE", MADE FOR WATERVILLE TRIAD, LLC, BY OWEN HASKELL, INC., PROFESSIONAL LAND SURVEYORS, 390 U.S. ROUTE 1, FALMOUTH, MAINE, 04105, DATED SEPTEMBER 12, 2008
 - "BOUNDARY SURVEY & TOPOGRAPHIC PLAN AT 29 WATERVILLE STREET, PORTLAND, MAINE", MADE FOR BILL UMBEL, BY BACK BAY BOUNDARY, INC., LAND SURVEYING, 643 FOREST AVENUE, PORTLAND, MAINE, 04101, DATED APRIL 4, 2007.

STEPHEN W. TIBBITTS, P.E.
 Consulting Civil Engineer
 License No. 5314
 State of Maine

ENGINEERING:
 WATERVILLE TRIAD LLC
 29 Waterville Street, Portland, Maine

OWNER:
ARCHETYPE, P.A. ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

PROJECT:
WATERVILLE STREET CONDOMINIUMS
 WATERVILLE STREET PORTLAND

Revisions:
 3-12-09: Revised storm drain location
 3-23-09: Revised bay window projection
 4-27-09: Revised exterior grading, entrance
 8-28-09: Revised plan, fences added
 2-25-10: ENTRANCE REVISED

Date: AUGUST 28, 2009
 Scale: 1/4" = 1'-0"
SITE PLAN

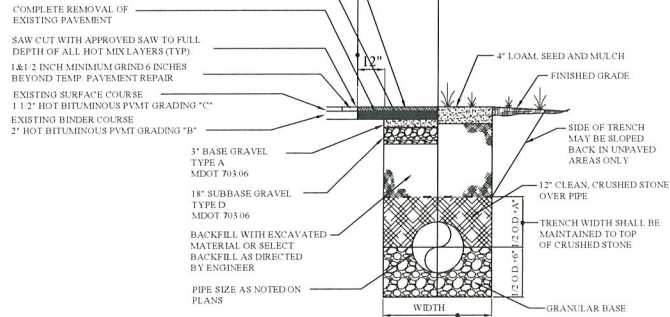
S1

PERMANENT PAVEMENT

AFTER FREEZE THAW CYCLE, GRIND TEMPORARY REPAIR AREA PLUS SIX (6) INCHES BEYOND IN ALL DIRECTIONS. MINIMUM OF ONE AND ONE-HALF (1-1/2) INCH DEPTH OVERLAY IN ACCORDANCE WITH CITY OF PORTLAND REGULATIONS. PAVEMENT TYPE AND DEPTH TO MATCH EXISTING SURFACE COURSE AND CITY OF PORTLAND SPEC'S.

TEMPORARY PAVEMENT

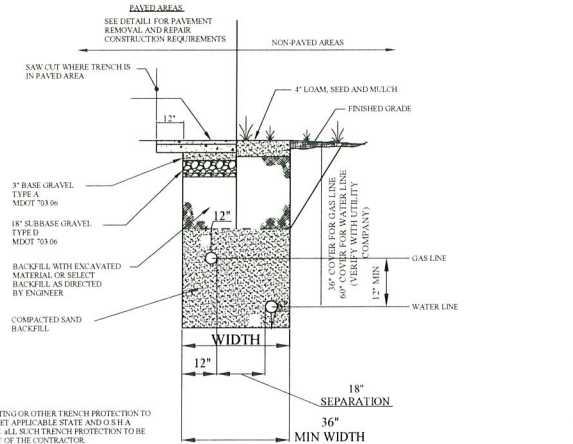
PLACED ON WELL COMPACTED BASE OF EXISTING AND NEW MATERIAL. PAVEMENT TO BE HOT-MIXED GRADE B PLACED IN ONE AND ONE-HALF (1 1/2) COMPACTED LIFTS. TOTAL DEPTH TO MATCH THE TOTAL DEPTH OF HOT-MIXED ASPHALT FOUND IN THE STREET.



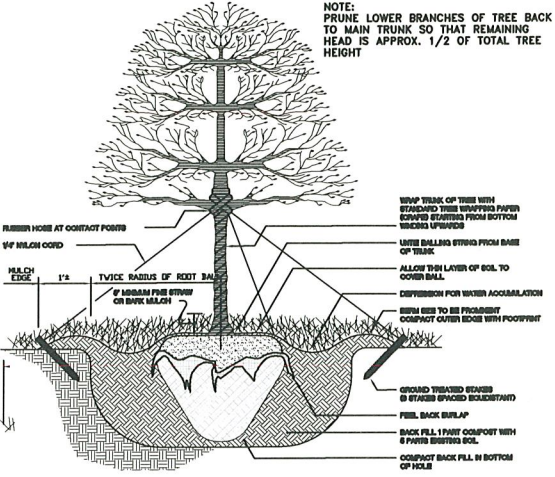
NOTES:

- CONTRACTOR IS REQUIRED TO OBTAIN A STREET OPENING PERMIT FROM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS BEFORE COMMENCING UTILITY WORK IN THE CITY STREET SYSTEM. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR EXCAVATION ACTIVITY WITHIN THE PUBLIC RIGHT-OF-WAY, REVISED JUNE 2009.
- THE TWELVE (12) INCH PAVEMENT OVERCUT MEASUREMENT STARTS AT THE FURTHEST EDGE OF INTACT NATIVE SOILS. TRENCH WALL DISTURBANCE WILL IMPACT AMOUNT OF PAVEMENT REMOVAL AND REPAIR REQUIRED.
- BRACING AND SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF THE EDGES OF THE EXISTING SAW-CUT PAVEMENT ADJACENT TO TRENCHES ARE DAMAGED, THEN THE PAVEMENT SHALL BE CUT AGAIN IN A STRAIGHT LINE PARALLEL TO THE ORIGINAL SAW CUTS.

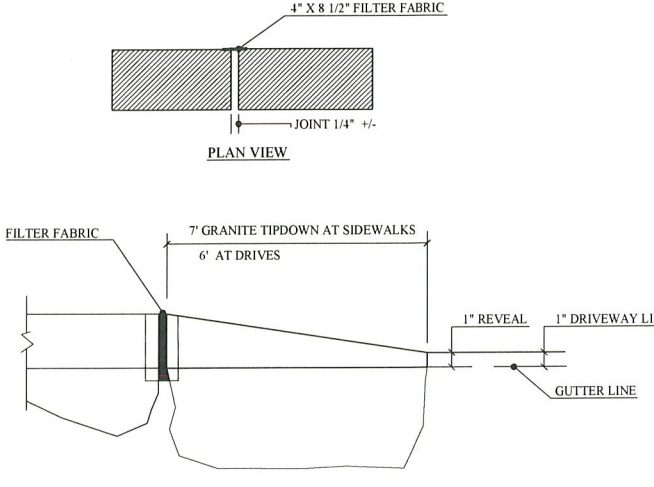
1 TYPICAL UTILITY PIPE TRENCH SECTION
NOT TO SCALE



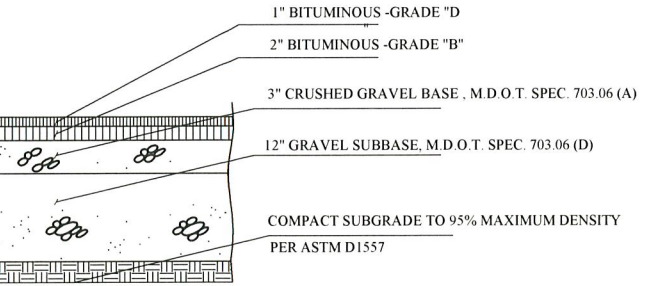
2 COMBINED GAS AND WATER LINE TRENCH
NOT TO SCALE



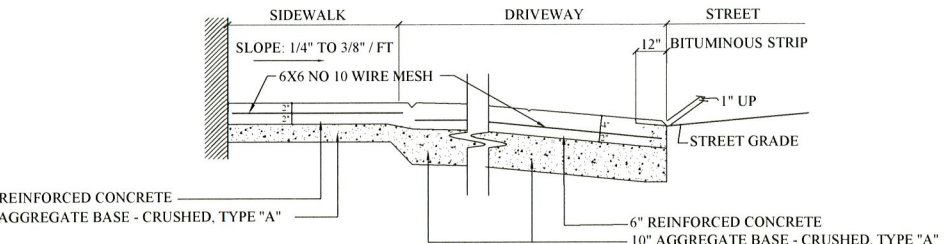
3 STAKING AND PLANTING TREE DETAIL
NOT TO SCALE



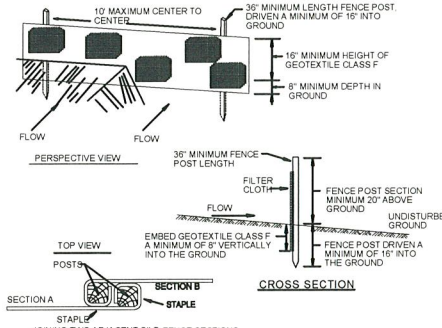
4 TIPDOWN CURB INSTALLATION
NOT TO SCALE



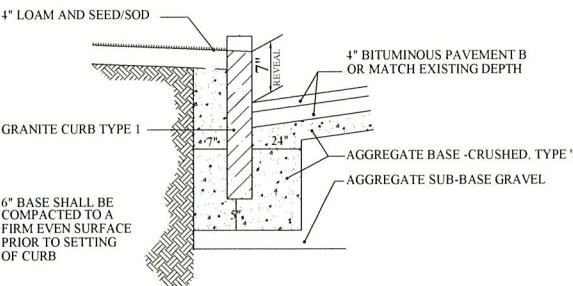
5 PARKING AREA PAVEMENT SECTION
NOT TO SCALE



6 DRIVEWAY-SIDEWALK DETAILS
NOT TO SCALE



8 SILT FENCE DETAIL
NOT TO SCALE



7 GRANITE CURB DETAIL
NOT TO SCALE

EROSION CONTROL MEASURES

In order to minimize erosion control problems resulting from the construction activities associated with this project, erosion control measures will be installed and/or followed prior to, during and after construction. Temporary and permanent measures for this project will consist of the following.

CONTRACTOR RESPONSIBILITIES:
Prior to the start of construction, the General Contractor for the project will meet with the Project Engineer to ensure compliance and understanding of the proposed measures. The Contractor will be made aware of the need to minimize all disturbances of the site and the need to install the recommended erosion control measures.

SILT FENCE
At the start of construction, silt fencing will be installed where indicated on this Site Plan. Silt Fencing will also be required around any stockpile areas created during construction of the driveway and parking.

FINAL GRADING AND SEEDING
During final grading, 4 inches of topsoil will be placed over all disturbed areas. After final grading is complete, the site will be limed, fertilized and seeded to stabilize fill and disturbed areas. After seeding, all areas will be mulched with hay. The Contractor will be responsible for monitoring the seeded areas after all rainfall events and at least once a week, to insure an adequate take of the seeds. Areas that have not started grass will be reseeded and mulched.

SITE MONITORING
The Developer and Contractor will be responsible for monitoring all erosion control measures. If there is a build up of sediment, it will be removed. Any breaks in the silt fence will be immediately repaired. After the site has become stabilized, measures will be removed along with any built-up sediment.

GENERAL NOTES:

- OWNER OF RECORD: WATERVILLE TRIAD, LLC 29 WATERVILLE ST., PORTLAND, MAINE
- BEARINGS ARE BASED ON PLAN REFERENCE 1, AND ARE MAGNETIC IN THE YEAR 2000.
- SUBJECT PROPERTY IS SHOWN ON MAP 16, BLOCK J, LOT 17, OF THE CITY OF PORTLAND'S ASSESSOR'S MAPS.
- AREA OF SUBJECT PARCEL: 3,204 SQ. FT. (.074 ACRES).
- ZONE: R-6 RESIDENTIAL ZONE
- THE PROPOSED BUILDING WILL CONSIST OF 3 CONDOMINIUMS.
- ELEVATIONS ARE FROM PLAN REFERENCE 2.
- ALL SITE WORK TO BE IN CONFORMANCE WITH CITY OF PORTLAND OR UTILITY COMPANY SPECIFICATIONS AND DETAILS.
- THE SITE IS CURRENTLY SERVICED BY WATER, GAS, SEWER AND STORMWATER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL OF THE UTILITIES LOCATE THEIR SERVICES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO CONTACT DIG SAFE AT LEAST THREE (3) BUT NO MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MSRA 3360-A.
- PATCH AND REPAIR ALL DAMAGE TO SITE PER CITY OF PORTLAND SPEC
- PROVIDE PEDESTRIAN ACCESS ALONG ALL WATERVILLE ST. AS DIRECTED BY THE CITY OF PORTLAND.
- ALL WORK NOTED ON THIS SHEET NEEDS TO BE CO-ORDINATED WITH PUBLIC WORKS AND NOT IMPEDE COMMUTER TRAFFIC
- LOCATION OF UTILITY STRUCTURES AND INVERTS OF PIPED UTILITIES MAY BE ADJUSTED TO MEET FIELD CONDITIONS ONLY AFTER APPROVAL OF THE OWNER, THE AFFECTED UTILITY COMPANY AND THE CITY OF PORTLAND.
- EXISTING PAVEMENT SHALL BE SAW CUT AND BUTTED TO THE NEW PAVEMENT. NO FEATHERING OF PAVEMENT WILL PERMITTED.
- ALL MATERIALS AND INSTALLATIONS SHALL MEET MDOT AND/OR CITY OF PORTLAND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ENGINEER FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE PROJECT ENGINEER. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER FOR FURTHER RESOLUTION BEFORE ANY ADDITIONAL WORK IS PERFORMED.
- PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AND SHALL NOT BE DISTURBED. IF DISTURBED, THEY SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- ANY GRANITE CURBING REMOVED DURING CONSTRUCTION IS THE PROPERTY OF THE CITY OF PORTLAND.
- ANY DAMAGE TO THE EXISTING CITY CURBING, CONCRETE SIDEWALK, ROADWAY AND SANITARY SEWER WILL BE REPAIRED BY THE OWNER.
- WORK IN WATERVILLE STREET WILL REQUIRE A STREET OPENING PERMIT FROM THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS. ALL WORK WILL MEET THE DEPARTMENT OF PUBLIC WORK STANDARDS.
- CONTRACTOR TO REFER TO SHEET S2 FOR SITE DETAILS.
- ALL WORK PERFORMED WITHIN CITY R.O.W. SHALL ADHERE TO CITY STANDARDS.
- ALL WORK IN R.O.W. TO BE PERFORMED BY A LICENSED EXCAVATOR WITH PROPER PERMITS

ENGINEERING:
STEPHEN W. TIBBETTS, P.E.
Consulting Civil Engineer
15 Oak Ridge Rd., Brunswick, Maine 04011
(207) 725-2667 Fax: (207) 725-2667

OWNER:
WATERVILLE TRIAD LLC
29 Waterville Street, Portland, Maine

PROJECT:
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

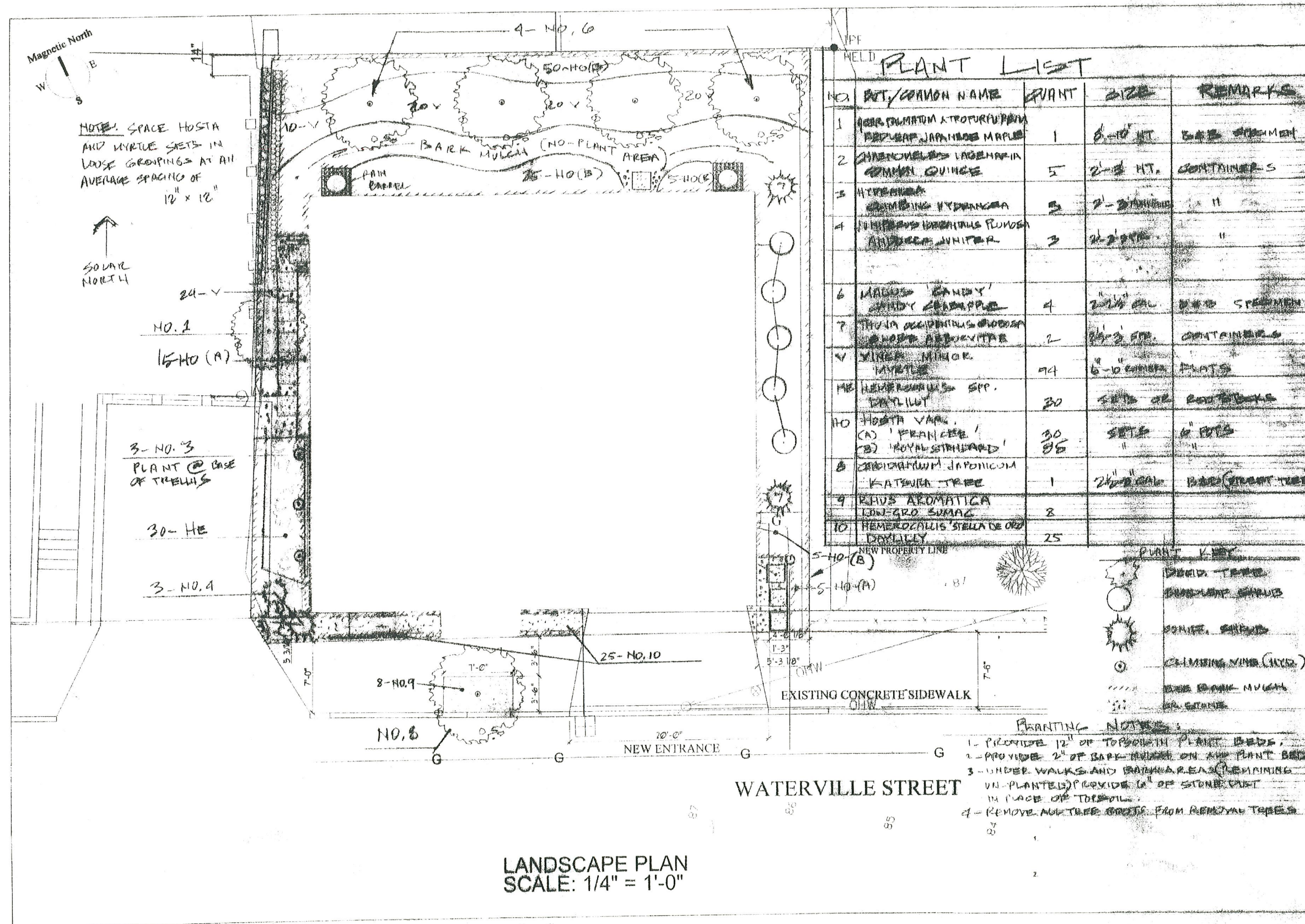
PROJECT:
WATERVILLE STREET CONDOMINIUMS
WATERVILLE STREET PORTLAND

Revisions:

Date: AUGUST 28, 2009
Scale: AS NOTED

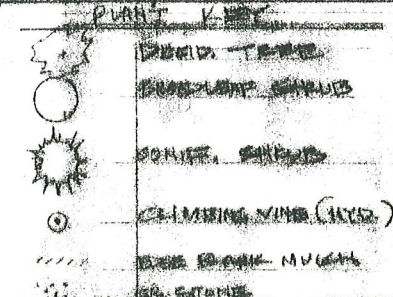
SITE DETAILS

S2



PLANT LIST

NO.	ART./COMMON NAME	QUANT.	SIZE	REMARKS
1	ABERCROMBIA ATROPURPUREA RED LEAF JAPANESE MAPLE	1	8'-10" HT.	SEE SPECIMEN
2	CHAENOMELIS LACINIOSA COMMON QUINCE	5	2'-3" HT.	CONTAINERS
3	HYDRANGEA CLIMBING HYDRANGEA	3	2'-3" HT.	"
4	HYDRANGEA ANDRUEA JUNIPER	3	2'-3" HT.	"
6	MAGNOLIA 'SANDY' SANDY MAGNOLIA	4	2'-3" HT.	SEE SPECIMEN
7	HYDRANGEA SANDY MAGNOLIA	2	2'-3" HT.	CONTAINERS
V	MYRTLE MYRTLE	74	6"-8" DIAM.	PLANTS
HE	HEMEROCALLIS SPP. DAFFODIL	30	SETS OF	ROOTS/BULBS
HO	HOSTA VAR. (A) 'FRANCEE' (B) 'ROYAL STANDARD'	30 35	SETS	"
8	CAROLINIANUM JAPONICUM KATONIA TREE	1	2'-3" HT.	BARE (STREET TREE)
9	RHUS AROMATICA LOW-GROW SUMAC	2		
10	HEMEROCALLIS STELLA DE ORO DAFFODIL	25		



- #### PLANTING NOTES:
- 1- PROVIDE 12" OF TOPSOIL IN PLANT BEDS.
 - 2- PROVIDE 2" OF BARK MULCH ON THE PLANT BEDS.
 - 3- UNDER WALKS AND DRIVE AREAS (REMAINING UN-PLANTED) PROVIDE 6" OF STONE CUST IN PLACE ON TOPSOIL.
 - 4- REMOVE ALL TREE BRANCHES FROM REMOVAL TREES.

LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"

OWNER:

WATERVILLE TRIAD LLC
30 Waterville Street, Portland, Maine

ARCHITECT:

ARCHETYPE, P.A.
ARCHITECTS
48 Union Street, Portland, Maine 04101
(207) 772-4622 Fax (207) 772-4055

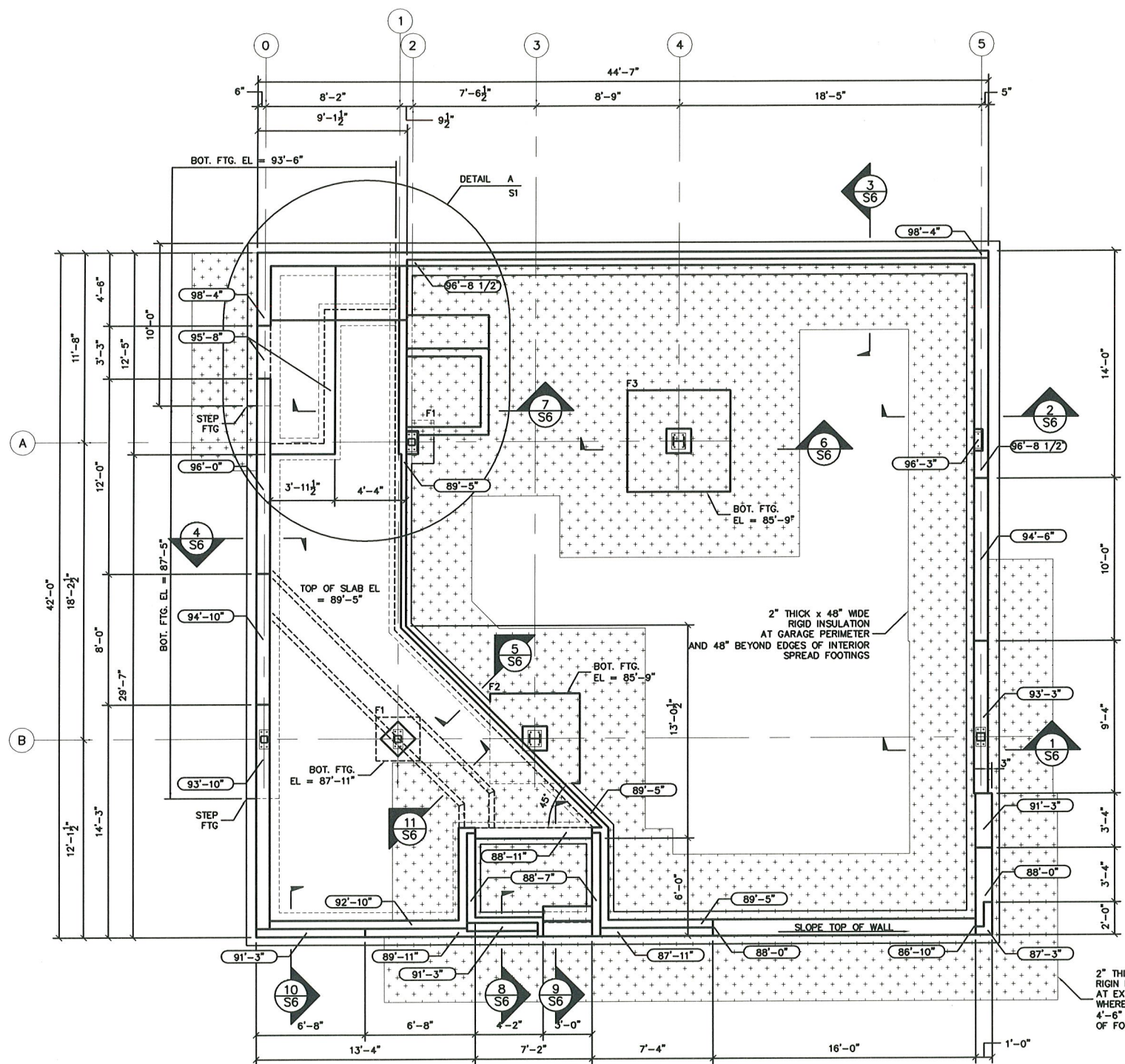
PROJECT:

WATERVILLE STREET
CONDOMINIUMS
WATERVILLE STREET
PORTLAND

SCALE: 1/4" = 1'-0"

LANDSCAPE PLAN

L1



FOUNDATION PLAN
 1/4"=1'-0"

XX'-XX" INDICATES TOP OF CONCRETE WALL OR SHELF ELEV.
 BOTTOM OF FOOTING ELEV. = 86'-0" UNLESS NOTED.

ALL HARDWARE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

REFER TO "REPORT ON SUBSURFACE AND FOUNDATION INVESTIGATION" PREPARED BY SEBAGO TECHNICS DATED JANUARY 7, 2009 FOR ADDITIONAL INFORMATION REGARDING SUBSURFACE CONDITIONS, CONSTRUCTION CONSIDERATIONS AND RECOMMENDATIONS.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F1	2'-8" x 2'-8" x 1'-0"	4 #5 E.W. BOT.
F2	5'-9" x 5'-9" x 1'-6"	6 #5 E.W. BOT.
F3	6'-3" x 6'-3" x 1'-6"	8 #5 E.W. BOT.

GENERAL NOTES
 NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO DRAWING NOTES.

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, EQUIPMENT, SITE AND SHOP DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, INSERTS, SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.

ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK. THE CONTRACTOR SHALL DETERMINE ALL NECESSARY DIMENSIONS, ELEVATIONS AND CONDITIONS REQUIRED FOR THE FABRICATION AND ERECTION OF THE BUILDING'S COMPONENTS PRIOR TO THE SUBMISSION OF SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL ACCURATELY REFLECT THE GENERAL CONTRACTOR'S VERIFICATION OF FIELD CONDITIONS.

SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS PREPARED BY THE GENERAL CONTRACTOR OR A SUBCONTRACTOR. REPRODUCTION OF ANY STRUCTURAL DRAWING FOR USE AS A SHOP DRAWING IS NOT ACCEPTABLE.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS AND/OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE GENERAL CONTRACTOR AFTER COMPLETION OF THE BUILDING.

SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL AND USED IN SIMILAR CONDITIONS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN CRITERIA

BUILDING CODE: 2003 INTERNATIONAL BUILDING CODE

DESIGN LOADS:

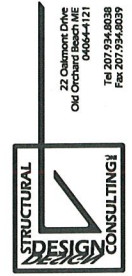
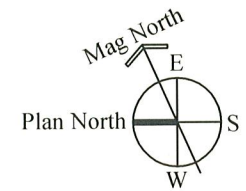
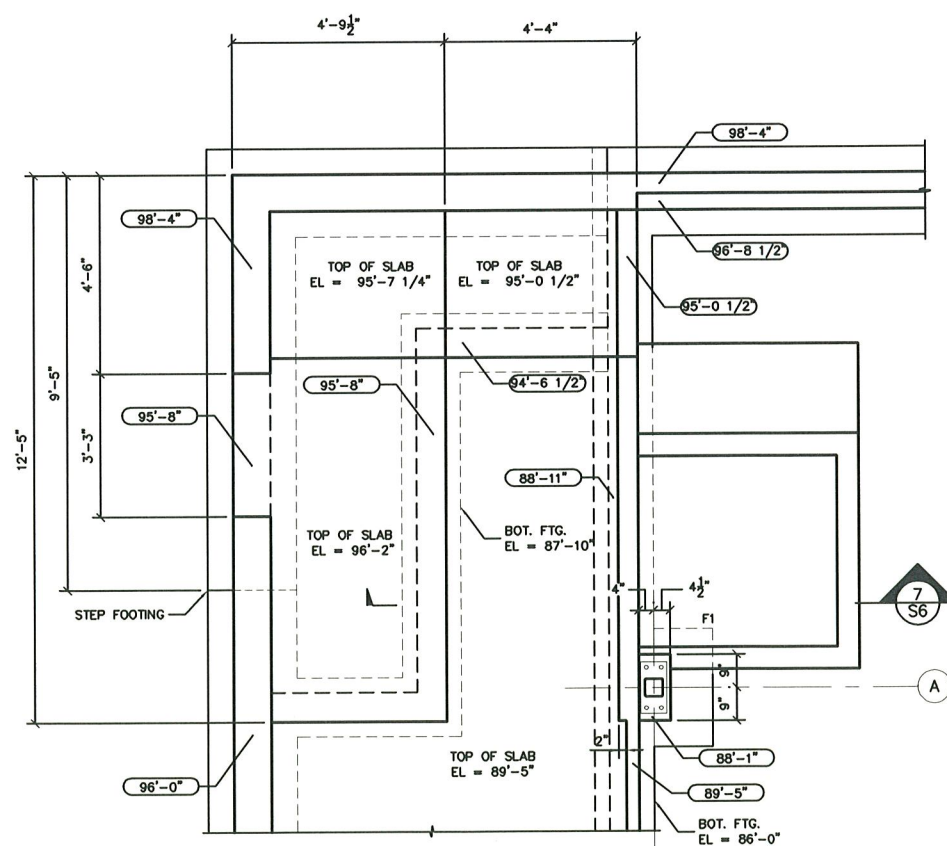
LIVE LOADS
 RESIDENTIAL UNITS
 BALCONIES AND ROOF DECK

SNOW LOAD
 GROUND SNOW LOAD, P_g
 SNOW EXPOSURE FACTOR, C_e
 SNOW LOAD IMPORTANCE FACTOR, I_s
 THERMAL FACTOR, C_t
 FLAT ROOF SNOW LOAD, P_f

WIND LOAD
 BASIC WIND SPEED (3 SEC GUST), V_{3s}
 WIND IMPORTANCE FACTOR, I_w
 BUILDING CATEGORY
 EXPOSURE CATEGORY
 HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT, I

EARTHQUAKE DESIGN DATA
 SEISMIC IMPORTANCE FACTOR, I_s
 MAPPED SPECTRAL RESPONSE ACCELERATIONS
 0.2 SEC PERIOD, S_s
 1 SEC PERIOD, S₁
 SITE CLASS
 SPECTRAL RESPONSE COEFFICIENTS
 0.2 PERIOD 5% DAMPED, S_{ds}
 1 SEC PERIOD 5% DAMPED, S_{d1}
 SEISMIC DESIGN CATEGORY
 BASIC SEISMIC-FORCE-RESISTING SYSTEM
 DESIGN BASE SHEAR
 SEISMIC RESPONSE COEFFICIENT, C_s
 DEFLECTION AMPLIFICATION FACTOR, C_d
 RESPONSE MODIFICATION COEFFICIENT, R
 SYSTEM OVERSTRENGTH FACTOR, Ω₀
 ANALYSIS PROCEDURE

1.0
 0.37
 0.10
 0
 0.37
 0.16
 LIGHT-FRAMED WALLS WITH SHEAR PANELS
 19.9 KIPS
 4.0
 0.057
 6.5
 3.0
 EQUIVALENT LATERAL FORCE



22 Oakmont Drive
 Old Orchard Beach, MD 21054
 Tel: 410-588-1121
 Fax: 410-588-1839

OWNER:
 WATERVILLE TRIAD LLC.

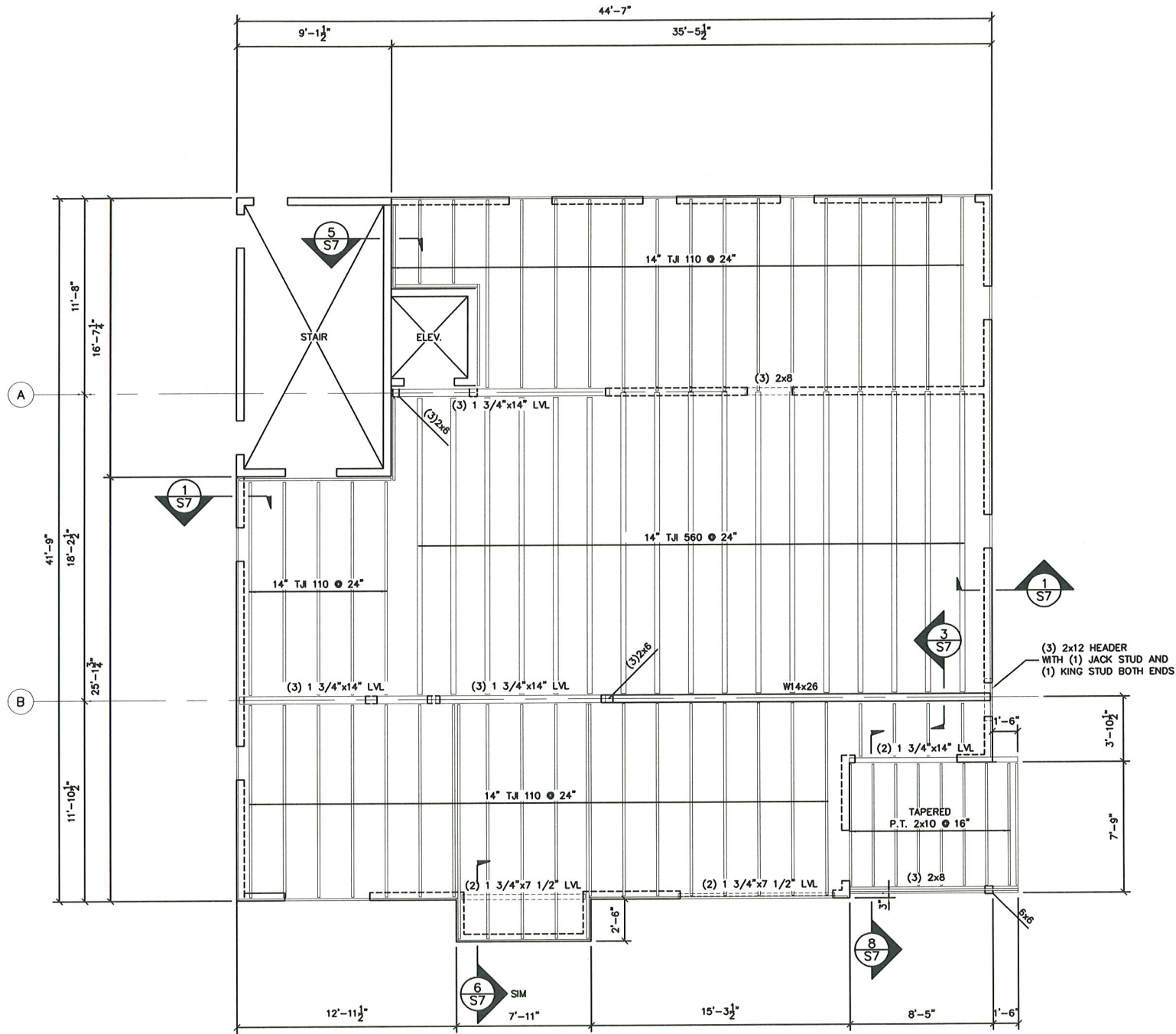
PROJECT:
 ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

DATE:
 22 Feb 2010

Scale: As Noted

Revisions:
 FOUNDATION PLAN
 SND
 GENERAL NOTES

S1



THIRD FLOOR FRAMING PLAN
 1/4" = 1'-0"

FLOOR SHEATHING IS 1 1/8" ADVANTECH OVERLAID WITH 2" RIGID INSULATION AND 3" CONCRETE SLAB.

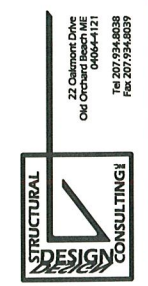
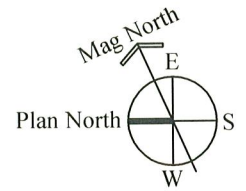
TOP OF CONCRETE SLAB ELEV = 120'-0".

EXTERIOR WALLS AND INTERIOR BEARING WALLS ARE 2x6@24".

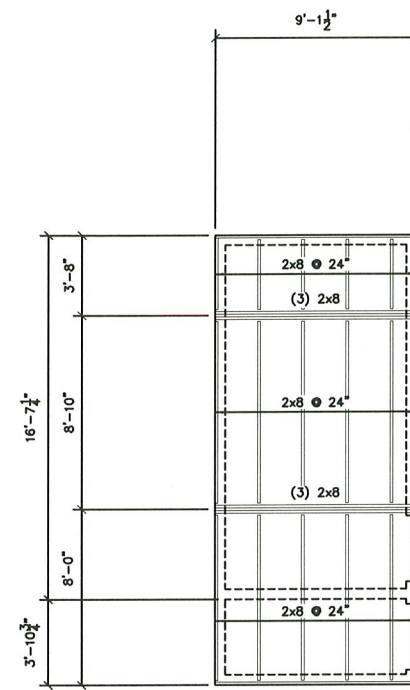
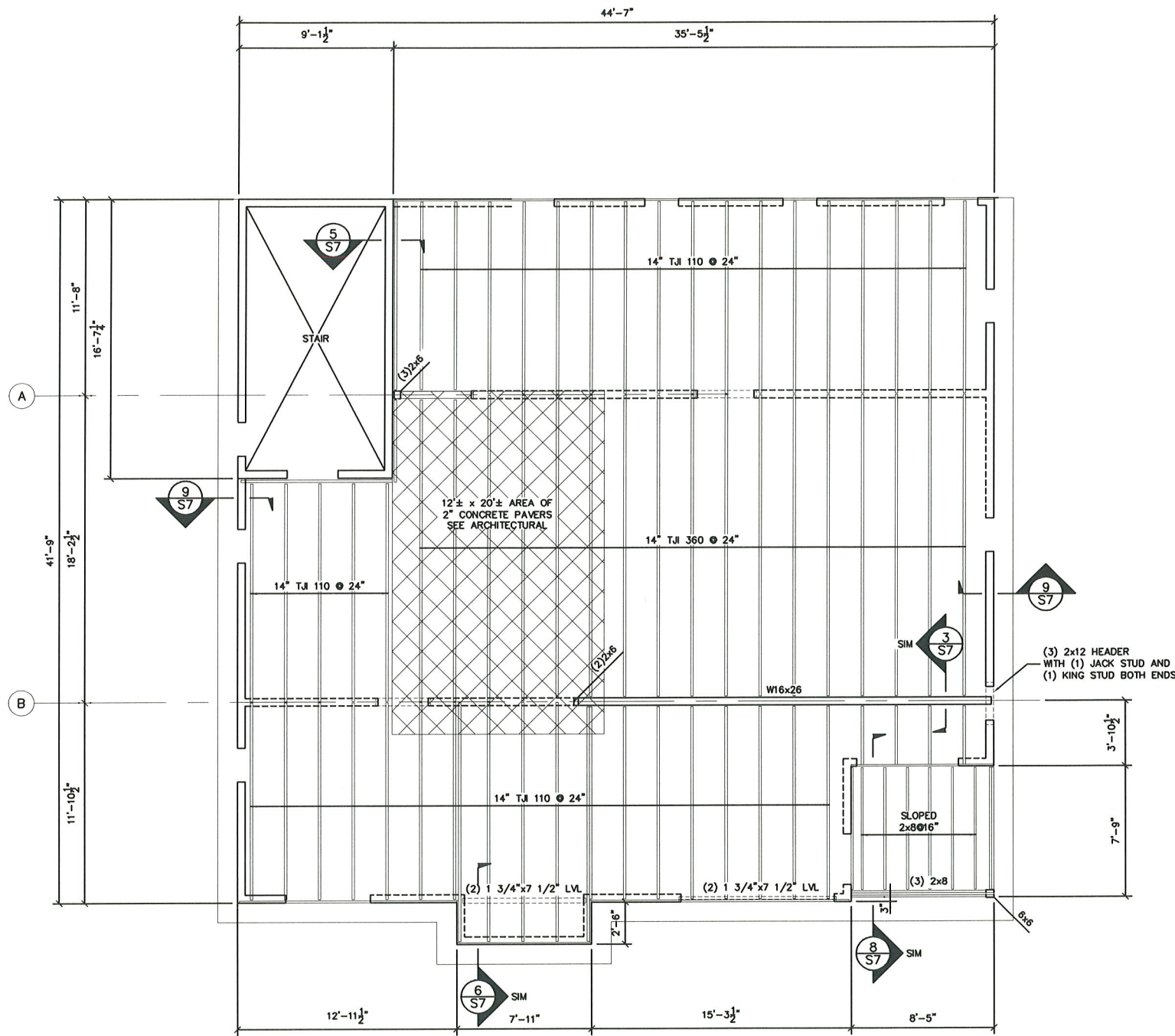
SHEATH EXTERIOR WALLS WITH 5/8" PLYWOOD NAILED WITH 10d NAILS SPACED AT 4" ALONG PERIMETER OF EACH SHEET AND ALL WALL OPENINGS AND AT 12" ALONG INTERMEDIATE STUDS.

ALL EXTERIOR BEARING WALL HEADERS ARE (2) 2x8 FLUSH WITH OUTSIDE OF STUD UNLESS NOTED.

SEE S2 FOR FRAMING HARDWARE SCHEDULE.

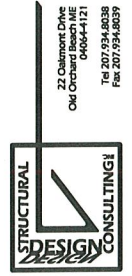
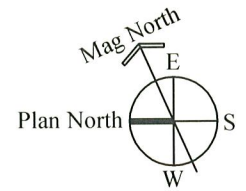


OWNER:	WATERVILLE TRIAD LLC.	
	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	
PROJECT:	WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND	
	Revisions:	
Date:	22 Feb 2010	
Scale:	1/4" = 1'-0"	
THIRD FLOOR FRAMING PLAN		
S4		



STAIR TOWER ROOF FRAMING PLAN
 1/4"=1'-0"
 ROOF SHEATHING IS 3/4" ADVANTECH .
 SEE ARCHITECTURAL FOR ROOF SLOPES.

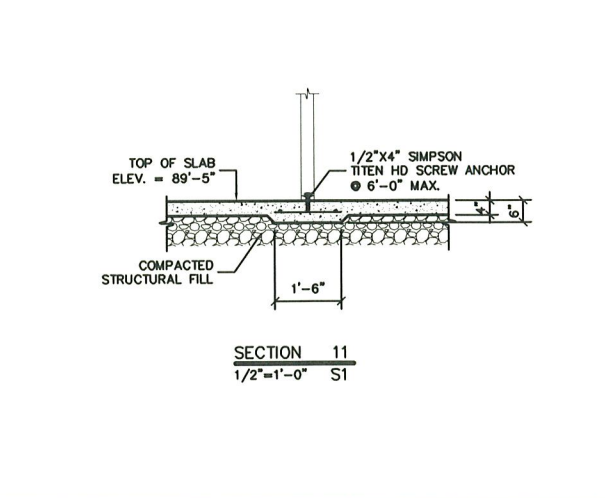
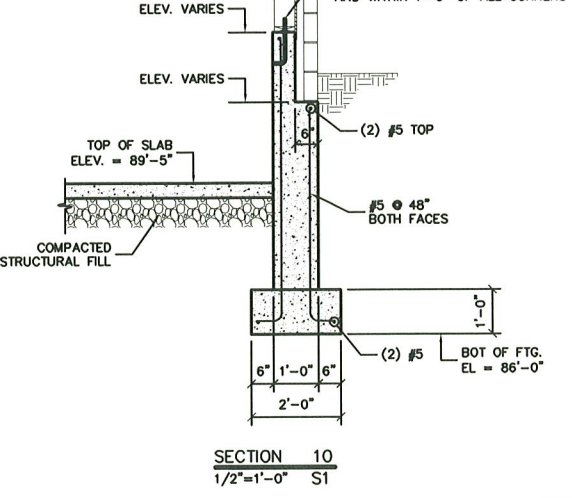
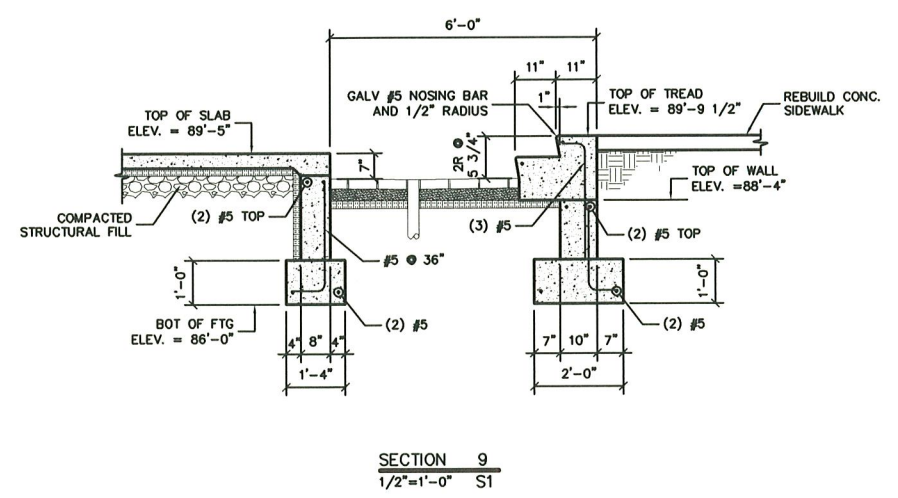
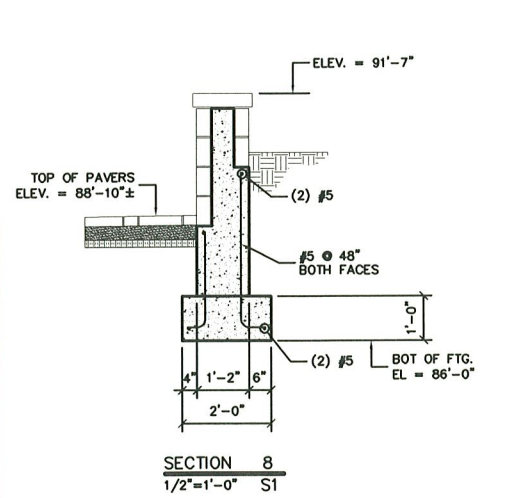
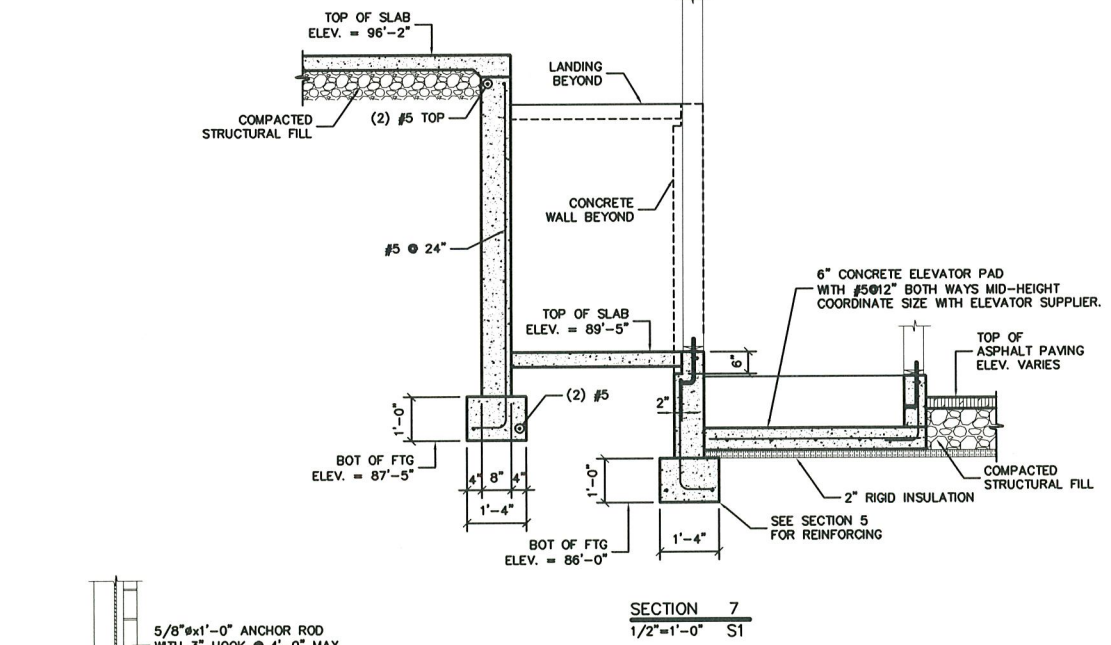
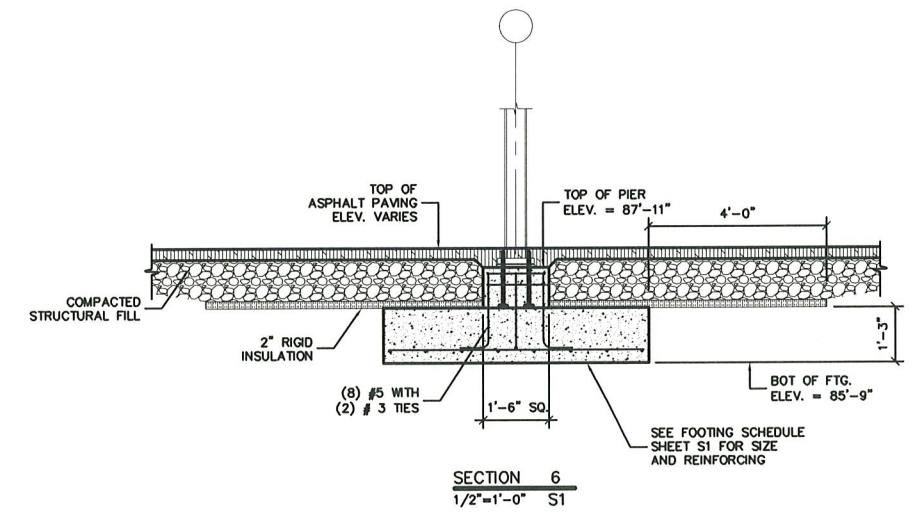
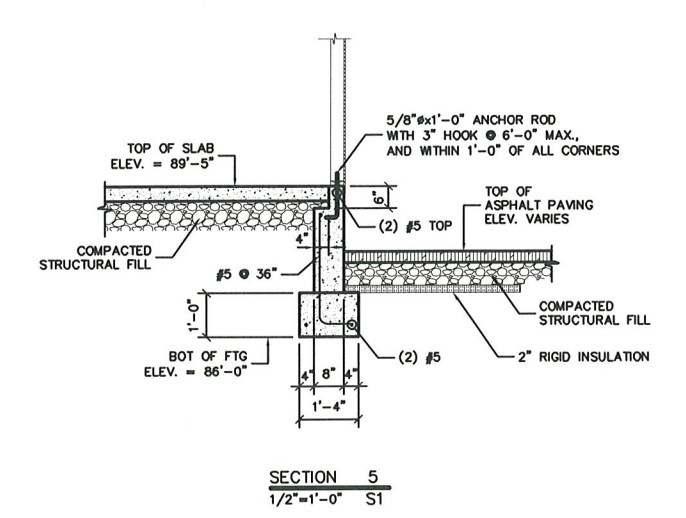
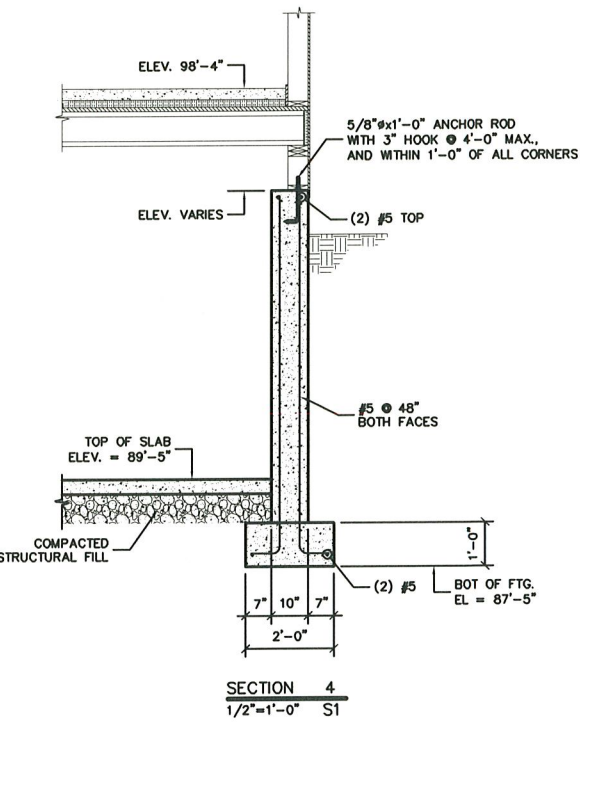
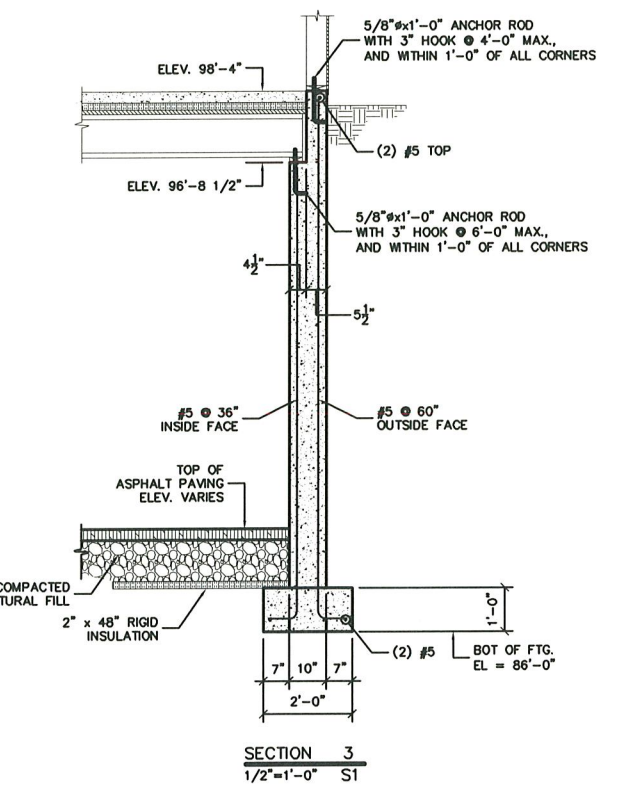
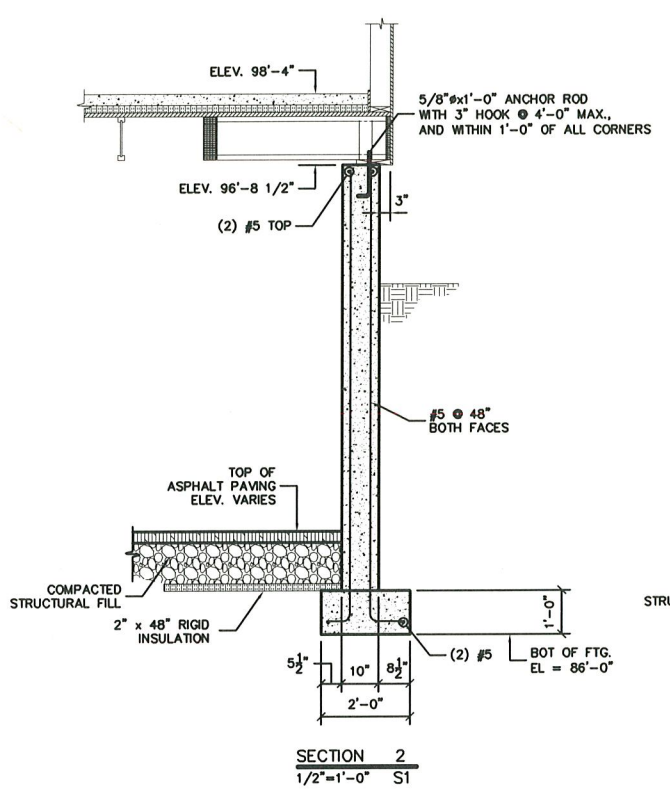
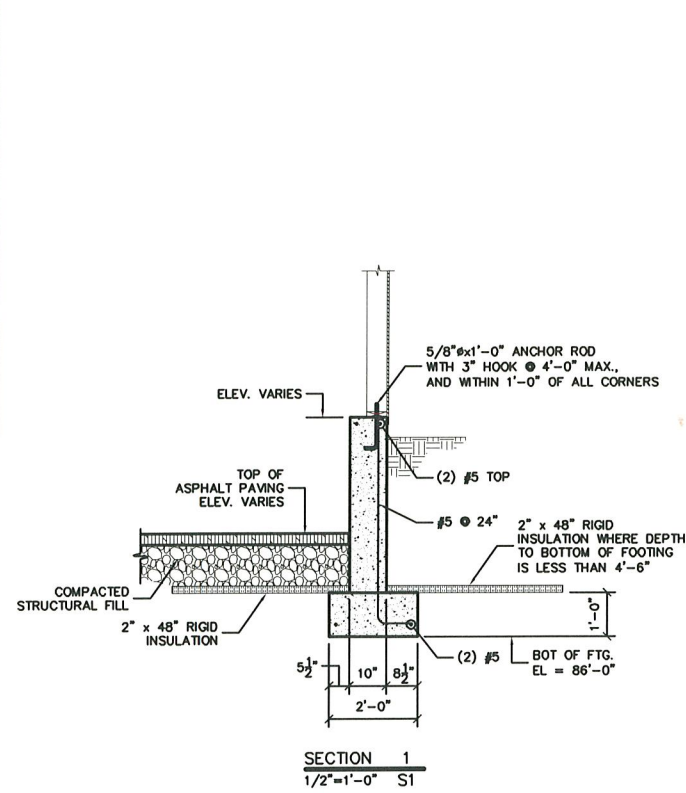
ROOF FRAMING PLAN
 1/4"=1'-0"
 ROOF SHEATHING IS 3/4" ADVANTECH .
 JOIST BEARING AT SOUTH WALL ELEV = 130'-2".
 JOIST BEARING AT NORTH WALL ELEV = 129'-3 1/2".
 EXTERIOR WALLS AND INTERIOR BEARING WALLS ARE 2x6 @ 24".
 SHEATH EXTERIOR WALLS WITH 5/8" PLYWOOD NAILED WITH 8d NAILS
 SPACED AT 4" ALONG PERIMETER OF EACH SHEET AND
 AT 12" ALONG INTERMEDIATE STUDS.
 ALL EXTERIOR BEARING WALL HEADERS ARE (2) 2x8 FLUSH WITH
 OUTSIDE OF STUD UNLESS NOTED.
 SEE S2 FOR FRAMING HARDWARE SCHEDULE.



OWNER:	WATERVILLE TRIAD LLC.
PROJECT:	WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND
ARCHITECT:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Date:	22 Feb 2010
Scale:	1/4" = 1'-0"
Revisions:	

ROOF FRAMING PLAN

S5



OWNER:
WATERVILLE TRIAD LLC.

PROJECT:
ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

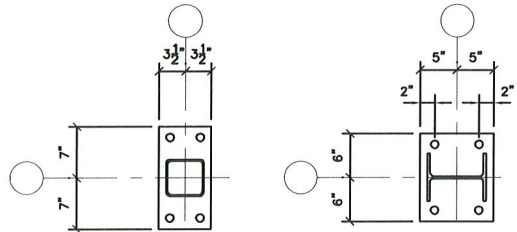
PROJECT:
WATERVILLE STREET CONDOMINIUMS
29 WATERVILLE STREET
PORTLAND

Revisions:

Date: 22 Feb 2010
Scale: As Noted

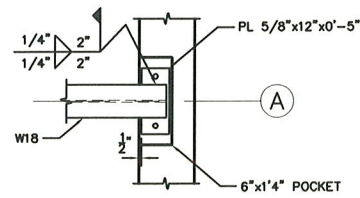
FOUNDATION SECTIONS AND DETAILS

COLUMN SCHEDULE				
COLUMN MARK	SIZE	BOT. OF BASE PL ELEV.	BASE PL TYPE	TOP OF COLUMN ELEV.
A-2	HSS5x5x0.1875	88'-2"	A	96'-4"
A-4 B-3	W8x28	88'-0"	B	97'-9 7/8"
B-0	HSS5x5x0.1875	93'-11"	A	97'-9 7/8"
B-1	HSS5x5x0.1875	89'-0"	A	97'-1 3/4"
B-5	HSS6x6x0.25	93'-4"	A	96'-1"

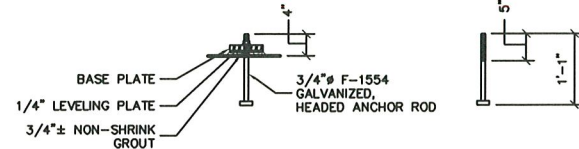


BASE PLATE A
 1"=1'-0"
 THICKNESS = 3/4"
 HOLE DIA. = 1 1/16"
 HOLE EDGE DIST = 1 1/2"

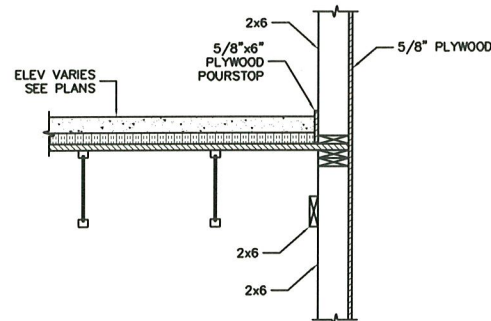
BASE PLATE B
 1"=1'-0"
 THICKNESS = 1"
 HOLE DIA. = 1 1/16"
 HOLE EDGE DIST = 1 1/2" UNLESS NOTED



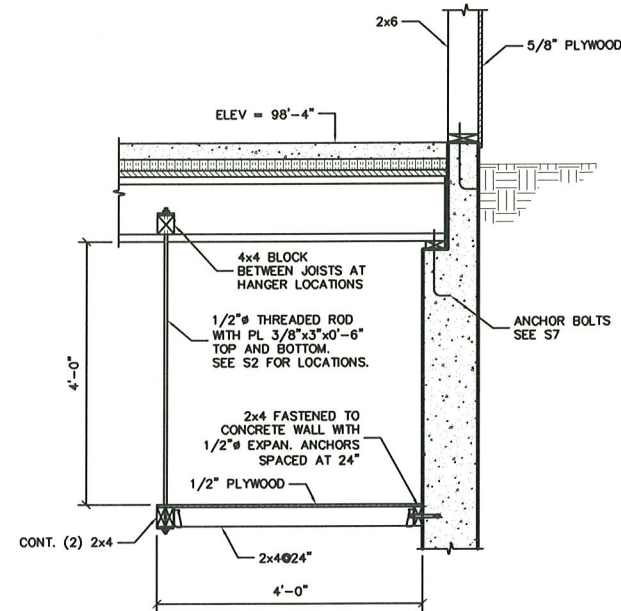
BEARING PLATE DETAIL
 3/4"=1'-0"
 HOLE DIA = 7/8"
 HOLE EDGE DIST = 1 1/2"



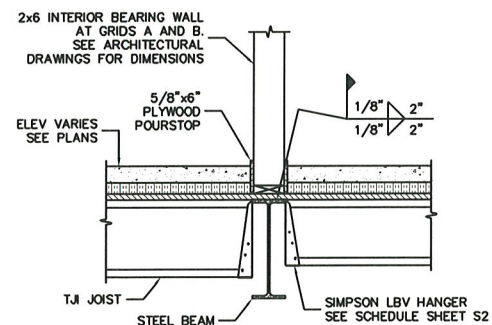
TYPICAL ANCHOR ROD DETAILS
 3/4"=1'-0"



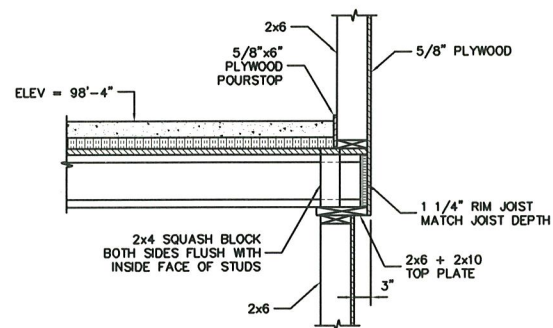
SECTION 1
 3/4"=1'-0"
 TYPICAL FLOOR CONSTRUCTION:
 3" CONCRETE TOPPING SLAB
 2" RIGID INSULATION
 1 1/8" ADVANTECH FLOOR JOISTS (SEE PLANS FOR SIZES)



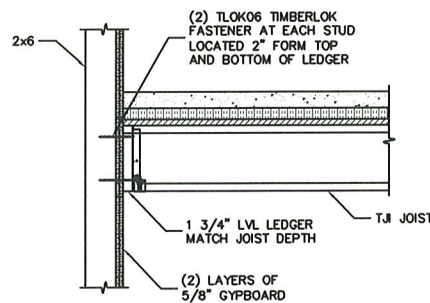
SECTION 2
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



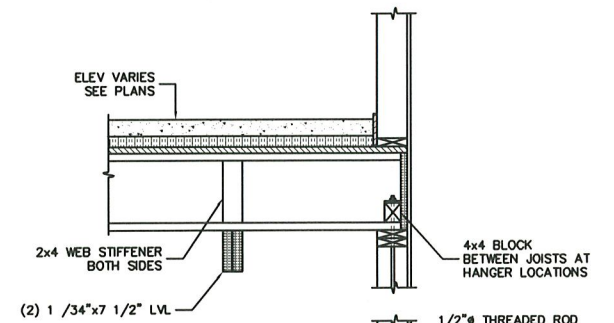
SECTION 3
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.
 OMIT CONCRETE SLAB AT SIM.



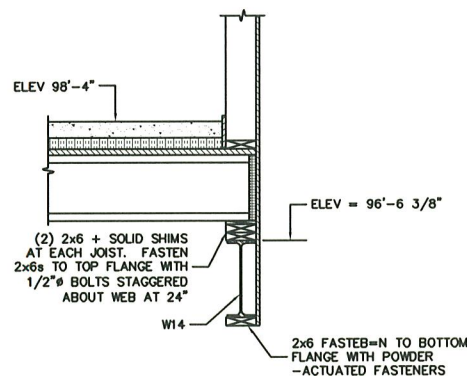
SECTION 4
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



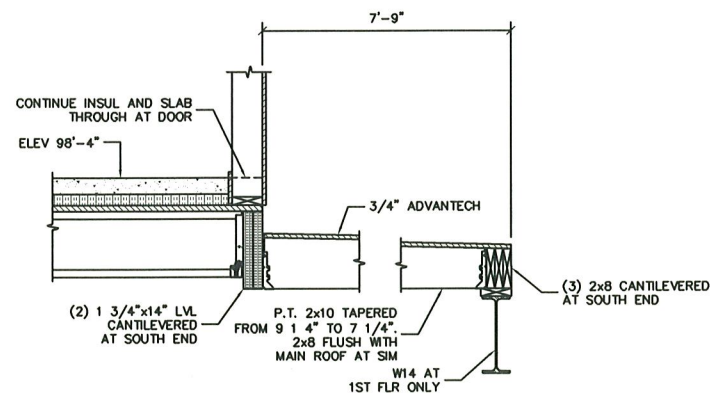
SECTION 5
 3/4"=1'-0"
 TYPICAL AT LEDGERS ALONG STAIR AND ELEVATOR WALLS.
 SEE FRAMING HARDWARE SCHEDULE, SHEET S2 FOR JOIST HANGER SIZE.
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



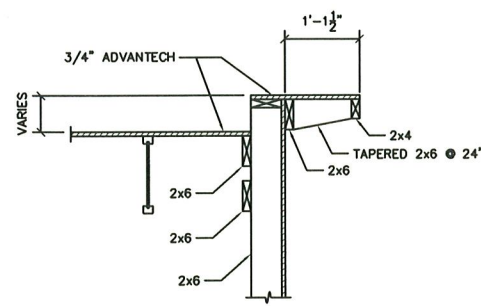
SECTION 6
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



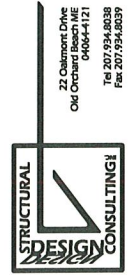
SECTION 7
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



SECTION 8
 3/4"=1'-0"
 SEE SECTION 1 FOR ADDITIONAL INFORMATION.



SECTION 9
 3/4"=1'-0"



OWNER:
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 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

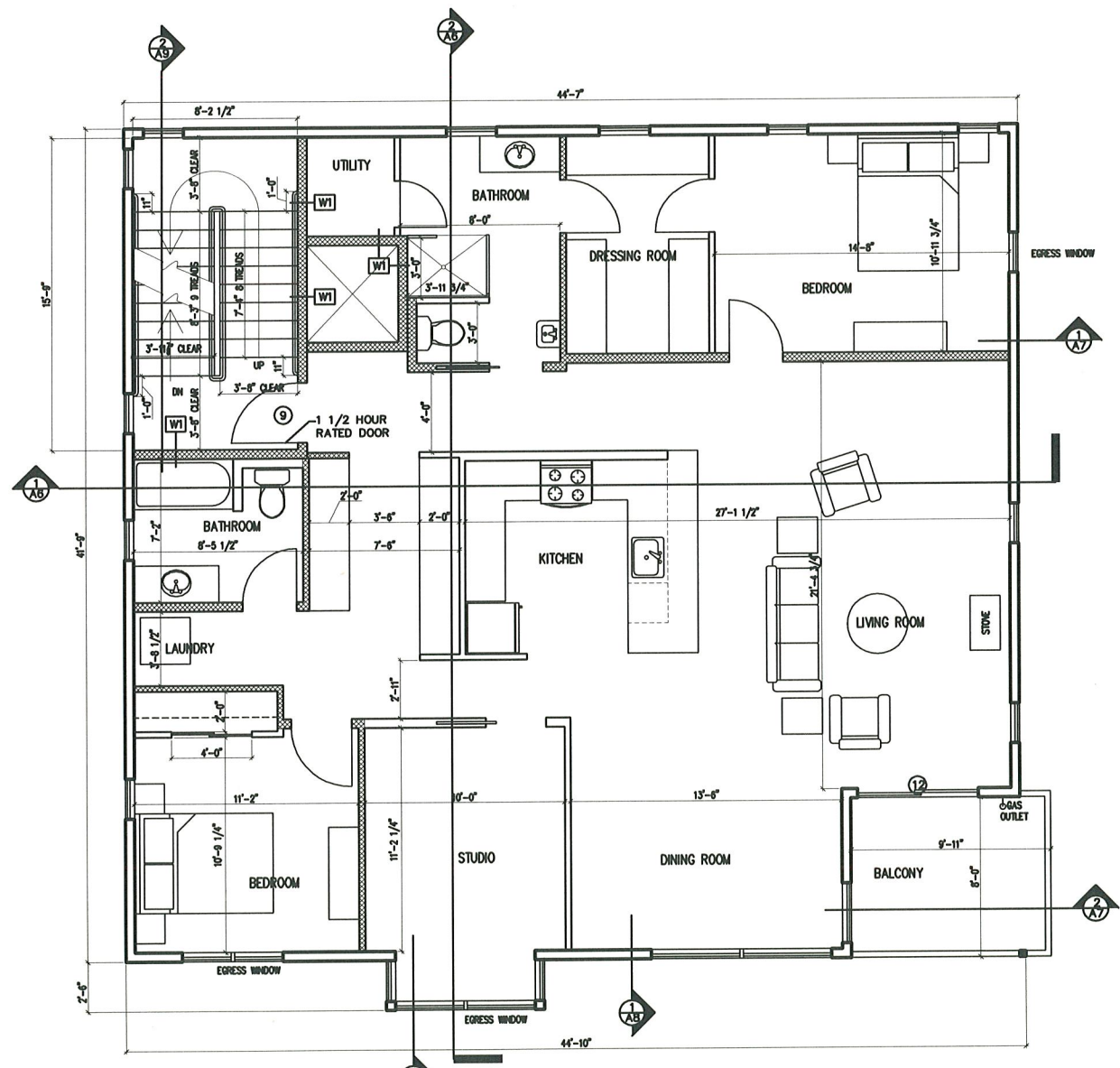
PROJECT:
WATERVILLE STREET CONDOMINIUMS
 29 WATERVILLE STREET
 PORTLAND

Revisions:	

Scale: As Noted

Date: 22 Feb 2010

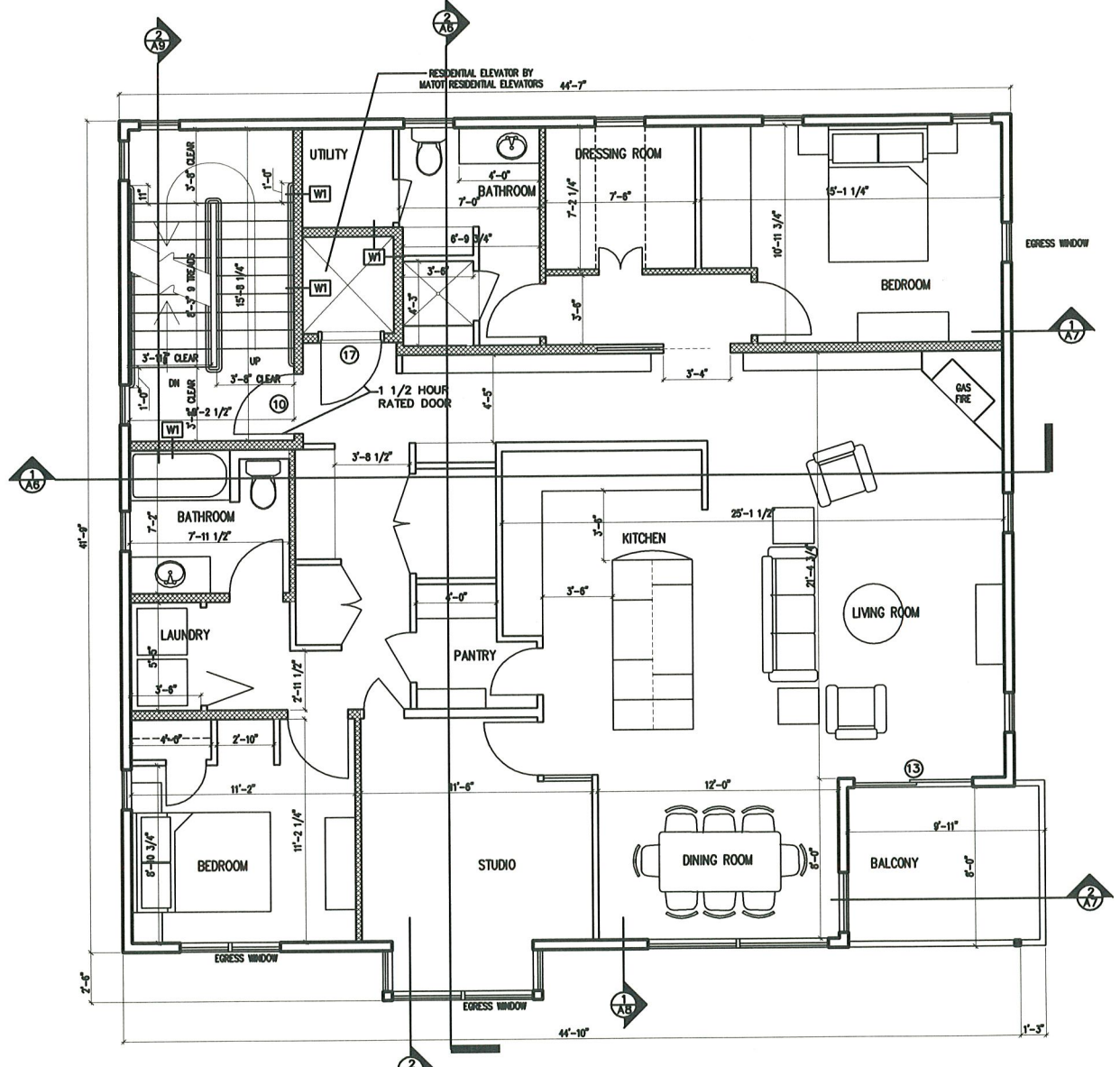
FRAMING DETAILS



1 SECOND FLOOR PLAN

--- INTERIOR WALL INSULATED WITH CELLULOSE

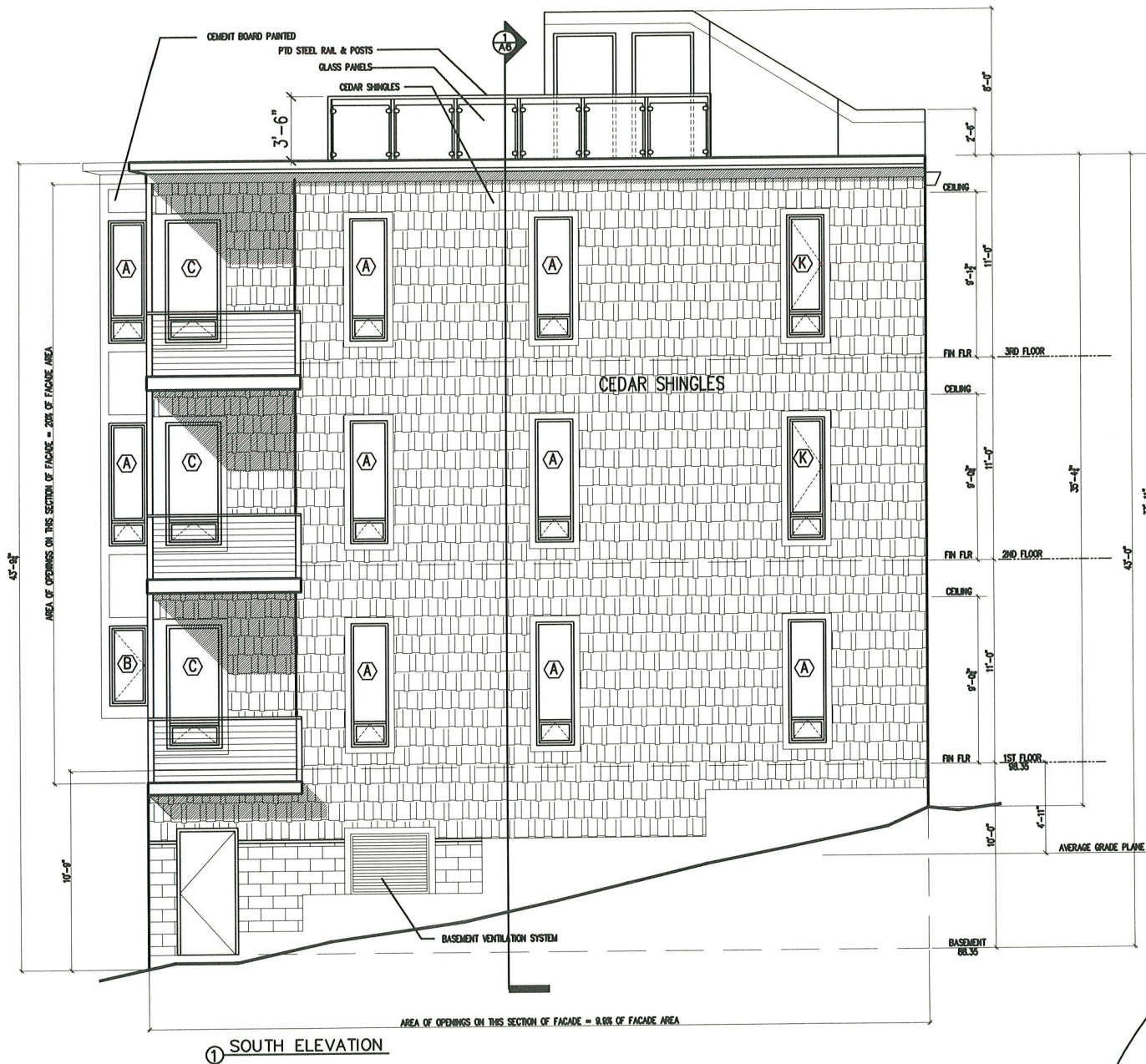
NOTE:
 ALL INTERIOR WALLS ON 1ST, 2ND AND 3RD FLOOR IN CONTRACT FINISHED WITH GYPSUM BOARD. PAINTING NOT IN CONTRACT.
 ROUGH IN FOR ALL PLUMBING. INTERIOR FIXTURES NOT IN CONTRACT.
 5 EXTERIOR HOSE BIBS ARE IN CONTRACT.
 ROUGH IN FOR KITCHEN CABINETS NOT IN CONTRACT.



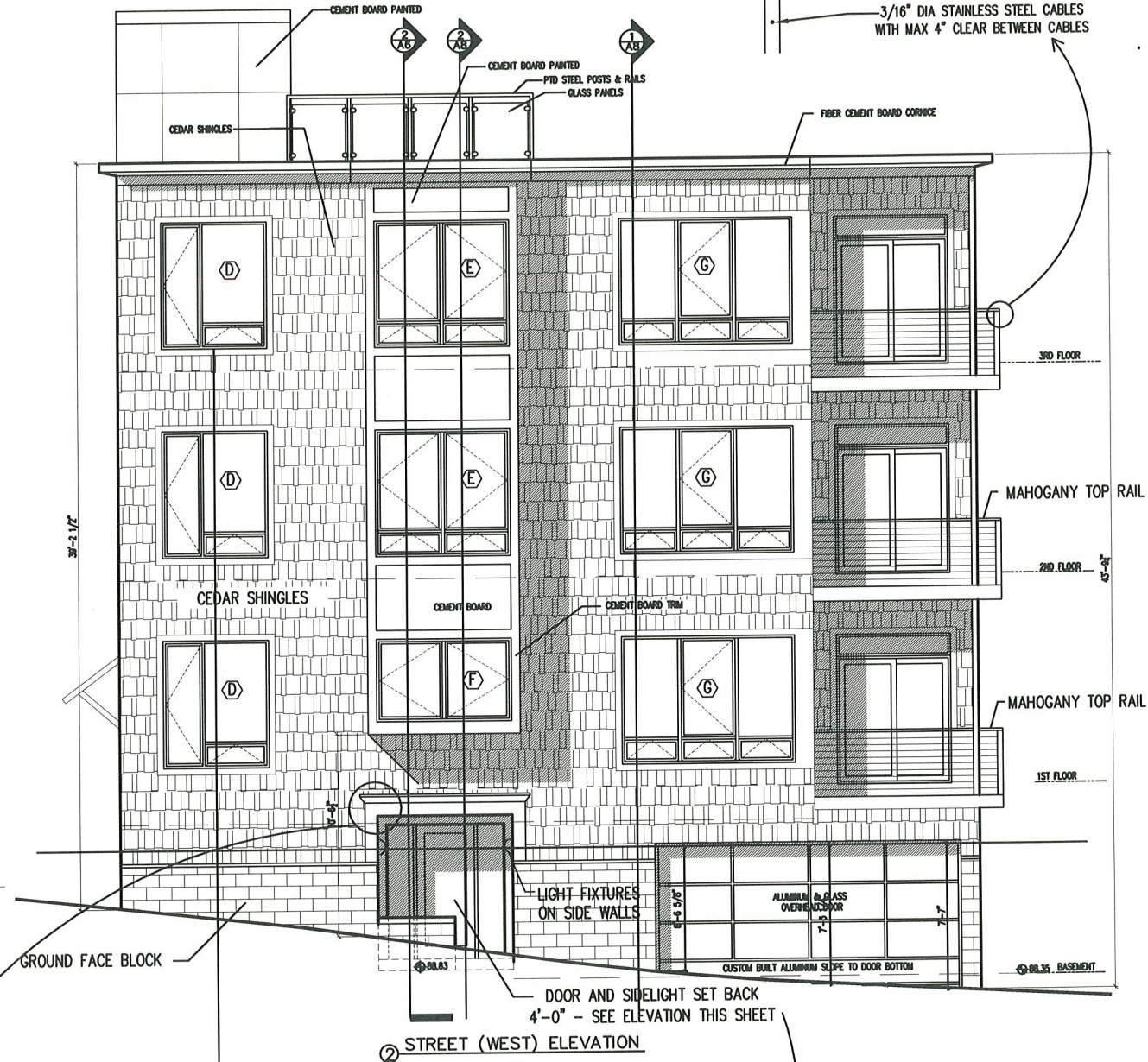
2 THIRD FLOOR PLAN

--- INTERIOR WALL INSULATED WITH CELLULOSE

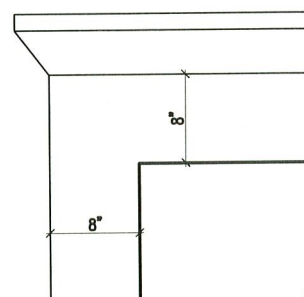
Date: MARCH 3, 2010	Scale: 1/4" = 1'-0"	PROJECT: WATERVILLE STREET CONDOMINIUMS 29 WATERVILLE STREET PORTLAND	OWNER: WATERVILLE TRIAD LLC.
			ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf - Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
FLOOR PLANS			A2



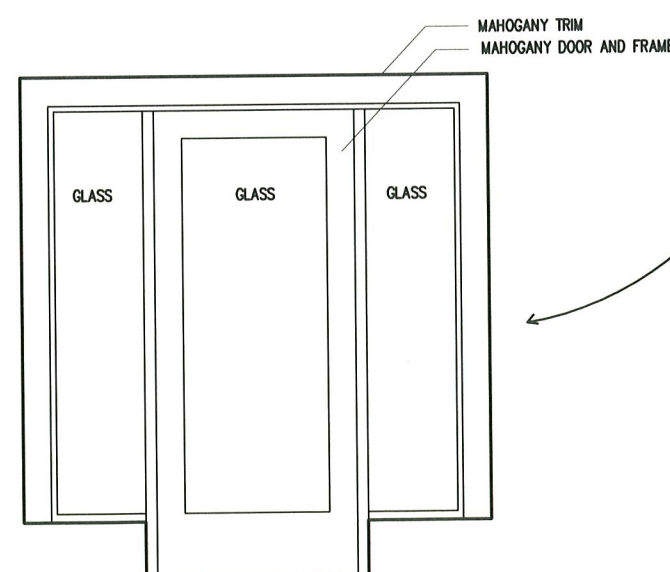
① SOUTH ELEVATION



② STREET (WEST) ELEVATION



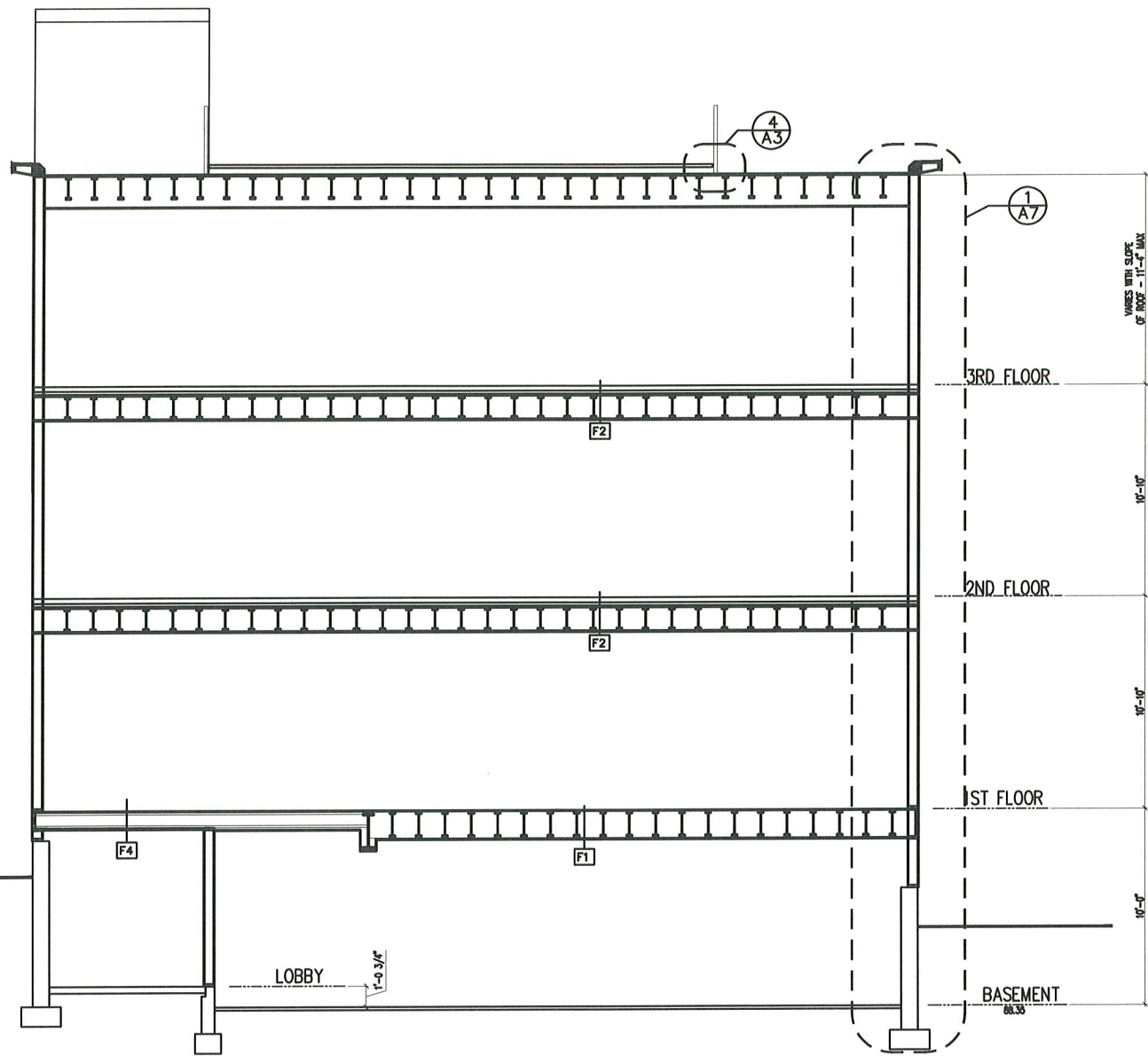
SECTION AT ENTRANCE



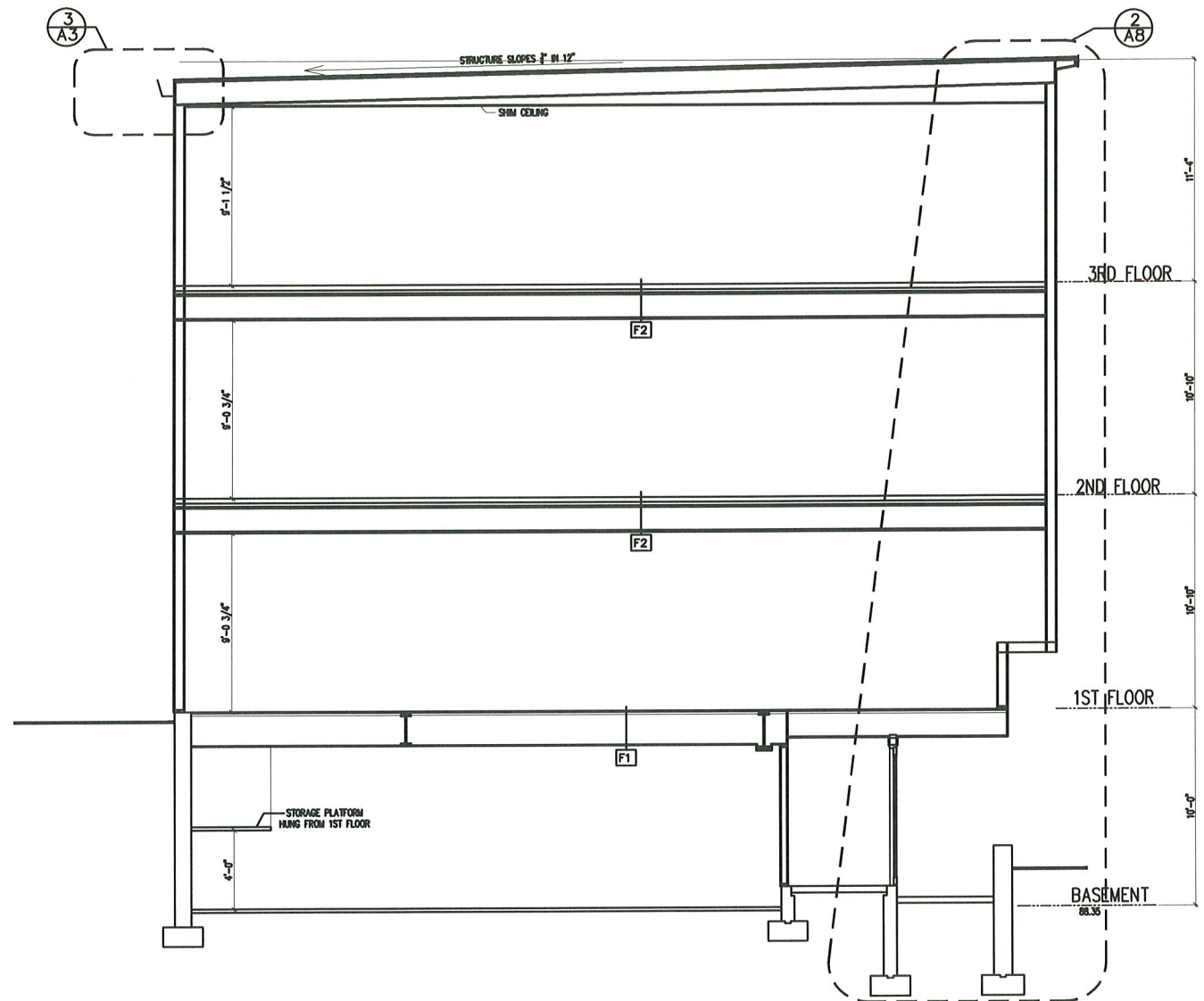
③ ENTRY DOOR ELEVATION

GENERAL NOTE:
CEDAR SHINGLE EASTERN WHITE
BY "MAIBEC" SIDINGS
5" TO WEATHER.

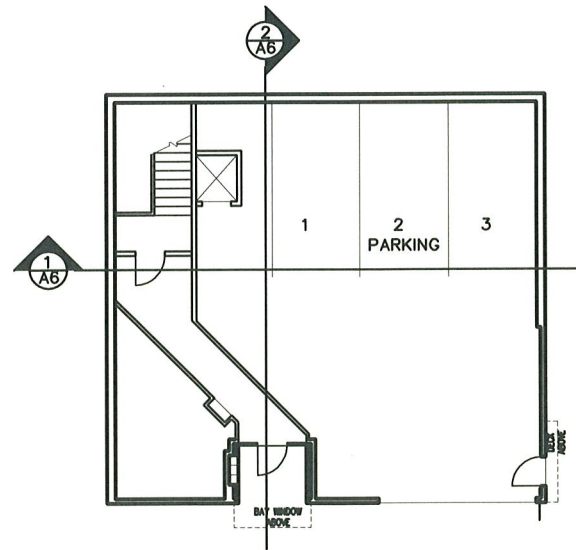
OWNER: WATERVILLE TRIAD LLC.	
PROJECT: WATERVILLE STREET CONDOMINIUMS	
48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax: (207) 772-4056	
29 WATERVILLE STREET PORTLAND	
Revisions: Permit Set 3/4/10	
Date: MARCH 3, 2010	Scale: 1/4" = 1'-0"
ELEVATIONS	
A4	



① TYPICAL SECTION



② TYPICAL SECTION



KEY PLAN

OWNER:
WATERVILLE TRIAD LLC.

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT:
WATERVILLE STREET
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PORTLAND

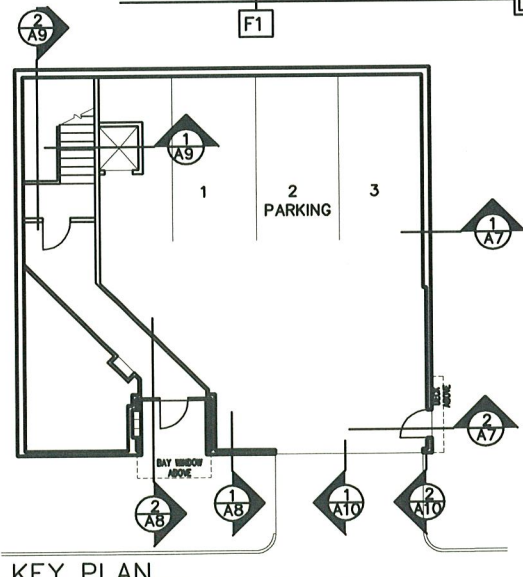
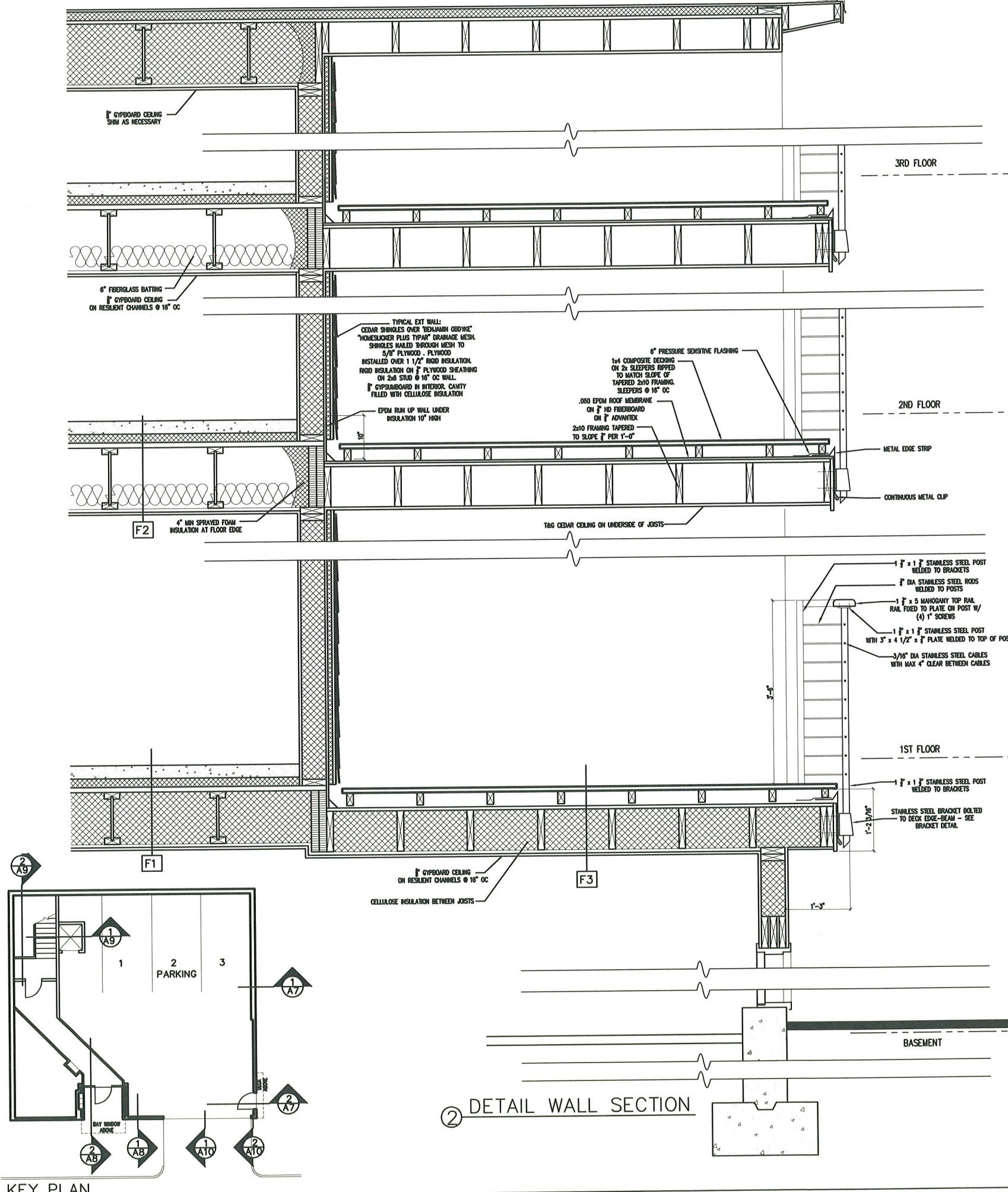
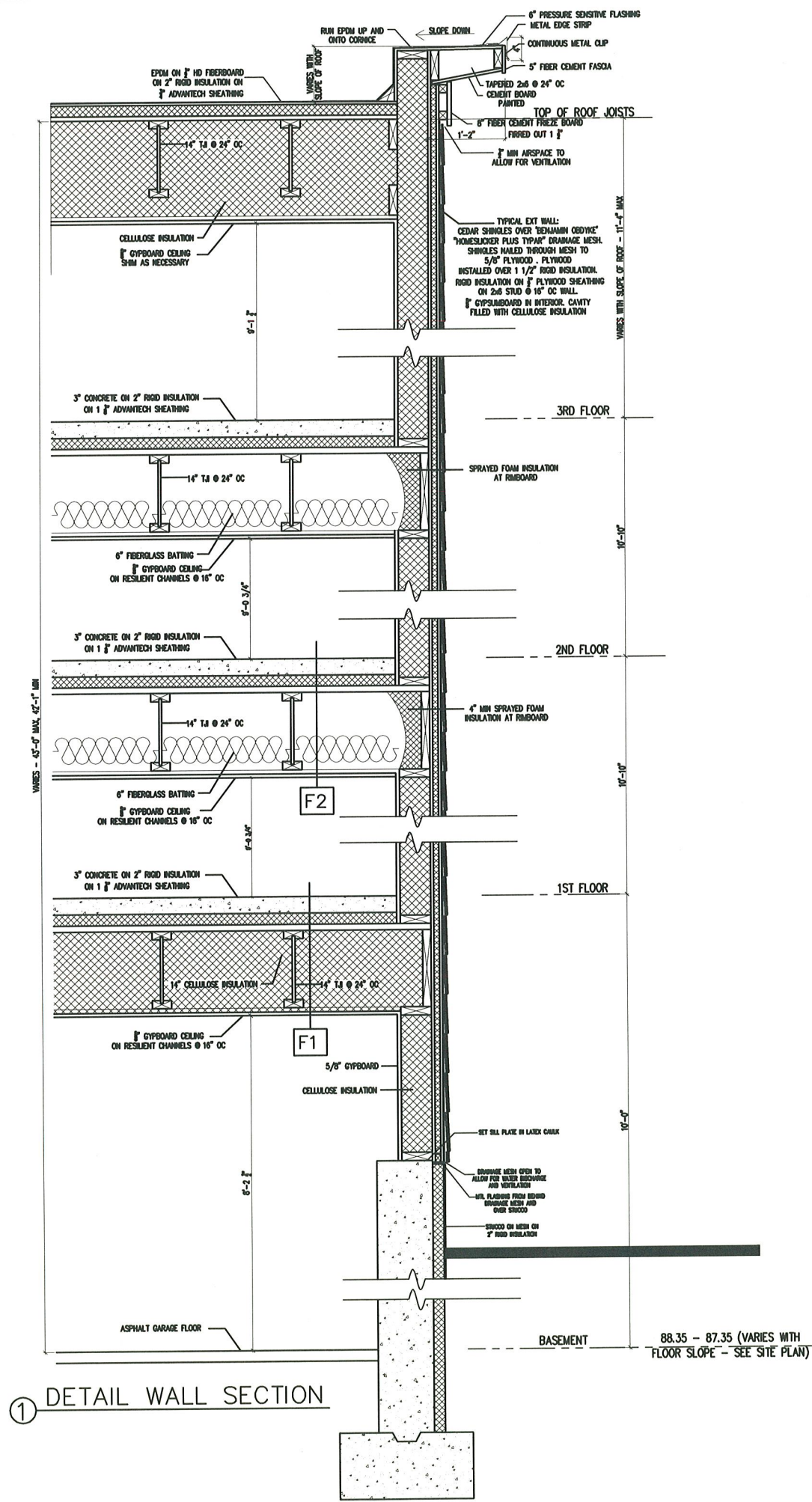
Revisions:
Permit Set 3/4/10

Date:
MARCH 3, 2010

Scale:
1/4" = 1'-0"

SECTIONS

A6



OWNER: WATERVILLE TRIAD LLC.

ARCHETYPE, P.A. ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

PROJECT: WATERVILLE STREET CONDOMINIUMS
29 WATERVILLE STREET PORTLAND

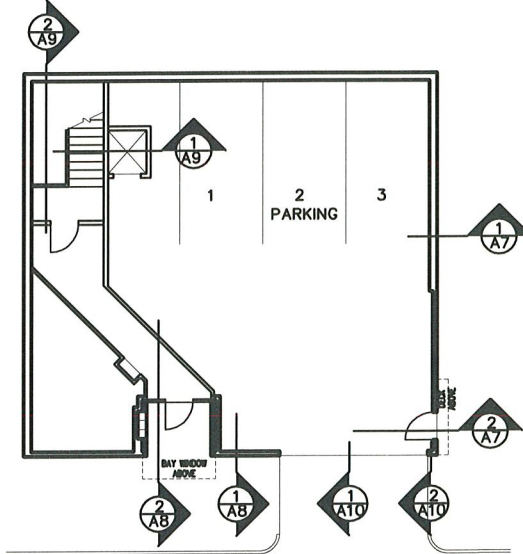
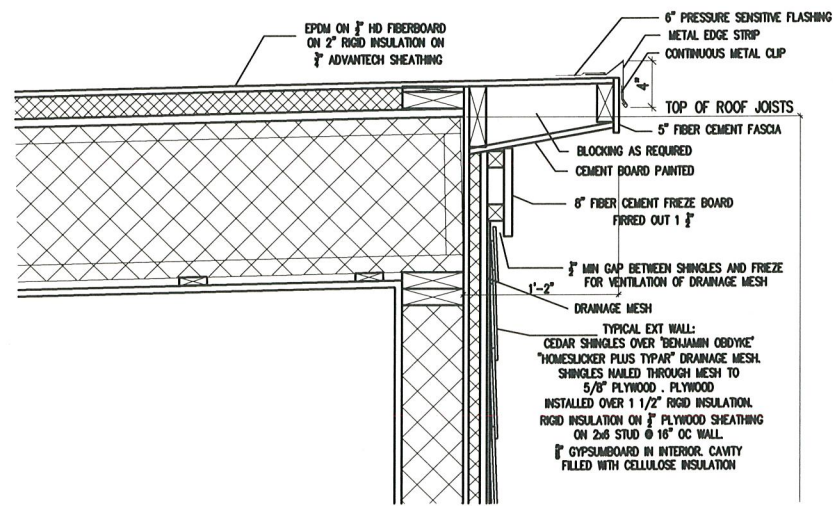
Revisions: Permit Set 3/4/10

Date: MARCH 3, 2010

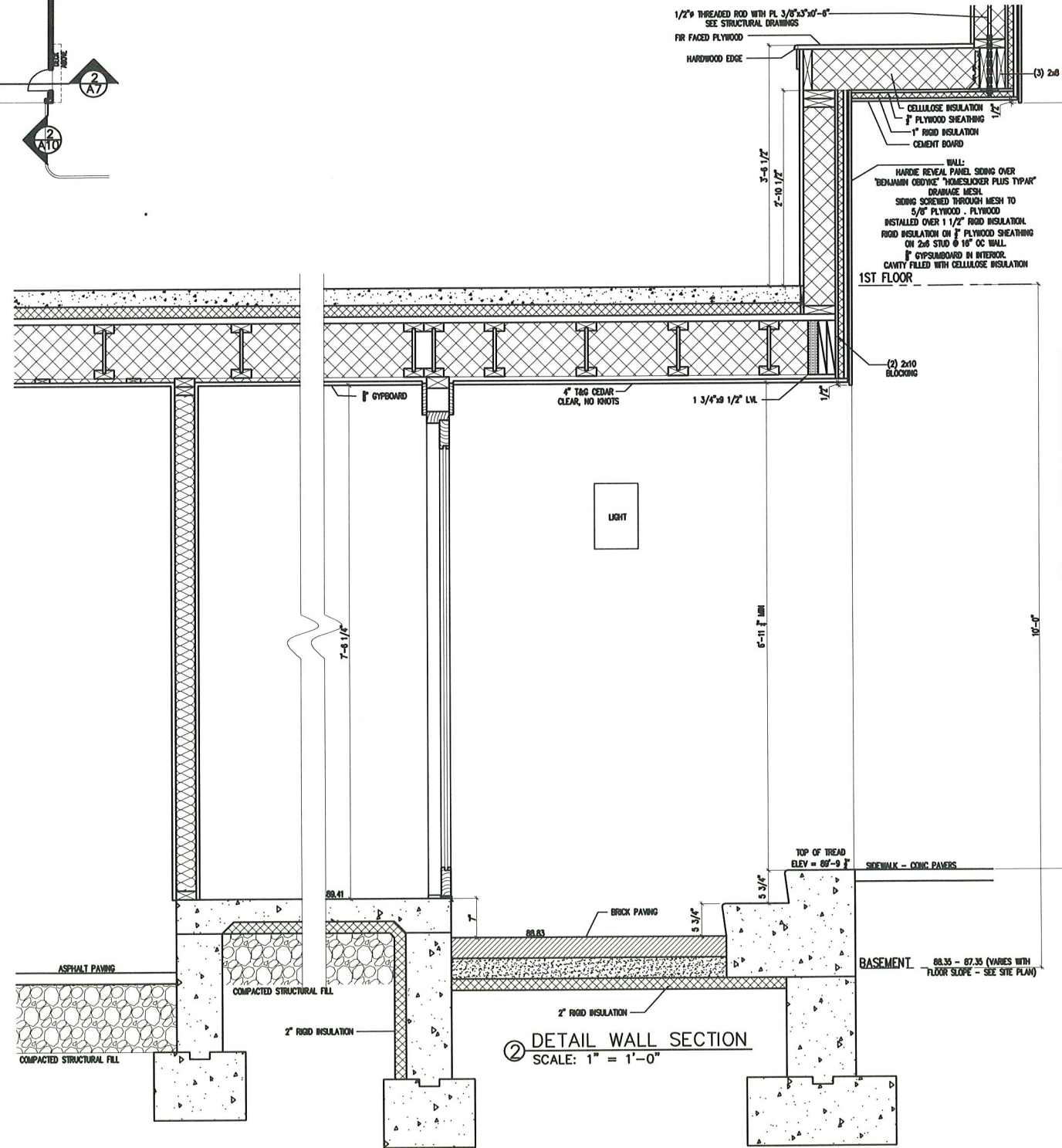
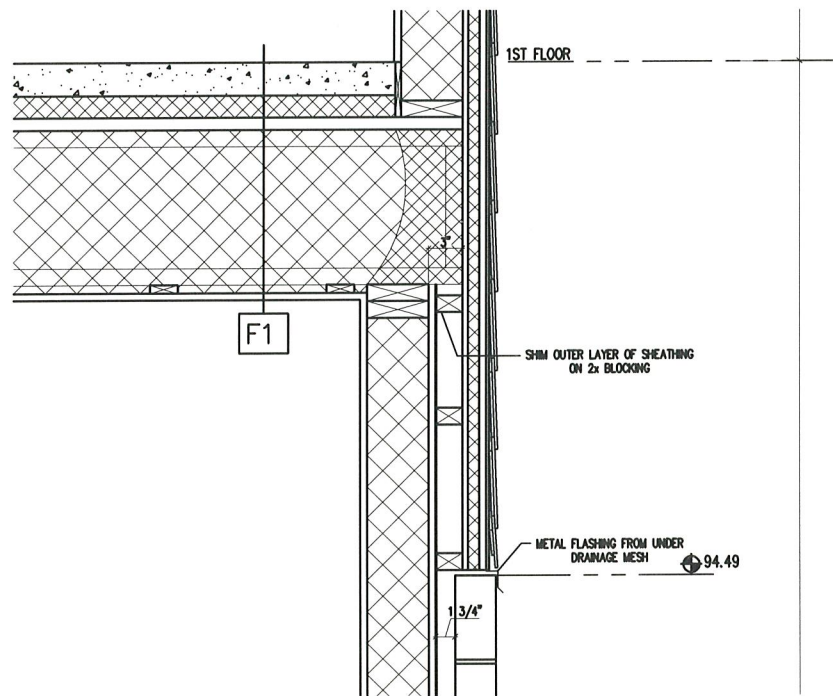
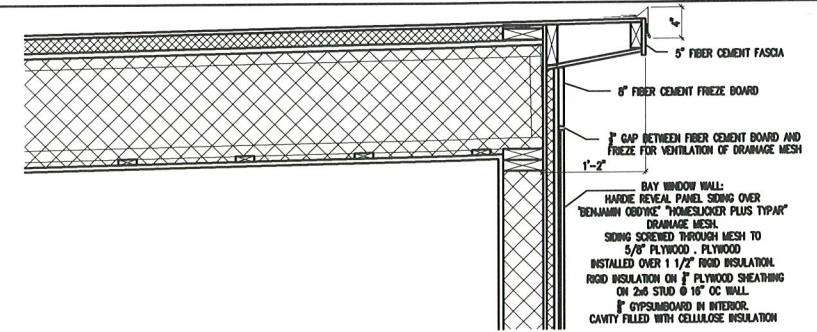
Scale: 1" = 1'-0"

DETAIL SECTIONS

A7



KEY PLAN



2 DETAIL WALL SECTION
SCALE: 1" = 1'-0"

1 DETAIL WALL SECTION
SCALE: 1 1/2" = 1'-0"

OWNER:

WATERVILLE TRIAD LLC.

ARCHETYPE, P.A.
ARCHITECTS
48 Union Wharf Portland, Maine 04101
(207) 772-6022 Fax (207) 772-4056

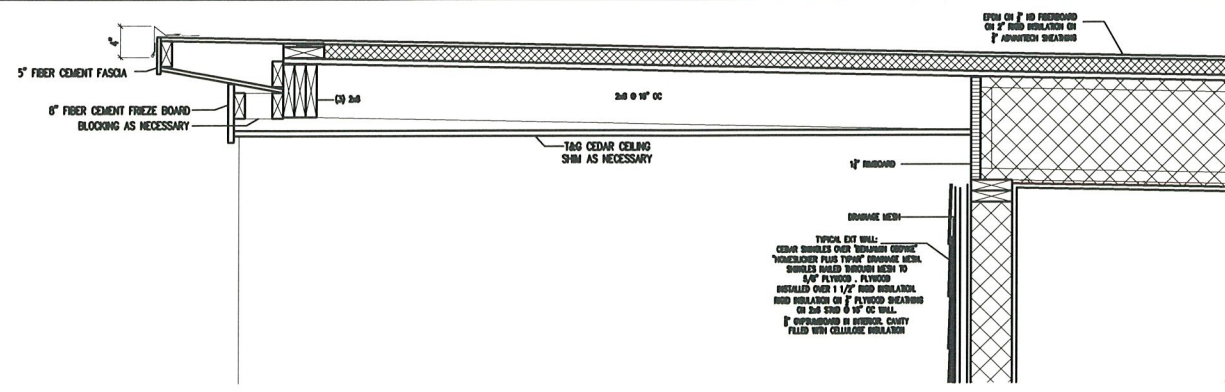
PROJECT:
WATERVILLE STREET
CONDOMINIUMS
29 WATERVILLE STREET
PORTLAND

Revisions:
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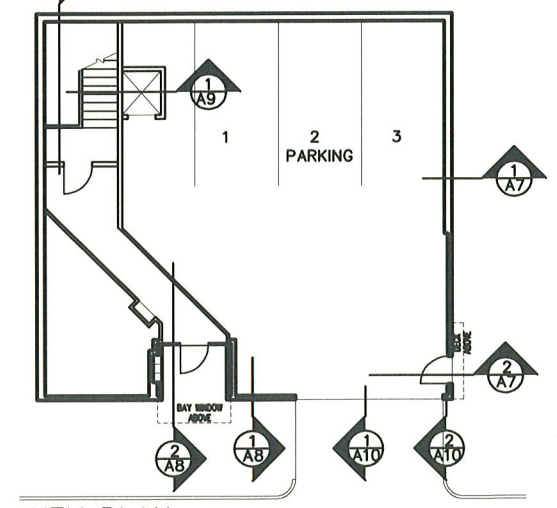
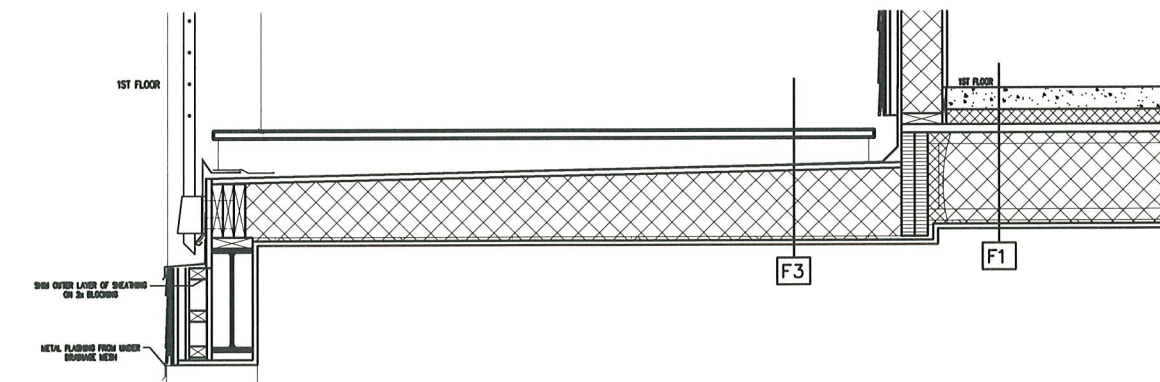
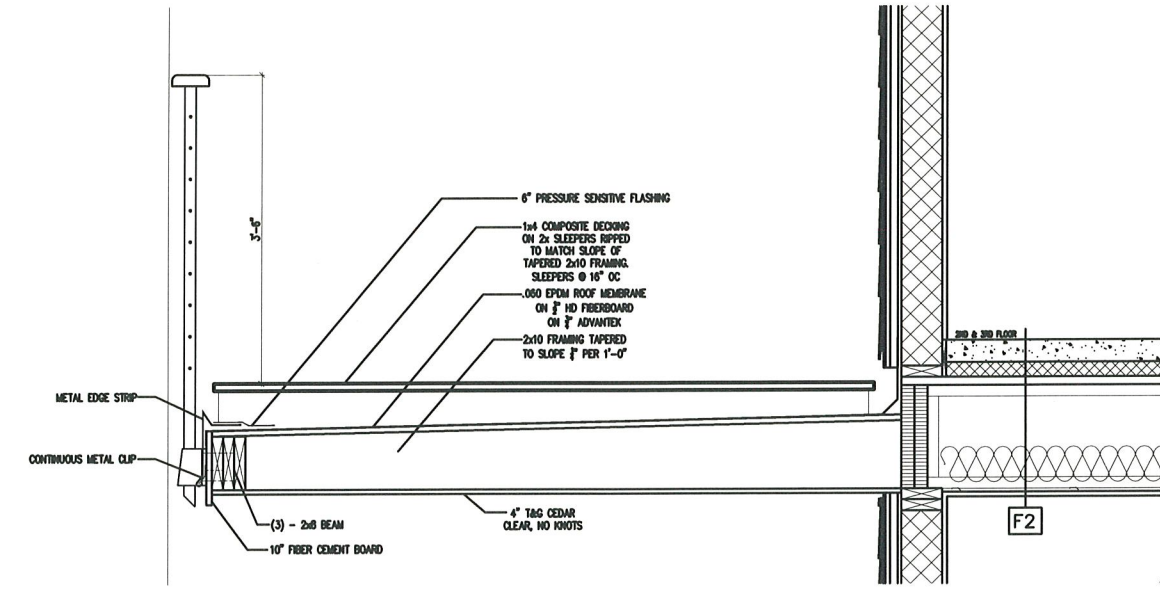
Date: MARCH 3, 2010
Scale: AS NOTED

DETAIL SECTIONS

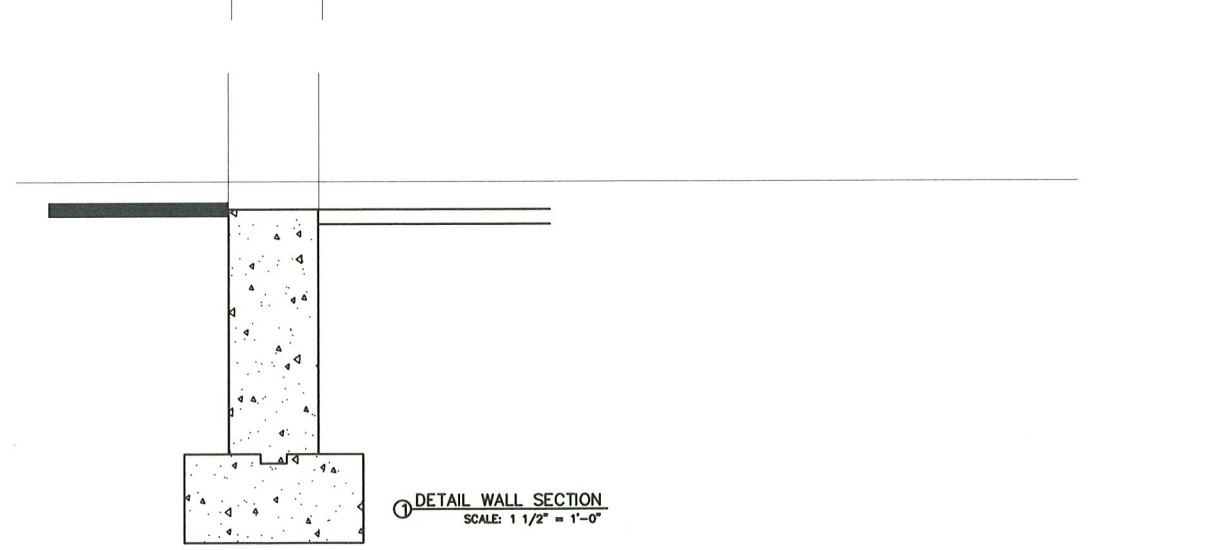
A8



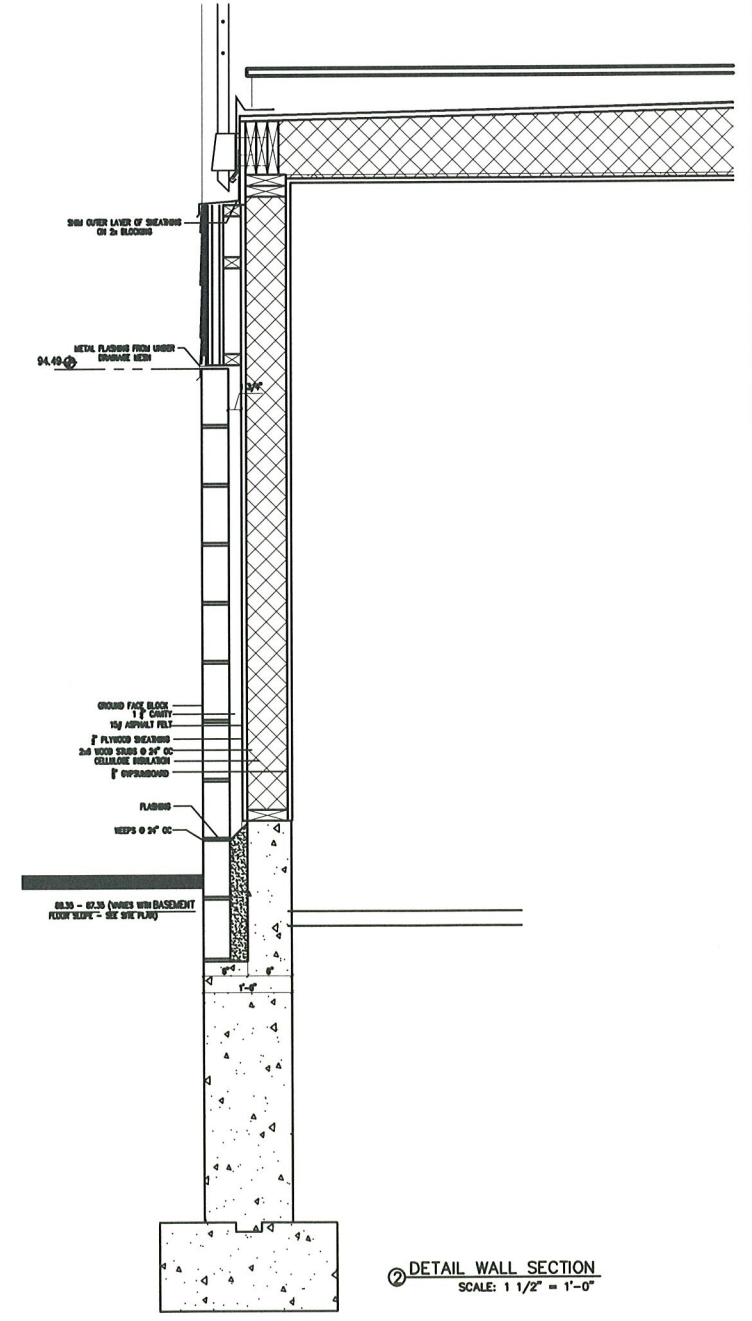
TYPICAL EXT WALL:
 CEDAR SHIMMERS OVER "WARRANTY SERVICE"
 "WATERBLOCKER PLUS TYPAR" DRAINAGE MAT.
 SHOULD BE BUILT THROUGH MAT TO
 1/4" FLYWOOD - FLYWOOD
 INSTALLED OVER 1 1/2" RIGID INSULATION
 AND INSULATION ON 1/2" FLYWOOD SHEATHING
 ON 2x6 STUD @ 16" OC WALL.
 IF OVERHANGED IN BRICK, CAVITY
 FILLED WITH CELLULOSE INSULATION.



KEY PLAN



1 DETAIL WALL SECTION
 SCALE: 1 1/2" = 1'-0"



2 DETAIL WALL SECTION
 SCALE: 1 1/2" = 1'-0"

OWNER: WATERVILLE TRIAD LLC.

ARCHETYPE, P.A. ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

PROJECT: WATERVILLE STREET CONDOMINIUMS
 29 WATERVILLE STREET PORTLAND

Revisions: Permit Set 3/4/10

Date: MARCH 3, 2010

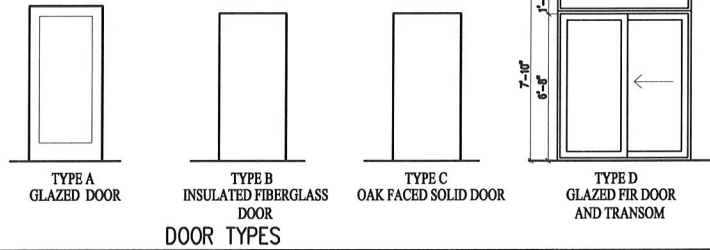
Scale: 1" = 1'-0"

DETAIL SECTIONS

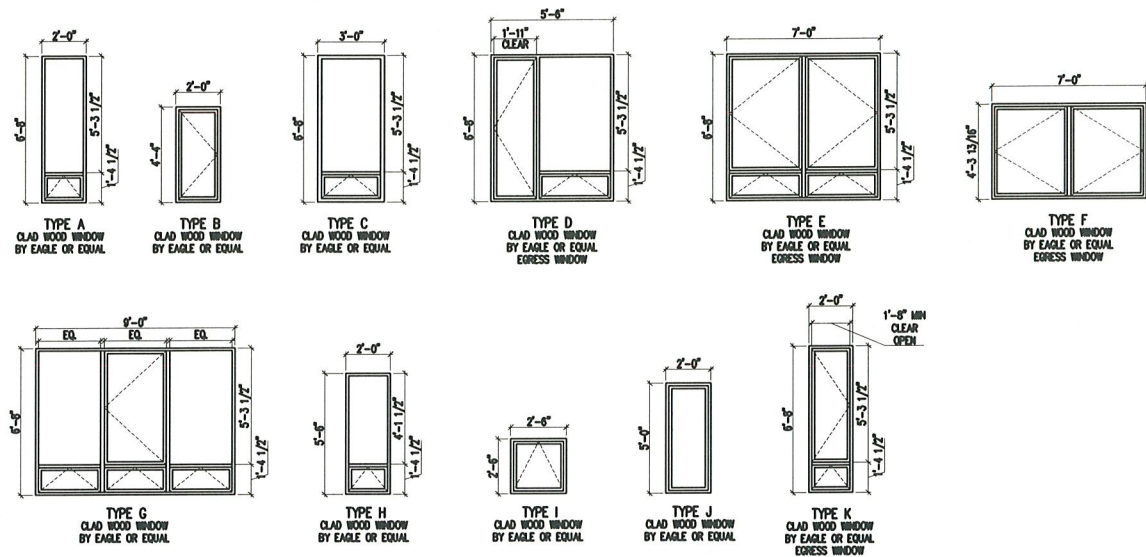
A10

DOOR SCHEDULE

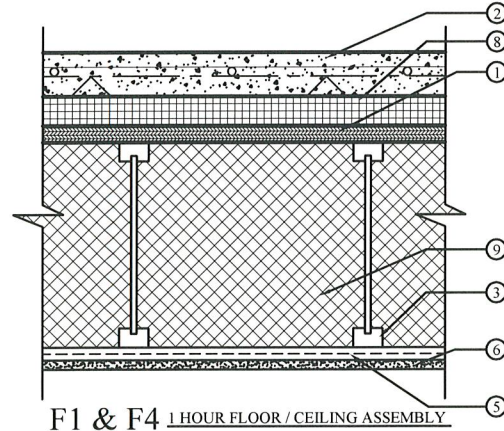
DOOR SCHEDULE							
DOOR #	LOCATION	SIZE	DOOR		FRAME	LABEL	REMARKS
			TYPE	MATERIAL			
1	BUILDING ENTRY	3'-0" X 7'-0" X 1 3/4"	A	HANDICAP AND GLASS DOOR	ALUM	DAK	DOOR ON CLOSER
2	PARKING ENTRANCE	3'-0" X 6'-8" X 1 3/4"	B	INSULATED FIBERGLASS DOOR	ALUM	METAL	
3	STORAGE	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED WOOD DOOR	ALUM	METAL	
4	ENT LOBBY TO PARKING	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED WOOD DOOR	ALUM	METAL	
5	ENT LOBBY TO STAIRS	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	METAL	1 1/2 HR	DOOR ON CLOSER
6	STAIR EXIT DOOR	3'-0" X 6'-8" X 1 3/4"	A	GLAZED METAL DOOR	METAL		
7	DOOR TO REAR GARDEN	3'-0" X 6'-8" X 1 3/4"	A	GLAZED METAL DOOR	METAL		BI-FOLD
8	1ST FLR ENTRANCE DOOR	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	ALUM	HTL	1 1/2 HR
9	END FLR ENTRANCE DOOR	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	ALUM	HTL	1 1/2 HR
10	3RD FLR ENTRANCE DOOR	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	ALUM	HTL	1 1/2 HR
11	1ST FLR DOOR TO DECK	6'-0" X 6'-8" X 1 3/4"	D	FIR AND GLASS SLIDING DOOR	WOOD		BY 'EAGLE' DR EQL
12	END FLR DOOR TO DECK	6'-0" X 6'-8" X 1 3/4"	D	FIR AND GLASS SLIDING DOOR	WOOD		BY 'EAGLE' DR EQL
13	3RD FLR DOOR TO DECK	6'-0" X 6'-8" X 1 3/4"	D	FIR AND GLASS SLIDING DOOR	WOOD		BY 'EAGLE' DR EQL
14	STAIR TO ROOF	3'-0" X 6'-8" X 1 3/4"	B	INSULATED FIBERGLASS DOOR	METAL	1 1/2 HR	
15	ROOF STORAGE	3'-0" X 6'-8" X 1 3/4"	B	FIBERGLASS DOOR	METAL		
16	ELEVATOR (BASEMENT)	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	METAL	1 1/2 HR	
17	ELEVATOR (3RD FLOOR)	3'-0" X 6'-8" X 1 3/4"	C	DAK FACED RATED DOOR	METAL	1 1/2 HR	



WINDOW SCHEDULE

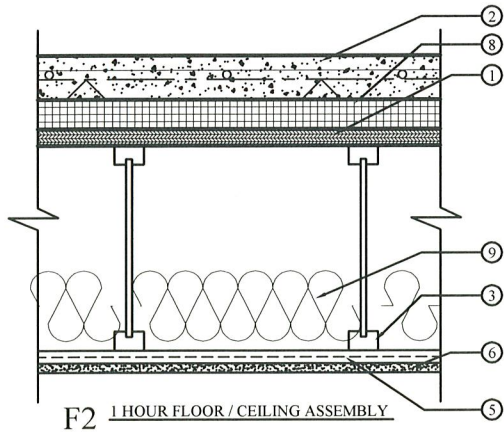


ROOF & FLOOR/CEILING TYPES



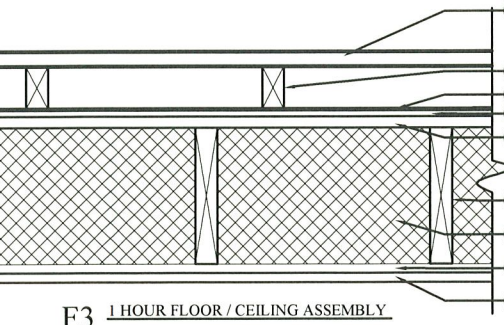
F1 & F4 1 HOUR FLOOR / CEILING ASSEMBLY
 DESIGN NUMBER U.L. L516
 STC RATING - 57 (Sound Test: Geiger and Home USDA-11XST 1971)
 Catalog of STC and IIC Ratings for Wall and Floor/Ceiling Assemblies - Section No. 2.1.4.2.2.6
 California Office of Noise Control - Department of Health Services

- Subflooring - 1/2" Advantek sheathing. Face grain of plywood or strength axis of panel to be perpendicular to joists with joints staggered.
- Finish Flooring - Floor Topping Mixture - 3" concrete topping with radiant heat tubing on welded wire fabric. (Assembly states: Min 3/4 in. thickness of floor topping mixture having a min compressive strength of 1100 psi. Mixture shall consist of 6.8 gal of water to 80 lbs of floor topping mixture to 1.9 cu ft of sand).
- Wood Joists - 14" (F1) or 9" (F4) wood I-joists (SEE STRUCTURALS FOR SERIES AND SPACING). Fireblocked.
- Cross Bridging - (Not Shown) - Min 1 by 3 in. or min 2 by 10 in. solid blocking.
- Resilient Channels - Resilient channels, formed from No. 25 MSG galv steel spaced 24 in. OC perpendicular to joists. Channels overlapped 1/2 in. at ends and secured to each joist with one 1-1/4 in. long No. 7 Type S bugle head screw. Additional resilient channels positioned so as to coincide with end joints of gypsum board (Item 6). Additional channels shall extend min 3 in. beyond each side edge of board.
- Gypsum Board - Nom 5/8 in. thick, 48 in. wide gypsum board, installed with long dimension perpendicular to resilient channels and side edges located between joists. Gypsum board secured with 1 in. long No. 7 Type S bugle head screws spaced 12 in. OC. End joints of gypsum board similarly fastened to additional resilient channels positioned at end joint locations. Screws located 3/4 and 5/8 in. from side and end joints, respectively.
- Finishing System - (Not Shown) - Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.
- 2" Rigid insulation (ADDED)
- Cellulose Insulation (ADDED)



F2 1 HOUR FLOOR / CEILING ASSEMBLY
 DESIGN NUMBER U.L. L516
 STC RATING - 57 (Sound Test: Geiger and Home USDA-11XST 1971)
 Catalog of STC and IIC Ratings for Wall and Floor/Ceiling Assemblies - Section No. 2.1.4.2.2.6
 California Office of Noise Control - Department of Health Services

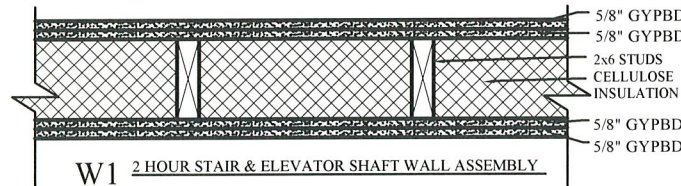
- Subflooring - 1/2" Advantek sheathing. Face grain of plywood or strength axis of panel to be perpendicular to joists with joints staggered.
- Finish Flooring - Floor Topping Mixture - 3" concrete topping with radiant heat tubing on welded wire fabric. (Assembly states: Min 3/4 in. thickness of floor topping mixture having a min compressive strength of 1100 psi. Mixture shall consist of 6.8 gal of water to 80 lbs of floor topping mixture to 1.9 cu ft of sand).
- Wood Joists - 14" wood I-joists (SEE STRUCTURALS FOR SERIES AND SPACING). Fireblocked.
- Cross Bridging - (Not Shown) - Min 1 by 3 in. or min 2 by 10 in. solid blocking.
- Resilient Channels - Resilient channels, formed from No. 25 MSG galv steel spaced 24 in. OC perpendicular to joists. Channels overlapped 1/2 in. at ends and secured to each joist with one 1-1/4 in. long No. 7 Type S bugle head screw. Additional resilient channels positioned so as to coincide with end joints of gypsum board (Item 6). Additional channels shall extend min 3 in. beyond each side edge of board.
- Gypsum Board - Nom 5/8 in. thick, 48 in. wide gypsum board, installed with long dimension perpendicular to resilient channels and side edges located between joists. Gypsum board secured with 1 in. long No. 7 Type S bugle head screws spaced 12 in. OC. End joints of gypsum board similarly fastened to additional resilient channels positioned at end joint locations. Screws located 3/4 and 5/8 in. from side and end joints, respectively.
- Finishing System - (Not Shown) - Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints. As an alternate, nom 3/32 in. thick veneer plaster may be applied to the entire surface of gypsum board.
- 2" Rigid insulation (ADDED)
- 6" Fiberglass Batting (ADDED)



F3 1 HOUR FLOOR / CEILING ASSEMBLY
 DESIGN NUMBER U.L. L507

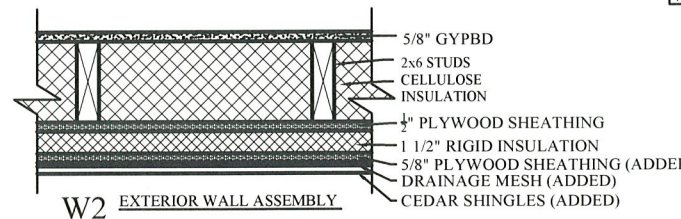
- Subflooring - Min 5/8 in. thick, 4 ft wide structural exterior underlayment-grade Douglas Fir plywood. Sheets laid perpendicular to joists, with ends staggered and centered over joists.
- Wood Joists - Min 2 by 10, spaced 16 in. OC and effectively fireblocked in accordance with local codes.
- Blocking (Not Shown) - Min 2 by 4 in. installed beneath joints in subflooring.
- Cross Bridging (Not Shown) - Min 1 by 3 in. or min 2 by 10 solid blocking.
- Cellulose Insulation
- Gypsum Board - Nom 1/2 in. thick, 48 in. wide gypsum board, installed with long dimension perpendicular to joists. Gypsum board secured with 1-7/8 in. long, 6d cement coated nails spaced 6 in. OC. Nails spaced 3/4 and 1/2 in. from side and end joints, respectively.
- Joint System - (Not Shown) - Vinyl, dry or premixed joint compound, applied in two coats to joints and screw-heads. Nom 2 in. wide paper tape embedded in first layer of compound over all joints.
- Resilient Channels (ADDED)
- EPDM (ADDED)
- 1/2" HD Fiberboard (ADDED)
- 2x6 Sleepers (ADDED)
- Composite Decking (ADDED)

RATED WALL TYPES



W1 2 HOUR STAIR & ELEVATOR SHAFT WALL ASSEMBLY
 DESIGN NUMBER G.A. WP 4230

- GA FILE NO. WP 4230 GENERIC 2 HOUR FIRE
 Thickness 8"
 Approx. Weight 13 pcf
 Fire Test: ITS D9-06170.3, L260
 GYPSUM WALLBOARDS, WOOD STUDS,
 MINERAL FIBER INSULATION
 Base layer 1/2" Type N gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 1" Type S or W drywall screws 24" o.c. Face layer 1/2" Type N gypsum wallboard applied at right angles to each side with 2 1/2" Type S drywall screws 24" o.c. 3/16" mineral fiber insulation, nominal 3 pcf, friction fit in stud space
 Joints staggered 24" each layer and side
 Tested at 5,500 lbs per stud or 100 percent of design load (LOAD-BEARING)



W2 1 HOUR EXTERIOR WALL ASSEMBLY
 UL DESIGN NUMBER U326

- Design No. U326
 (Exposed to Fire on Interior Face Only)
 Bearing Wall Rating - 1 HR
 Finish Rating - 25 Min.
 1. Wood Studs - Nom 2 by 4 in., spaced 16 in. OC.
 2. Gypsum Board - 5/8 in. thick, 4 ft wide, applied vertically. Attached to studs with 1-3/4 in. long steel drywall nails with 0.122 in. diameter shank and 0.29 in. diameter head, spaced 7 in. OC. Vertical joints located over studs. Joints covered with paper tape and joint compound. Nail heads covered with joint compound.
 3. Plywood Sheathing - 1/2 in. thick, 4 ft wide, wood structural panels.
 Applied vertically with vertical joints located over studs and staggered 16 in. min. from wallboard joints. Horizontal joints are backed with nom 2 by 4 in. wood backing. Attached to the studs with 2 in. long galvanized roofing nails with a 0.122 in. diameter shank and a 3/8 in. diameter head, spaced 6 in. OC at the perimeter of the sheet and 12 in. OC in the field.
 4. Foamed Plastic - Min 1 in. thick rigid poly styrene insulation, supplied in 4 by 8 ft sheets. Applied vertically with vertical joints located over studs. Attached to studs with 2 in. long galvanized roofing nails with a 0.122 in. diameter shank and a 3/8 in. diameter head, spaced 12 in. OC.
 5. Insulation - 3-1/2 in. thick kraft paper faced glass fiber insulation. Supplied in rolls 15 in. wide. Density to be nom 0.75 lb/ft³. Placed in stud cavities and secured to studs with steel staples spaced nom 12 in. OC.
 5A. Fiber, Spray[®] - As an alternate to Insulation (Item 5) - Spray applied cellulose material.
 The fiber is applied with water to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 3.0 lb/ft³. Alternate application method: The fiber is applied with U.S. Greenfiber LLC Type AD100 hot melt adhesive at a nominal ratio of one part adhesive to 6.6 parts fiber to completely fill the enclosed cavity in accordance with the application instructions supplied with the product. Nominal dry density of 2.5 lb/ft³.
 6. Plywood sheathing (ADDED)
 7. Benjamin Obdyke Drainage Mesh (ADDED)
 8. Cedar Shingles (ADDED)

OWNER:
 WATERVILLE TRIAD LLC.

ARCHETYPE, P.A.
 ARCHITECTS
 48 Union Wharf Portland, Maine 04101
 (207) 772-6022 Fax (207) 772-4056

PROJECT:
 WATERVILLE STREET
 CONDOMINIUMS
 29 WATERVILLE STREET
 PORTLAND

Revisions:
 Permit Set 3/4/10

Date:
 MARCH 3, 2010
 Scale:
 1/4" = 1'-0"

SCHEDULES
 AND FLOORTYPES

A11