

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 050919

Please Read Application And Notes, If Any, Attached

This is to certify that Hernandez Guy A & /North Side Construction  
has permission to Structural Reinforcement/ renovations  
AT 12 Atlantic St City ID 016 F009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**PERMIT ISSUED**  
OTHER REQUIRED APPROVALS  
JUL 20 2005  
**CITY OF PORTLAND**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

Department Name \_\_\_\_\_

*[Signature]* 7/20/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0919	Issue Date: <b>JUL 20 2005</b>	CBL: 016 7009001
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Location of Construction: 12 Atlantic St	Owner Name: Hernandez Guy A &	Owner Address: 12 Atlantic St	Phone:
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Business Name:	Contractor Name: North Shore Construction	Contractor Address: P.O. Box 2564 South Portland 12077742800	Phone:
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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <b>R-6</b>
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Past Use: Single Family Home	Proposed Use: Single Family Home/ Structural Reinforcement/ renovations	Permit Fee: \$246.00	Cost of Work: \$25,000.00	CEO District: 1
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Structural Reinforcement/ renovations	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <b>R-3</b> Type <b>IRC 2003</b>
	Signature:	Signature:

Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 07/07/2005	<b>Zoning Approval</b>	
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<p>1.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p align="center"><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>7/20/05</b>	<p align="center"><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p align="center"><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions Denied Date: <b>7/20/05</b>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-0919	<b>Date Applied For:</b> 07/07/2005	<b>CBL:</b> 016 F009001
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<b>Location of Construction:</b> 12 Atlantic St	<b>Owner Name:</b> Hernandez Guy A &	<b>Owner Address:</b> 12 Atlantic St	<b>Phone:</b> 
<b>Business Name:</b>	<b>Contractor Name:</b> North Shore Construction	<b>Contractor Address:</b> P.O. Box 2564 South Portland	<b>Phone:</b> (207) 774-2800
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	
<b>Proposed Use:</b> Single Family Home/ Structural Reinforcement/ renovations		<b>Proposed Project Description:</b> Structural Reinforcement/ renovations	

Dept: Zoning      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 07/20/2005

Note: **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 07/20/2005

Note: **Ok to Issue:**

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, and fire blocking per code at each level
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.



TAMMY.

Per our Passes Conversation: The following are Structural Improvements for 12 Atlantic St. We are only making improvements to structure No changes are being made except over 5 hours on plan.

Other Items To Be Performed

1. New GWB

2. New Mechanical M.E.P.

3. New Taint

4. New Kitchen Cabinets

5. New Bath Fixtures

6. Fire Rate First Floor for Future two family

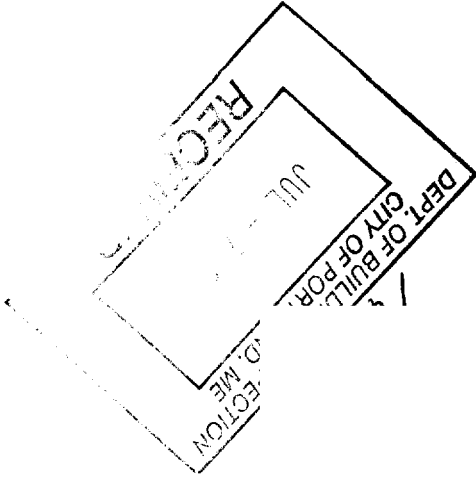
Bureau Gray + Stella Homeworship  
Contractor North Shore Const.

PAID BY 0564

South Port and MF

Office 007-774-2800

Cell 007-650-2547



**GENERAL NOTES:**

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tiedowns. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

**DESIGN- LOADS:**

1. Building code: BOCA Basic Building Code (1999) and/or the 2003 IBC International Building Code
2. Design Live Loads:  
 Floors ..... 40 PSF  
 Roof (snow) Load ..... 42 PSF (+ Drift as applicable)
3. Design wind loads are based on exposure B using 100 mph basic wind speed.

TIMBER FRAMING:

1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) - Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fir (SPF), kiln dried 19% maximum moisture content.
3. All lumber in contact with concrete shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x timber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.
10. LVL beams indicated on the drawings shall be manufactured by Boise Coscudes Corp. or approved equal (Fb = 2800 psi).

designed by:	JHL	<b>HERNANDEZ RESIDENCE</b> 12 ATLANTIC STREET PORTLAND, MAINE  BUILDING REINFORCEMENT GENERAL NOILS	<b>L &amp; L STRUCTURAL</b> ENGINEERING SERVICES, INC. SIX Q STREET SOUTH PORTLAND, MAINE 04106  PHONE: (207) 767-4830 FAX: (207) 799-5432 EMAIL: LLENCO@AOL.COM	S4
drawn by:	JHL			
checked by:	MFL			
scale:	NOTED			
date:	6/28/05			

**FOUNDATION—NOTES:**

1. Foundations have been designed with a presumptive soil bearing capacity of **2000 PSF** to **be** verified in the field.
2. Interior spread footings and exterior strip footings shall be founded on **undisturbed soil** ~~or~~ compacted structural fill.
3. Slabs on grade shall bear on a minimum of 12" of compacted structural fill. If loose or undesirable fills are encountered at the slab **subgrade** level, they shall be over excavated to the surface of the natural soil and replaced with structural fill.
4. Structural fill shall be used at all locations below footings and slabs and adjacent to the foundation walls. Prior to placement of structural fill, remove all topsoil and other unsuitable material. Compacted structural fill shall consist of clean granular material free of organics, loam, trash, snow, ice, frozen soil or any other objectionable material. It shall be well graded within the following units:

SCREEN OR SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90-100
N0.4	35-70
40	5-35
200	0-5

5. Structural fill beneath slabs shall be placed in layers not exceeding 6" in loose measure and compacted by selfpropelled compaction equipment at approximate optimum moisture content to a dry density of at least 95% of the maximum in place dry density as determined by the modified proctor test (ATSM d-1557).

**CONCRETE NOTES:**

1. All concrete work shall conform to ACI 318-89.
2. Concrete strength at 28 days shall be 3000 PSI.
3. All concrete shall be air entrained 4% to 6%.
4. Concrete shall not be not be placed in water or on frozen ground.
5. Provide PVC sleeves where pipes pass through concrete walls or slabs.
6. Reinforcing bars shall conform to ASTM A615 Grade 60 deformed bars, and shall be detailed, fabricated and erected in accordance with ACI 315-Latest edition.
7. Welded wire fabric shall be provided in flat sheets.
8. Fiber reinforced concrete shall conform to ATSM C-1116.
9. Splices of reinforcing bars shall be in accordance with ACI 318-89.  
Splices of WWF shall be 6" minimum.
10. Anchor bolts shall conform to **ASTM** A307 unless noted otherwise on pian.

designed by: <b>JHL</b>	<b>HERNANDEZ RESIDENCE</b> 12 ATLANTIC STREET PORTLAND, MAINE	<b>L &amp; L STRUCTURAL</b> <b>ENGINEERING SERVICES, INC.</b> SIX Q STREET SOUTH PORTLAND, MAINE 04106
drawn by: <b>JHL</b>	BUILDING REINFORCEMENT	PHONE: (207) 767-4830 FAX: (207) 799-5452 EMAIL: LLENG@AOL.COM
checked by: <b>MFL</b>	GENERAL NOTES	<div style="border: 1px solid black; width: 50px; height: 20px; margin-left: auto; text-align: center;">S5</div>
scale: <b>NOTED</b>		
date: <b>6/28/05</b>		