

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 070505

JUN 26 2007

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that GROSS LAURENCE W / Northern Lights Stone Works has permission to Replace existing cinder block wall w/ K... one in locking blocks in same footprint AT 49 ST LAWRENCE ST 016 E020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is l... or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Handwritten signature and date 6/13/07

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0505	Issue Date:	CBL: 016 E020001
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Location of Construction: 49 ST LAWRENCE ST	Owner Name: GROSS LAURENCE W	Owner Address: PO BOX 10152	Phone:
Business Name:	Contractor Name: Northern Lights Stone Works	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R6

Past Use: Residential 3 unit <i>legal use -</i>	Proposed Use: Residential 3 unit replace existing cinder block wall w/ Keystone interlocking blocks in same footprint <i>3 family perm. w/ohide.</i>	Permit Fee: \$60.00	Cost of Work: \$3,312.00	CEO District: 1
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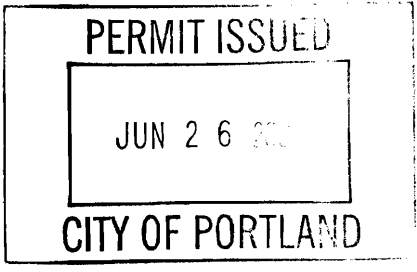
FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> Signature:	INSPECTION: Use Group: <i>R-2</i> Type: <i>IBC 2003</i> Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____	

Proposed Project Description:
Replace existing cinder block wall w/ Keystone interlocking blocks in same footprint

Permit Taken By: dmartin	Date Applied For: 05/07/2007	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>5/22/07 ABW</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABW</i> Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0505	Date Applied For: 05/07/2007	CBL: 016 E020001
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Location of Construction: 49 ST LAWRENCE ST	Owner Name: GROSS LAURENCE W	Owner Address: PO BOX 10152	Phone:
Business Name:	Contractor Name: Northern Lights Stone Works	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Residential 3 unit replace existing cinder block wall w/ Keystone interlocking blocks in same footprint	Proposed Project Description: Replace existing cinder block wall w/ Keystone interlocking blocks in same footprint
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/22/2007

Note: Legal use of the building is three dwelling units per microfiche. **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This permit is being issued with the condition that all work will be within the existing footprint of the wall.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 06/13/2007

Note: **Ok to Issue:**



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

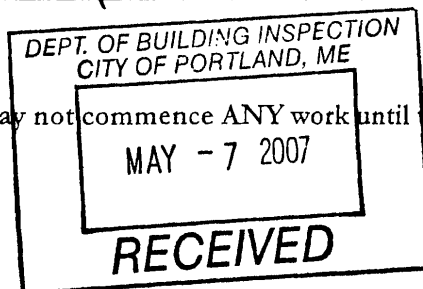
Location/Address of Construction: <u>49 ST. LAWRENCE ST</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Owner:	Telephone:
<u>16 E 020</u>	<u>LAWRENCE GROSS</u>	<u>232-1619</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ <u>3,312</u>
	<u>LAWRENCE GROSS</u> <u>10 AMHERST ST</u> <u>PORTLAND, ME 04103</u> <u>232-1619</u>	Fee: \$ <u>10</u>
		C of O Fee: \$ <u>N/A</u>
Current legal use (i.e. single family)	<u>3 UNIT APARTMENT</u>	
If vacant, what was the previous use?	_____	
Proposed Specific use:	<u>REPLACE EXISTING CINDER BLOCK WALL</u>	
Is property part of a subdivision?	If yes, please name _____	
Project description: <u>REPLACE EXISTING CINDER BLOCK WALL WITH NEW KEYSTONE INTERLOCKING BLOCK IN FOOTPRINT OF EXISTING WALL.</u>		
Contractor's name, address & telephone: <u>NORTHERN LIGHTS STONEWORKS</u> <u>198 BROWN ST, UNIT #3, WESTBROOK, ME 04092</u>		
Who should we contact when the permit is ready: <u>LAWRENCE GROSS</u> <u>531-6898</u>		
Mailing address: _____ Phone: <u>232-1619</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Laurence Gross Date: 5/7/07



This is not a permit; you may not commence ANY work until the permit is issued.

8/25/07

MORTGAGE LOAN INSPECTION PLAN

TO THE LENDING INSTITUTION AND ITS TITLE INSURER I hereby certify that the location of the building shown on this plan and the location with the loan making issue in place of the title of construction. The building does not fall within a special flood hazard zone.

No. 125-33
49 ST LAWRENCE ST
PORTLAND, ORE

BOOK _____ PAGE _____ COUNTY CUMBERLAND

PLAN BOOK _____ PAGE _____ LOT _____

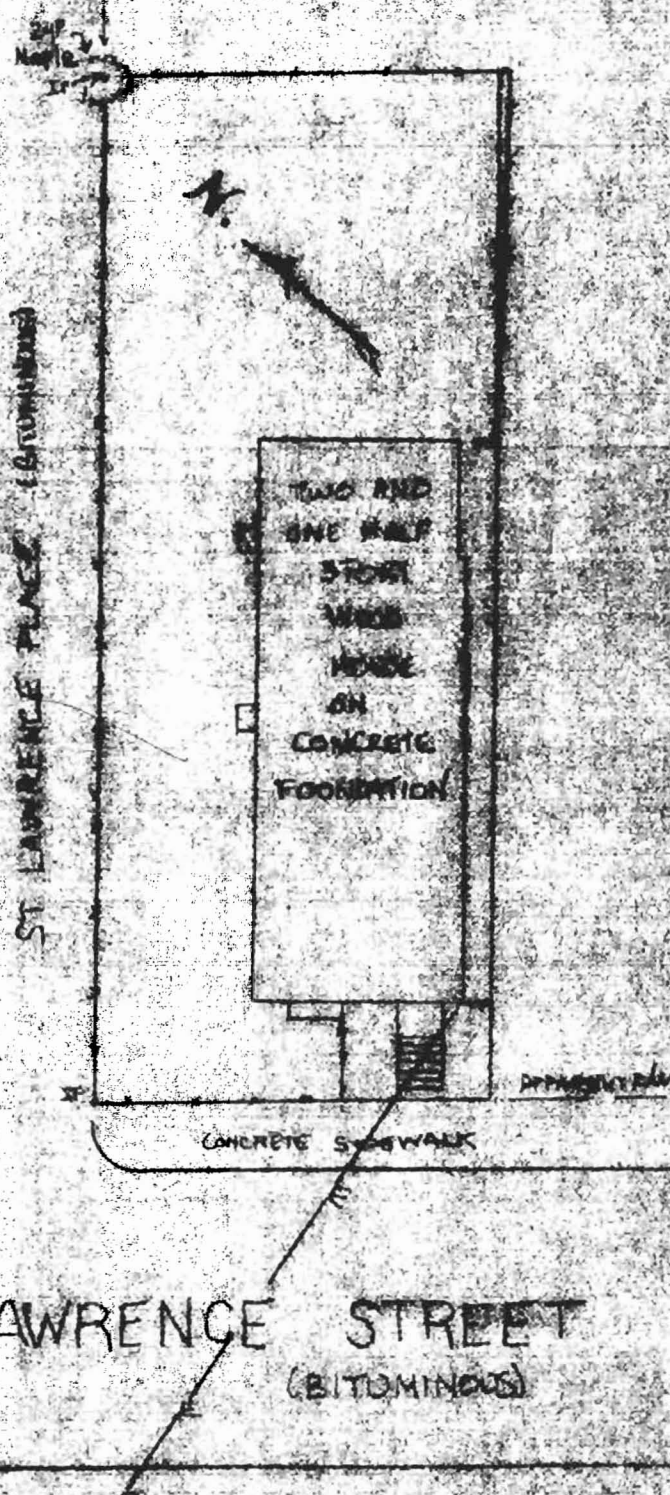
OWNER: LAURENCE W GROSS

The property was re-inspected and no changes were found as of this

date 1-23-86

NOTES

REFERENCE MADE TO PLAN MADE FOR ESTATE OF JOSEPH TRICHAULT BY ROBERT P. TITCOBS INC 6/02/82



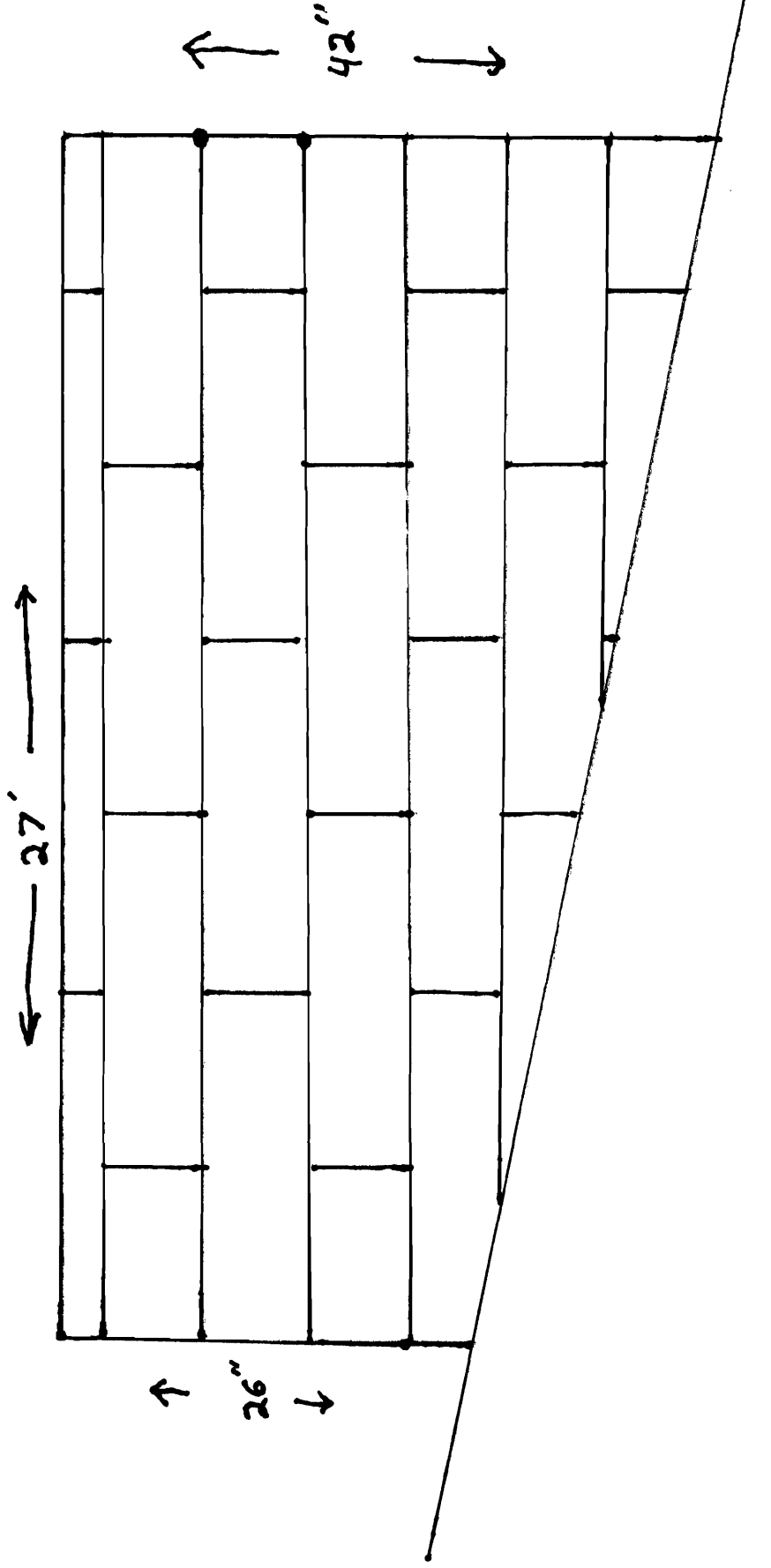
← TO CONGRESS STREET

ST. LAWRENCE STREET (BITUMINOUS)

THIS IS NOT A BOUNDARY SURVEY. This plan is based strictly on information furnished by others and does not take into consideration any conditions which existing construction may contain. This plan was not made from an independent survey. The certification is for mortgage purposes only. This plan applies only to conditions existing as of the date shown herein. This plan is not for recording.

Date 5-29-82 Scale 1"=20'

R P TITCOBS ASSOCIATES, INC. Falmouth, Maine



Notes: New wall to fall in
 exact footprint of
 Existing wall.

49 St. Lawrence St.
 Portland, ME

Northern Lights Stoneworks Inc.