

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 030456

This is to certify that Sheehan M Elizabeth/Harper developm
has permission to Rebuild Existing Back Porch and Renovations to 3rd Floor Living Space
AT 16 St Lawrence St 016 1008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. W.M.S.
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 03-0456 | Issue Date: | CBL: 016 J008001 |
|-----------------------|-------------|---------------------|

| | | | |
|--|---|--|----------------------|
| Location of Construction: 16 St Lawrence St | Owner Name: Sheehan M Elizabeth | Owner Address: 14 St Lawrence St | Phone: 772-5356 |
| Business Name: | Contractor Name: Harpers Development | Contractor Address: Winthrop | Phone: 2073778977 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Multi Family | Zone: R6 |

| | | | | |
|-----------------------------------|---------------------------------------|-------------------------|------------------------------|--------------------|
| Past Use: Multi Family- 3 Unit | Proposed Use: Multi Family- 3 Unit | Permit Fee: \$583.00 | Cost of Work: \$80,000.00 | CEO District: 1 |
|-----------------------------------|---------------------------------------|-------------------------|------------------------------|--------------------|

| | |
|--|--|
| FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R2 Type: 506 |
| | |

Proposed Project Description:
 Rebuild Existing Back Porch and Renovations to 3rd Floor ~~Living~~ Living Space
Level: 3 Family Dwelling units
THIS IS CURRENTLY BEDROOMS (C/W)

Signature: *[Signature]* Signature: *[Signature]*
 PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

| | | | |
|-------------------------|---------------------------------|------------------------|--|
| Permit Taken By: gad | Date Applied For: 05/02/2003 | Zoning Approval | |
|-------------------------|---------------------------------|------------------------|--|

| | | | |
|--|---|---|--|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/19/03</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied |
| | Date: _____ | Date: _____ | Date: _____ |

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 03-0456 | Date Applied For: 05/02/2003 | CBL: 016 J008001 |
|------------------------------|--|----------------------------|

| | | | |
|---|--|---|---------------------------------|
| Location of Construction: 16 St Lawrence St | Owner Name: Sheehan M Elizabeth | Owner Address: 14 St Lawrence St | Phone: () 772-5356 |
| Business Name: | Contractor Name: Harpers Development | Contractor Address: Winthrop | Phone: (207) 377-8977 |
| Lessee/Buyer's Name | Phone: | Permit Type: Alterations - Multi Family | |

| | |
|--|---|
| Proposed Use: Multi Family- 3 Unit | Proposed Project Description: Rebuild Existing Back Porch and Renovations to 3rd Floor Attic/Living Space |
|--|---|

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/19/2003**Note:** **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 05/30/2003**Note:** **Ok to Issue:**

- 1) Initial demo can occur , but the construction activity can occur until such time as the Stamped plans and certifications are received from the design professional. No work can occur on the exterior stair until plans showing weather protection are approved.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. McDougall **Approval Date:** 05/20/2003**Note:** **Ok to Issue:**

- 1) the boiler shall be seperated with a one hour enclosure or smoke protected enclosure with a domestic sprinkler
- 2) smoke detectors shall be installed in accordance with NFPA 72 standards
- 3) vertical openings shall be fire rated with a minimum of one hour fire rating

Comments:

05/20/2003-mjn: Spoke with contractor, needs stamped plans and will want to do a walk about

05/29/2003-mjn: Evaluated the property, all ok except the need for stamped plans and exterior stairway protection from snow & ice. Left message w/ owner

WINDOW & DOOR SCHEDULE

4/23/03

| No. | Manuf. | R.O.(wh) | Type | Quantity | Finish | Hardware | Remarks |
|-----|----------------|--|---|------------|--------|----------|--|
| 1 | Andersen | 4'-9" x 4'-0 1/2" | CW24-Egress | 2 | White | White | Master bedroom Bedroom 1, FDL - Full Divided Light Grille 2/1, (1/8" Horizontal grille at center with 3'4" vertical grille) 6'-10" HDR |
| 1a | " | 4'-3 15/16" x 4'-1 1/2" | TW20310-2 | 1 | " | " | Bath 2, FDL 2/1 |
| 2 | " | Sill 4'-9" w, Sloped sides 10/12 pitch | Flexitrame | 1 | " | " | Master bedroom |
| 3 | " | Sill 2'-6 1/8" w, Max. Ht. 4'-4 7/8" Sloped to right 10/12 pitch | Flexitrame Trapezoid | 1 | " | " | Bedroom 1 |
| 4 | " | 2'-6 1/8" x 4'-5 1/4" | TW2442 | 1 | " | " | Bedroom 1, Full Divided Light 2/1 |
| 5 | " | 2'-10 1/8" x 6'-1" | TW28410 with DHT 2810 transom, Factory Milled | 5 | " | " | Sunroom Transom Sid Grille FDL |
| 5a | " | 2'-10 1/8" x 6'-0 1/8" | 2846 with TR2810 Factory Milled, 200 Series | 5 | " | " | Sunroom Transom Sid White Wood removable grille |
| 6 | " | 3'-0 1/2" x 2'-4 7/8" | AW31 400 Series | 1 | " | " | Sunroom Sid Grille FDL |
| 6a | " | " | AW31 200 Series | 1 | " | " | Sunroom Sid White Wood removable grille |
| 7 | " | 3'-1" x 7'-8 7/16" | FWO3168AR (No Grilles) with FWT 3111(Sid FDL Grilles) | 1-LH | " | " | Kitchen, No Casings |
| 7a | " | " | FWO3168AR (No Grilles) with FWT 3111(Sid removable Grilles) | 1-LH | " | " | " |
| 8 | " | 1'-10 1/8" x 3'-8 7/8" | TW1836 | 2 | " | " | Kitchen, one each side of door, FDL 2/1 |
| 8a | " | 2'-4" x 3'-11 1/2" | 244DH2040 | 2 | " | " | Kitchen, one each side of door, No grilles |
| 9 | Therma Door | 38 1/2" x 82 1/2" | Smooth Star S118 LE Removable wood grilles | 1-RH | " | " | Sunroom, No Casings |
| 10 | Velux | 21 1/2" x 55 1/2" | VS108 | Operable | " | " | 3 rd floor |
| 11 | Velux | 21 1/2" x 55 1/2" | FS108 | Stationary | " | " | " |

All Andersen 400 Series Windows & Doors to be High Performance Low E, White Clad with white Hardware and Screens. Full Divided Light 3/4" Grilles with alum. Divider, White Exterior and Interior Grille. Prefinished interior-white. Verify All Extension Jambos to be 6 9/16". Existing Window Sashes and Jambos to be Acadia Vinyl Replacement Sash Kits, with custom Simulated Divided Lights, grille pattern to match existing windows.

DEPARTMENT OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

MAY - 2 2003

RECEIVED

03-0456



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|--|--|
| Location/Address of Construction: <u>116 Saint Lawrence St.</u> | | |
| Total Square Footage of Proposed Structure <u>3830</u> | Square Footage of Lot <u>.08 acres</u> | |
| Tax Assessor's Chart, Block & Lot Chart# <u>016</u> Block# <u>J</u> Lot# <u>008</u> | Owner: <u>Mary Elizabeth Sheehan</u> | Telephone: <u>Day: 772</u> <u>773-4806 5356</u> |
| Lessee/Buyer's Name (If Applicable) | Applicant name, address & telephone: <u>Elizabeth Sheehan</u> <u>116 St Lawrence Street</u> <u>Portland, ME 04101</u> | Cost Of Work: \$ <u>80,000</u> Fee: \$ <u>583</u> |
| Current Specific use: <u>3unit</u> | | |
| Proposed Specific use: <u>3unit</u> | | |
| Project description: <u>Renovation of 3rd floor attic, rebuild existing back porch.</u> | | |
| Contractor's name, address & telephone: <u>Kevin Mattson c/o Harpers Development</u> <u>Suite 2A Winthrop ME 04364</u> | | |
| Who should we contact when the permit is ready: <u>Elizabeth Sheehan</u> | | |
| Mailing address: <u>116 Saint Lawrence St</u> <u>Portland ME 04101</u> | | |
| Phone: <u>773-4806</u> | | |

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

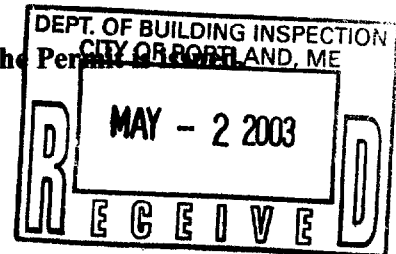
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|--------------------------|
| Signature of applicant: <u>Mary Elizabeth Sheehan</u> | Date: <u>May 1, 2003</u> |
|---|--------------------------|

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

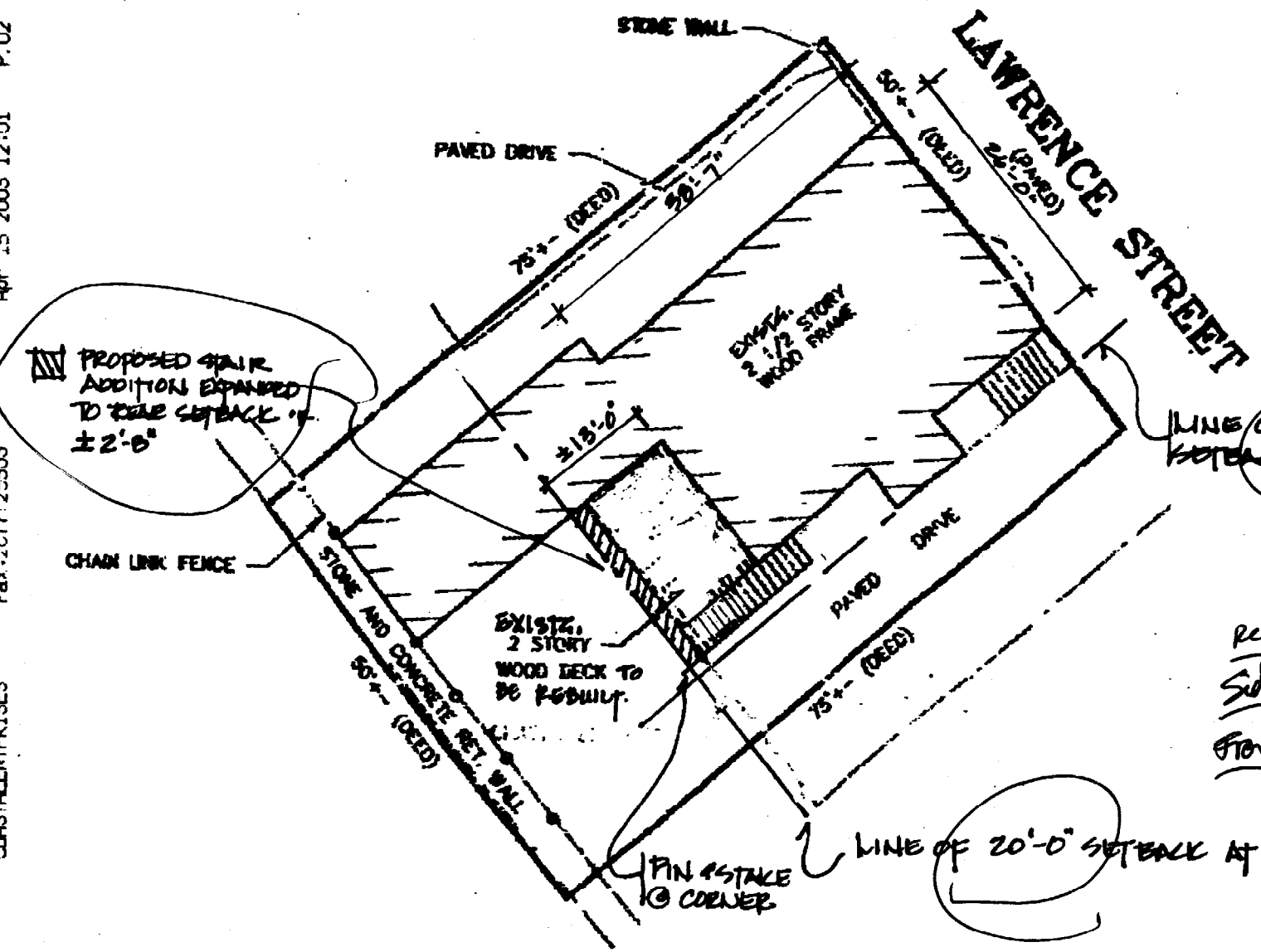
This is not a Permit; you may not commence any work until the Permit is received.



Scale 1" = 20'



ST. LAWRENCE STREET



R-6

REAR: 20' min - 20' Show

SIDE: 10' min - 10' Show

FRONT: N/A

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY - 2 2003

RECEIVED



can just see it from this photo
 per site visit on 5/19/03, there is in
 existence, an open outside, exterior
 stairway — This plan is not increasing that
 non conformity —
 It goes up to the 2nd floor ^{ways} now,
 no more is being proposed.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

| | |
|---------------|---|
| Card Number | 1 of 1 |
| Parcel ID | 016 J008001 |
| Location | 16 ST LAWRENCE ST |
| Land Use | THREE FAMILY |
| Owner Address | SHEEHAN M ELIZABETH 14 ST LAWRENCE ST PORTLAND ME 04101 |
| Book/Page | 15018/35 |
| Legal | 16-J-8 ST LAWRENCE ST 14-16 3505 SF |

14-437dk

Valuation Information

| | | |
|----------|----------|-----------|
| Land | Building | Total |
| \$31,080 | \$98,390 | \$129,470 |

Property Information

| | | | | | | |
|------------|------------|--------------|-------------|-------------|----------|--|
| Year Built | Style | Story Height | Sq. Ft. | Total Acres | | |
| 1890 | Old Style | 2 | 3447 | 0.06 | | |
| Bedrooms | Full Baths | Half Baths | Total Rooms | Attic | Basement | |
| 6 | 3 | | 17 | Full Finsh | Full | |

Outbuildings

| | | | | | |
|------|----------|------------|------|-------|-----------|
| Type | Quantity | Year Built | Size | Grade | Condition |
|------|----------|------------|------|-------|-----------|

Sales Information

| | | | |
|------------|---------------|-----------|-----------|
| Date | Type | Price | Book/Page |
| 09/01/1999 | LAND + BLDING | \$163,000 | 15018-035 |

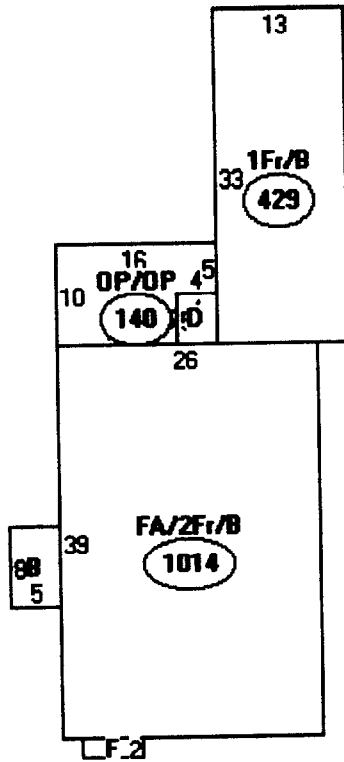
Picture and Sketch

| | |
|----------------|---------------|
| <u>Picture</u> | <u>Sketch</u> |
|----------------|---------------|

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





Descriptor/Area

- A: FA/2Fr/B
1014 sqft
- B: EP/B
40 sqft
- C: OP/OP
140 sqft
- D: OP/FUB
20 sqft
- E: 1Fr/B
429 sqft
- F: 2FBAY
12 sqft

1014
40
140
20
429
20

1654

2.66 x 16 = 42.56
 1697.56 dk
 3505 x 506 = 1752.5 MAX

THE DRAWING REPRESENTS THE DESIGNER & HER CONSULTANTS INTENT ONLY. ALL RESPONSIBILITY FOR CONSTRUCTION, TECHNOLOGY & ALL RESULTING BUILDING PERFORMANCE LIES WITH THE GENERAL CONTRACTOR & OWNER.

BBB ASSOCIATES
 P.O. BOX 1149
 8805 Main St.
 Bangor, Me 04870
 TEL (207) 564-2302



LINE of 20'-0" SETBACK?
 SOUTH ELEVATION 1/4" = 1'-0"

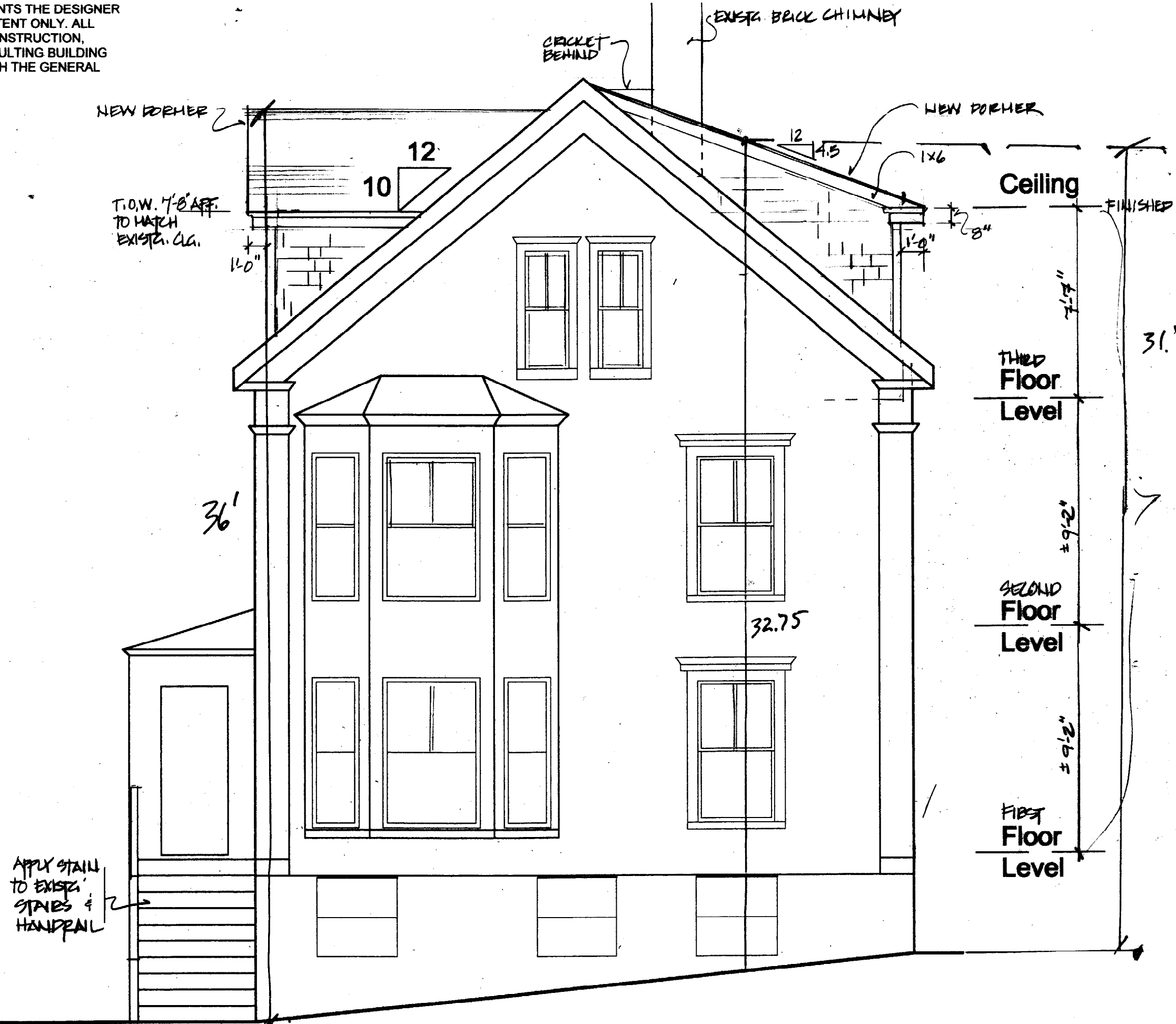
ISSUED
 4-25-03

SHEEHAN RESIDER
 6 ST. LAWRENCE STREET

DEPT. OF BUILDING INSPECT
 CITY OF PORTLAND, ME
 MAY - 2 2003
 ECE

THE DRAWING REPRESENTS THE DESIGNER & HER CONSULTANTS INTENT ONLY. ALL RESPONSIBILITY FOR CONSTRUCTION, TECHNOLOGY & ALL RESULTING BUILDING PERFORMANCE LIES WITH THE GENERAL CONTRACTOR & OWNER.

R-6 Zone
max height is 45'



Ceiling
FINISHED
7'-7"
THIRD Floor Level
2'-6"
SECOND Floor Level
2'-6"
FIRST Floor Level

31.75'

25' 11"

32.75'

36'

APPLY STAIN TO EXISTING STAIRS & HANDRAIL

ST. LAWRENCE STREET ELEVATION 1/4"=1'-0"

ISSUED 4/25/03

SHEEHAN RESIDENCE
16 ST. LAWRENCE STREET
PORTLAND, ME. 04107

A2

ENS ASSOCIATES
POB 1149
3808 Main St.
Rushley, Me 04070
TEL (207) 884-2302

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CITY OF PORTLAND, ME
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ENS ASSOCIATES
POB 1149
6005 Main St.
Bangor, Me 04970
TEL (207) 864-2302

Ceiling

Third Floor Level

Second Floor Level

First Floor Level

NEW SHINGLES TO MATCH EXIST. - COLOR TO BE DETERMINED

2-R CEDAR SHINGLES, PRE-PRIMED
COLOR TO BE DETER.
1x5 MIRATED SMOOTH SIDE OF ED., TYP. ALL TRIM
PR., COLOR TO BE DETERMINED

8'-6" FORMER
OUT TO OUT

33.5'

42" RAILING

LATTICE PANEL

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY - 2 2003

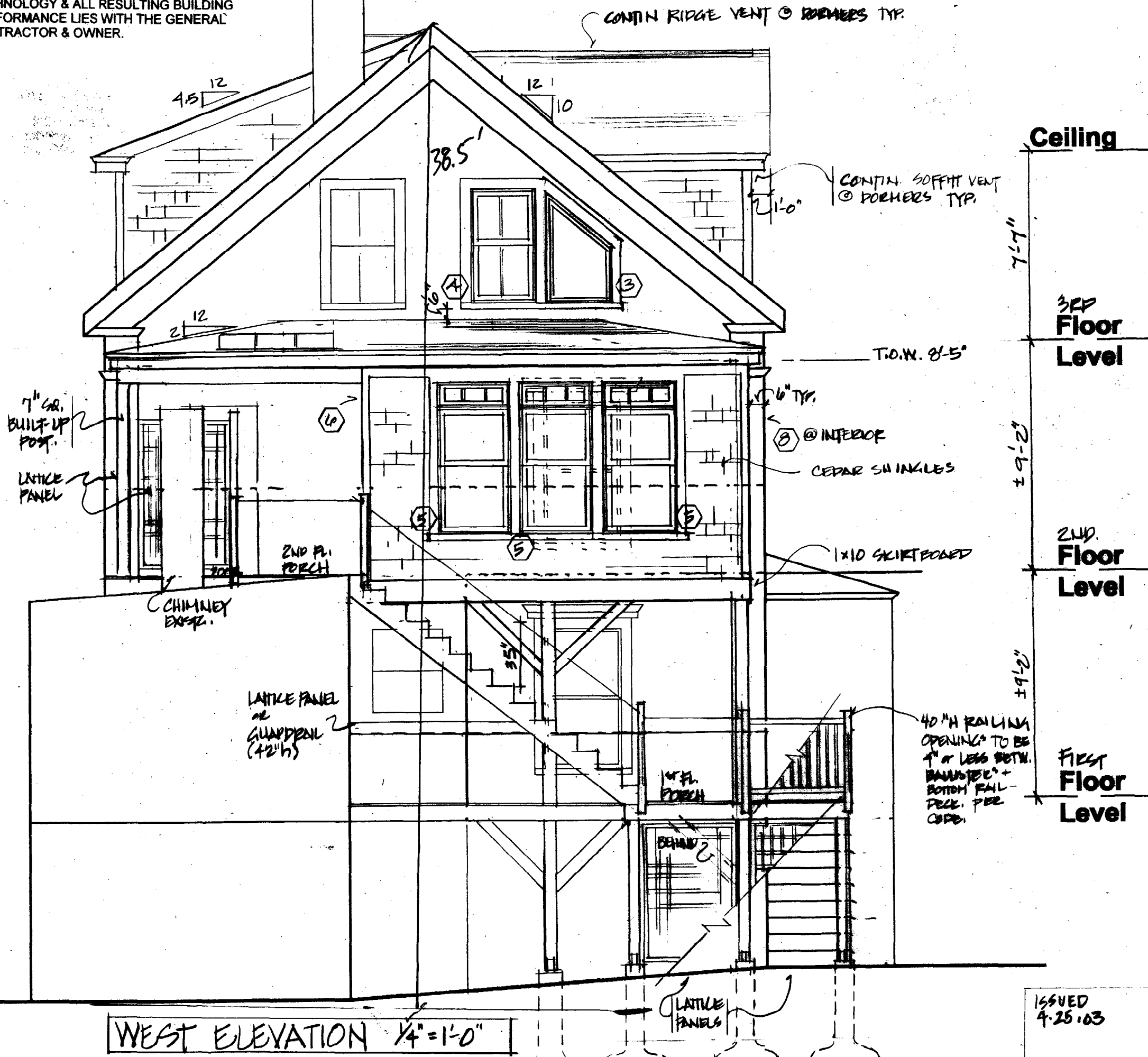
NORTH ELEVATION 1/4"=1'-0"

ISSUED
4-25-03

SHEEHAN RESIDENCE
6 ST. LAWRENCE STREET
PORTLAND, ME 04101

A3

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Ceiling

3RD Floor Level

2ND Floor Level

FIRST Floor Level

WEST ELEVATION 1/4" = 1'-0"

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CITY OF PORTLAND, ME
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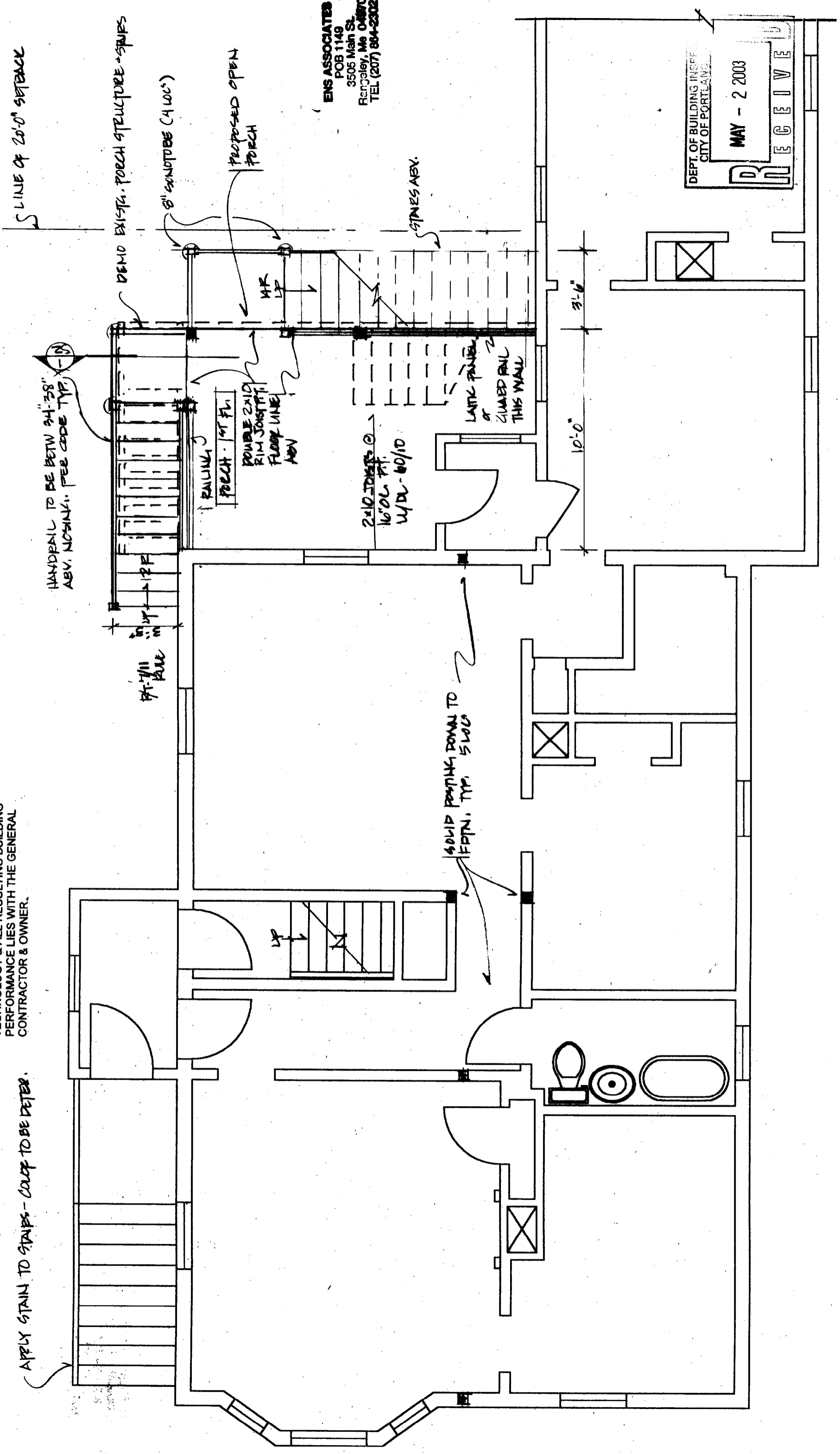
ENS ASSOCIATES
POB 1149
3605 Main St.
Bangor, Me. 04970
TEL (207) 864-2302

ISSUED
4.25.03

SHEEHAN RESIDENCE
10 ST. LAWRENCE STREET
PORTLAND, ME 04101
A4

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APPLY STAIN TO STAIRS - COLOR TO BE DETER.



ENS ASSOCIATES
POB 1149
3505 Main St.
Reno, Nev. 89502
TEL (775) 864-2302

DEPT. OF BUILDING INSPECTION
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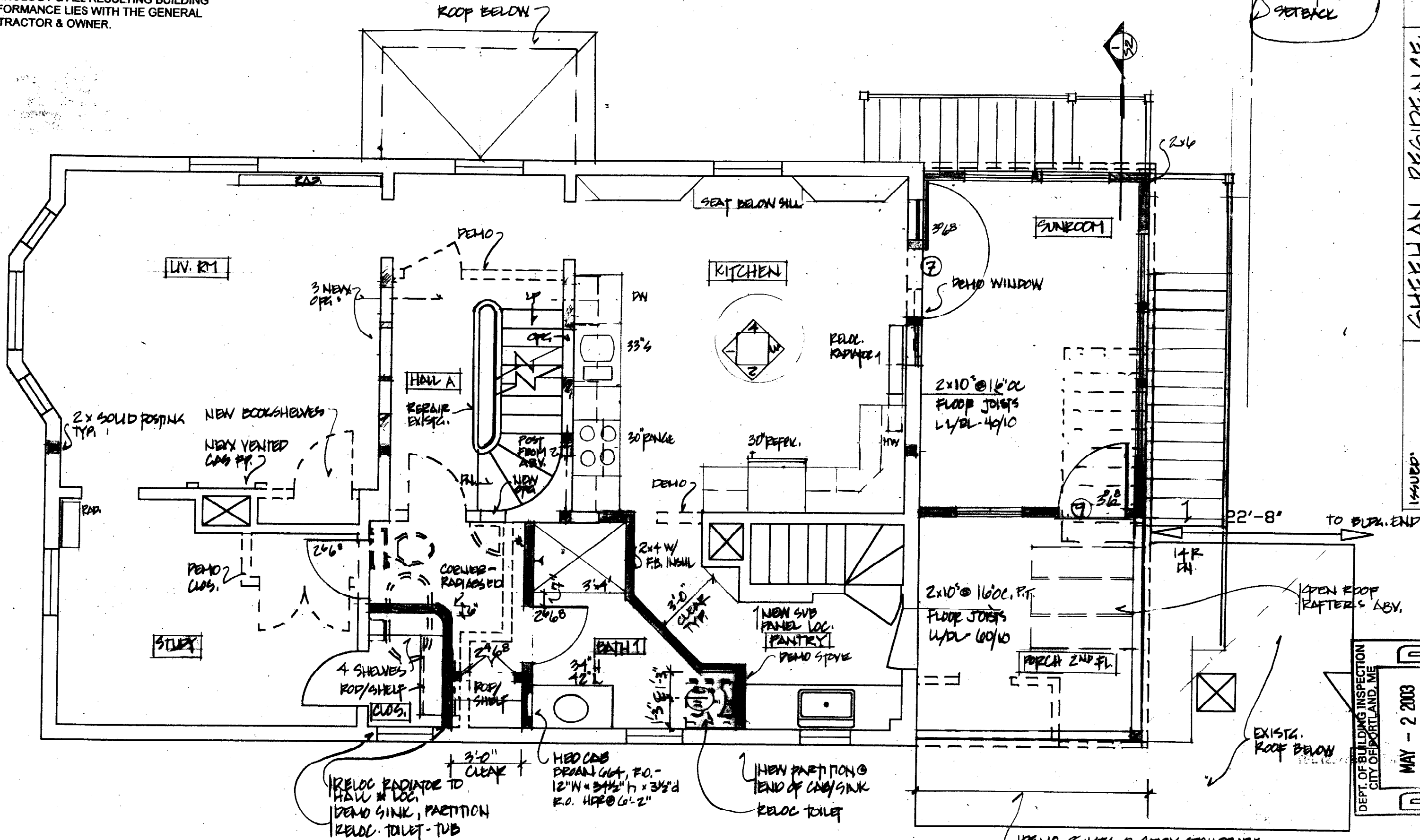
First Floor Plan - Existing & Proposed 1/4" = 1'-0"

ISSUED
4-25-03

SHEEHAN RESIDENCE
19 ST. LAWRENCE STREET
PORTLAND, ME 04103



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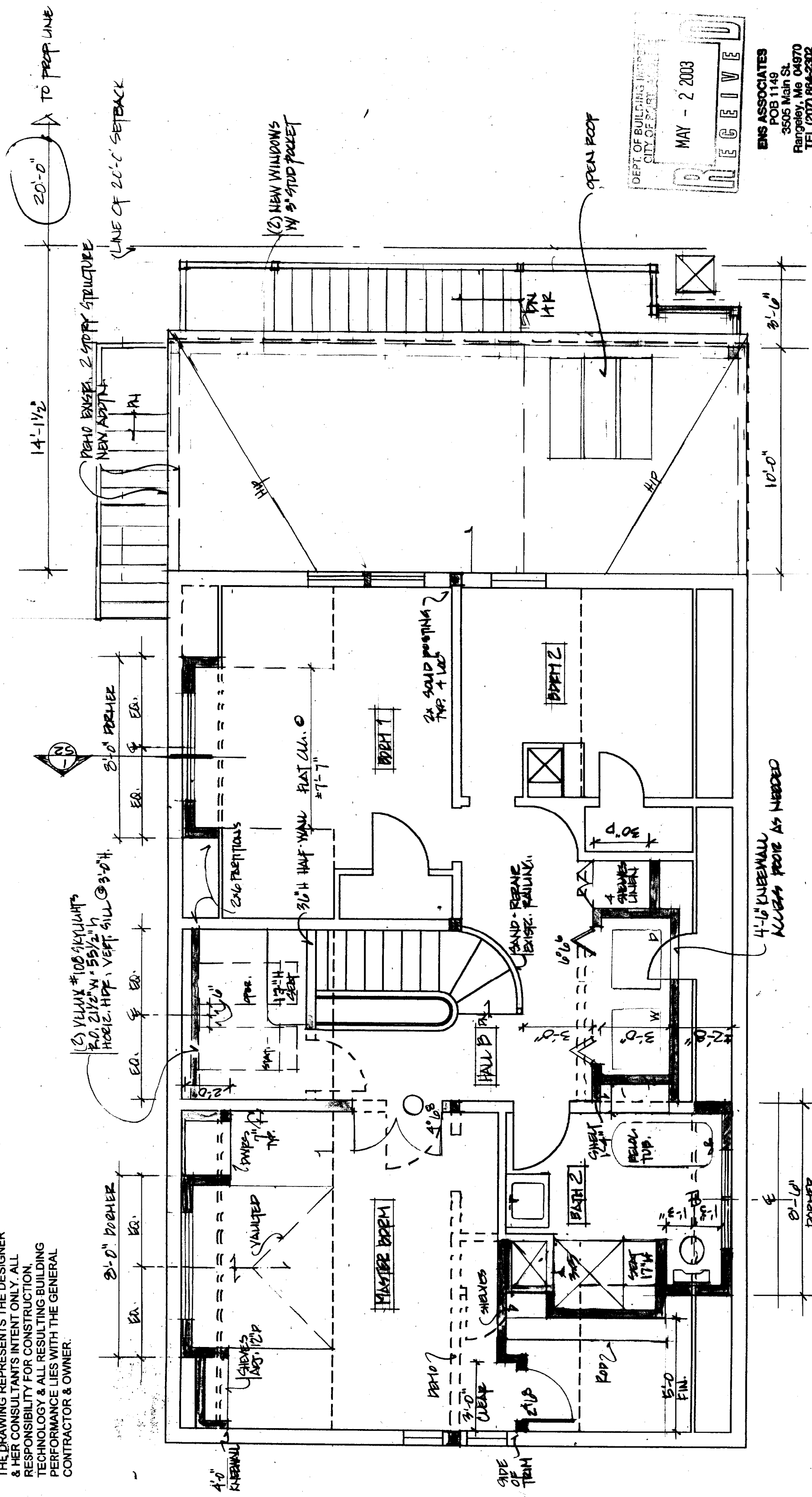
Second Floor Plan - PROPOSED 1/4" = 1'-0"

NOTE: EXISTG. FL. TO CLG 8'-5" FIN
 NEW PARTITION + WALLS (F.H.) ALL WITH F.B. INSUL
 DEMO EXIST. 2 STORY STRUCTURE + STAIRS
 NEW FLOOR SYSTEM 2x10 JOISTS @ 16" OC.

SHEEHAN RESIDENCE
 16 ST. LAWRENCE STREET
 PORTLAND, ME 04101
 ISSUED: 4.25.03
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME
 MAY - 2 2003
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ENS ASSOCIATES
 POB 1149
 3505 Main St.
 Rangeley, Me 04970
 TEL (207) 864-2302

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CITY OF PORTLAND
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ENS ASSOCIATES
POB 1149
3505 Main St.
Rangely, Me 04970
TEL (207) 864-2302

NOTE: ATTIC-RAFTER TO BE R-38, WALLS TO BE R-19, 4" MIL V.B @ WALLS. C.A.

ISSUED
4.25.03

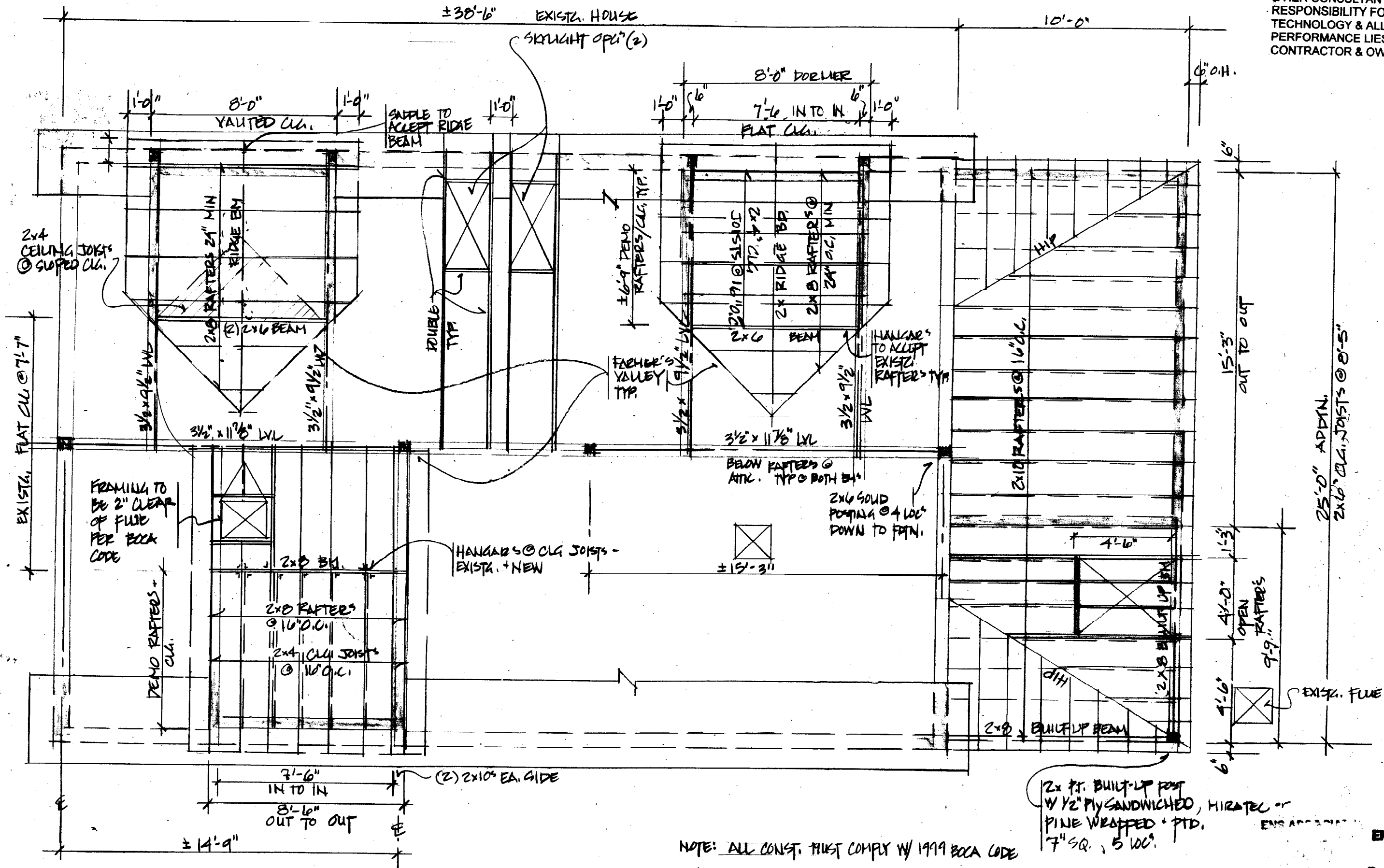


Third Floor Plan - Existing & Proposed 1/4" = 1'-0"

SHEEHAN RESIDENCE
16 ST. LAWRENCE STREET
PORTLAND, ME 04101

A7

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NOTE: ALL CONST. MUST COMPLY W/ 1999 BOCA CODE

ROOF FRAMING PLAN 1/4" = 1'-0"

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY - 2 2003
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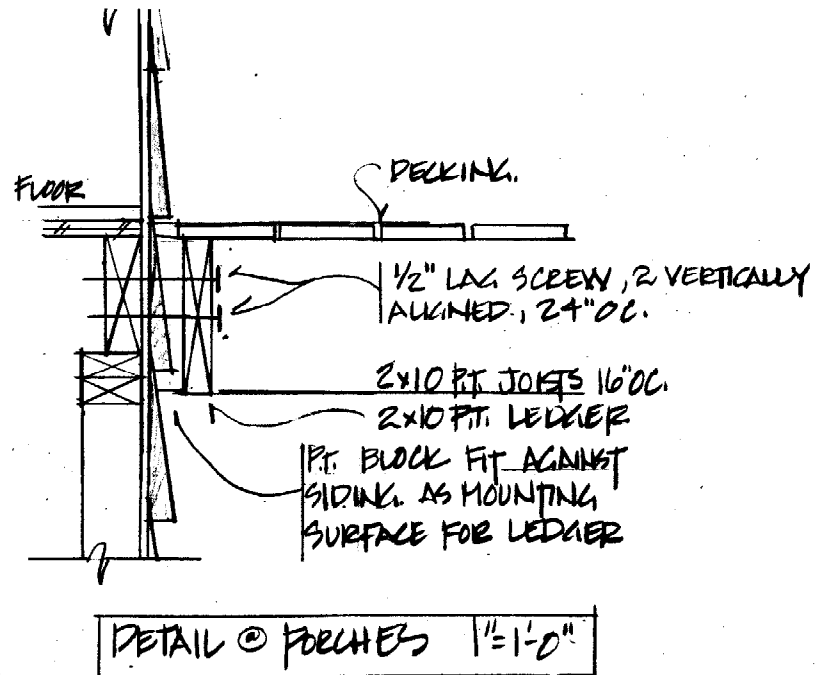
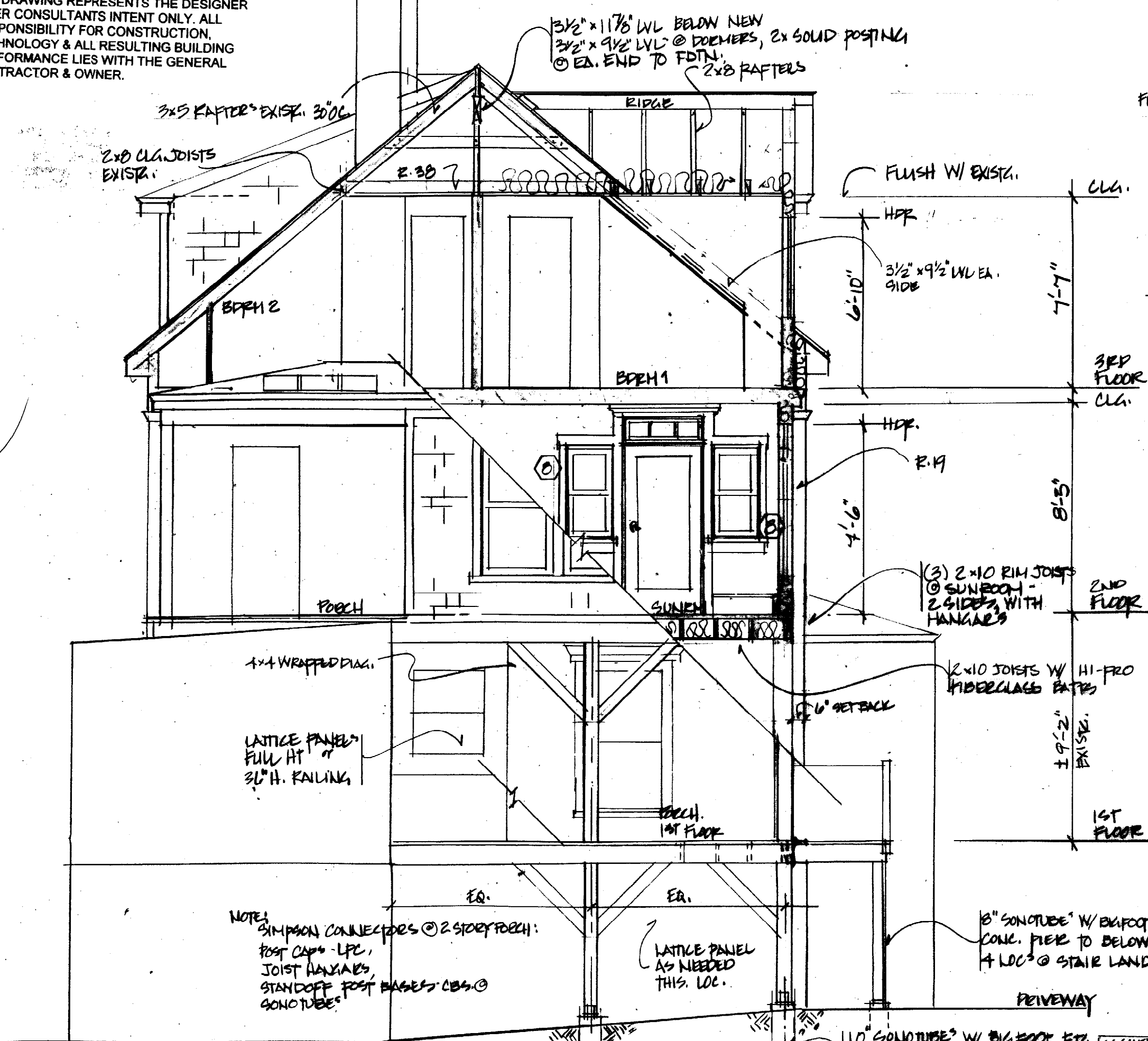
ENS ASSOCIATES
POB 1149
3505 Main St.
Rangley, Me 04970
TEL (207) 864-2302



ISSUED
4-25-03

SHEEHAN RESIDENCE
16 ST. LAWRENCE STREET S1

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 MAY - 2 2003
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

ENS ASSOCIATES
 POB 1149
 3305 Main St.
 Rangeley, Me 04970
 TEL (207) 864-2302

1 CROSS SECTION - DETAIL

SHEEHAN RESIDENCE
 16 ST. LAWRENCE STREET
 PORTLAND, ME 04101