

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION
PERMIT

Permit Number: 061487

PERMIT ISSUED

NOV - 8 - 2006

This is to certify that Williams Susan A /property owner

has permission to Rebuild stairs in same footp

AT 79 St Lawrence St

016 E01 001

provided that the person or persons who accept this permit with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is used or service is closed-in. 4
 YOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Greg Carr 10-24-06

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mackley 11/9/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1487	Issue Date: NOV - 8 2006	CBL: D16 E011001
PERMIT ISSUED		
CITY OF PORTLAND		

Location of Construction: 79 St Lawrence St	Owner Name: Williams Susan A	Owner Address: 83 St Lawrence St	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R6

Past Use: Multi-residential	Proposed Use: Multi-residential rebuild stairs in same footprint	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
legal use:	4 dwelling units 1st flr unit has home occupation - kitchen	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied See conditions	INSPECTION: Use Group: R3 Type: SB IRC 2003	
Proposed Project Description: Rebuild stairs in same footprint		Signature: <i>Gregory Cass</i>	Signature: <i>Jm 11/6/06</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 10/11/2006	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ak w/conditions</i> Date: 11/6/06 <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83 Saint Lawrence st. Portland Me</u>		
Total Square Footage of Proposed Structure <u>107 sq ft.</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>14 E 011</u>	Owner: <u>SUSAN WILLIAMS</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>William Legere P.O. Box 4371 Portland Me 04101 318-3378</u>	Cost Of Work: <u>\$3482.00</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Front entry, stairway</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>same as above</u>		
Project description: <u>Build Front entry, stairway system same footprint as is now there 'side entry</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>William Legere or Susan Williams</u> Mailing address: _____ Phone: <u>318-3378</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME	<u>William Legere</u>	Date: <u>10/10/06</u>
OCT 10 2006 RECEIVED		
This is not a permit; you may not commence ANY work until the permit is issued.		
#225		

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1487	Date Applied For: 10/11/2006	CBL: 016 E011001
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Location of Construction: 79 St Lawrence St	Owner Name: Williams Susan A	Owner Address: 83 St Lawrence St	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Multi-residential rebuild stairs in same footprint	Proposed Project Description: Rebuild stairs in same footprint
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/24/2006

Note: **Ok to Issue:**

- 1) This property shall remain a four family dwelling with a home occupation in the first floor unit. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 3) This permit is being issued with the understanding that all the work will take place within the existing footprint.

Dept: Building **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 11/06/2006

Note: **Ok to Issue:**

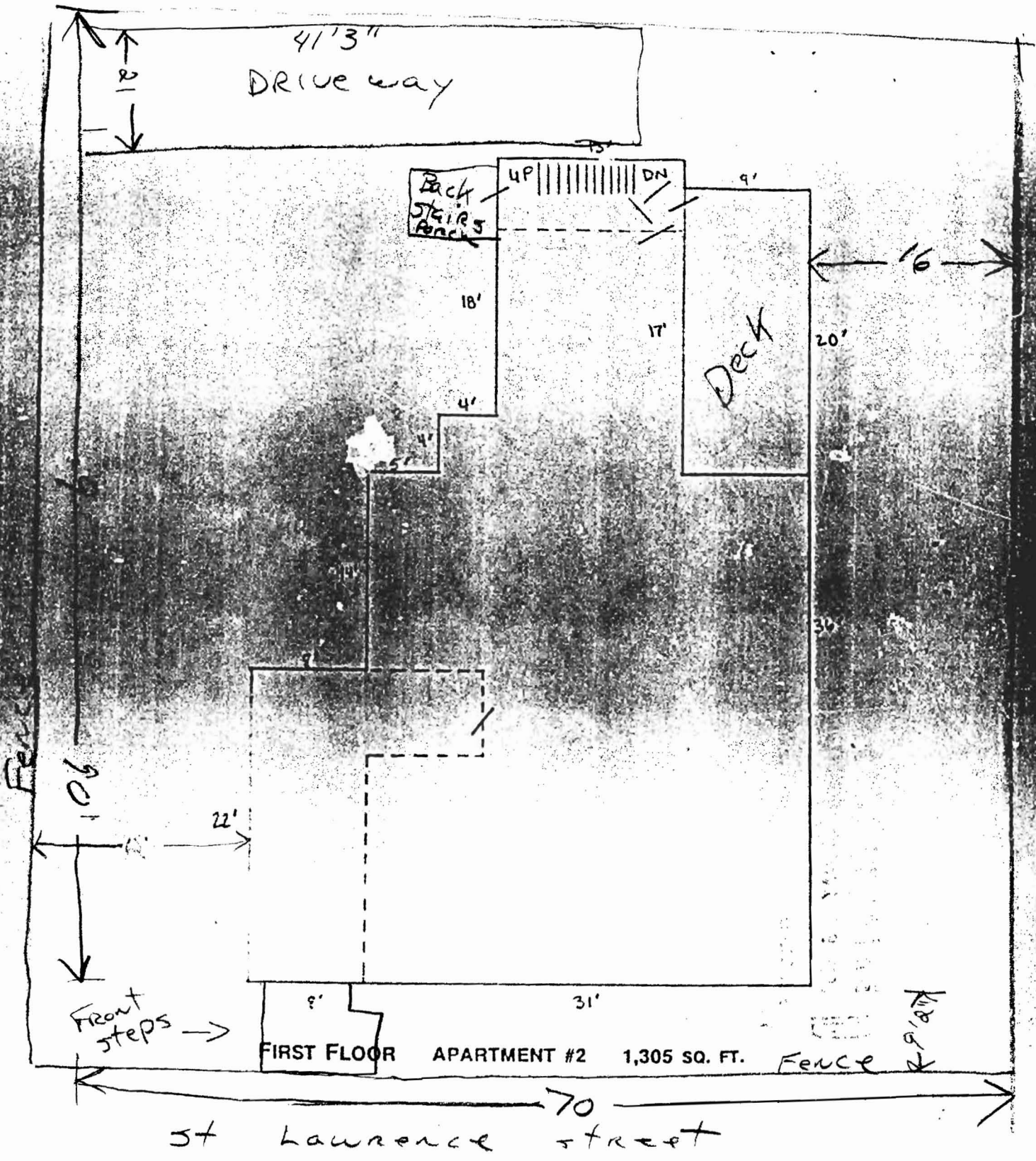
- 1) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard. Stair treads shall not be less than 11". Stair risers shall not be more than 7".
- 2) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 10/24/2006

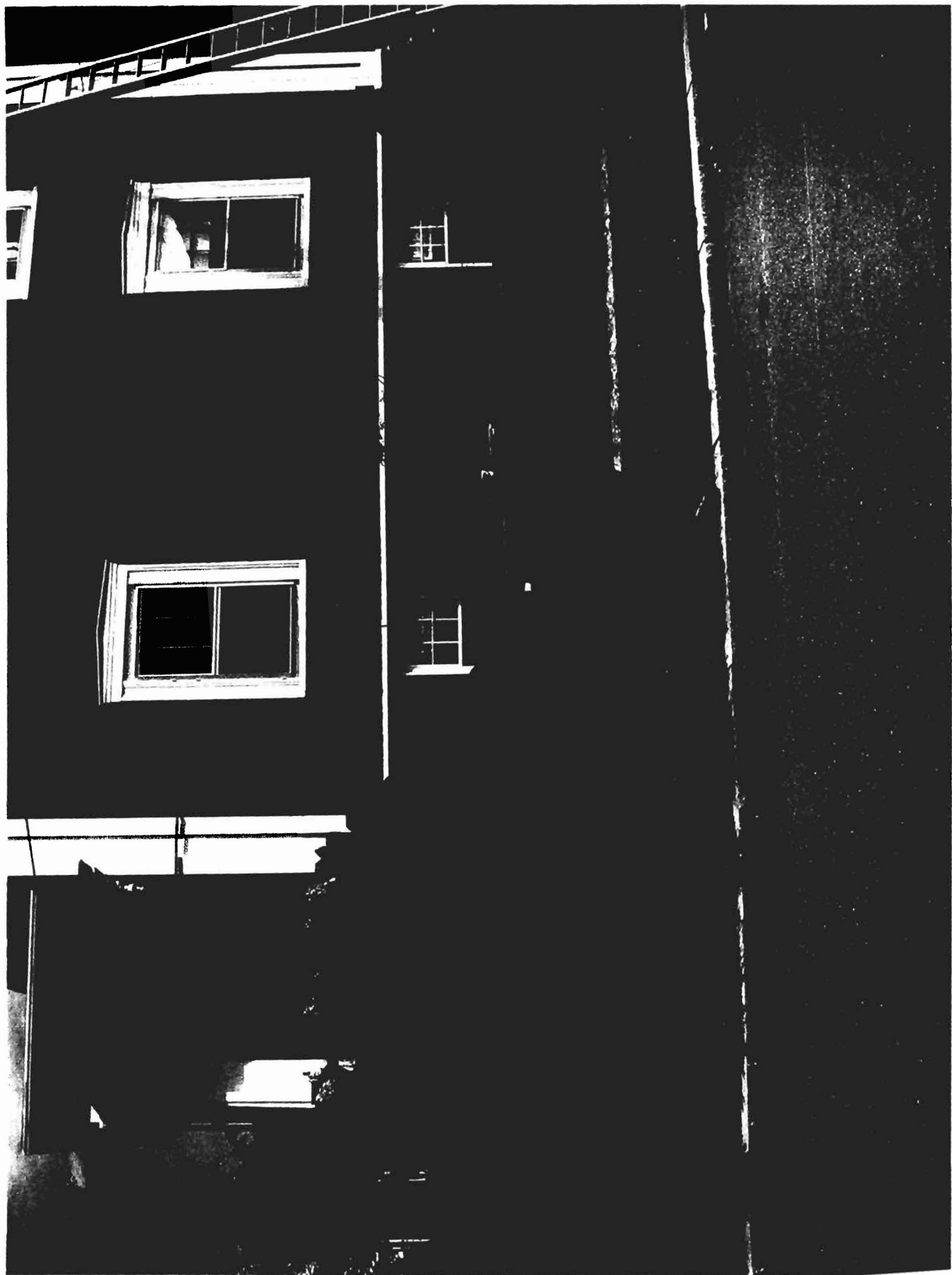
Note: **Ok to Issue:**

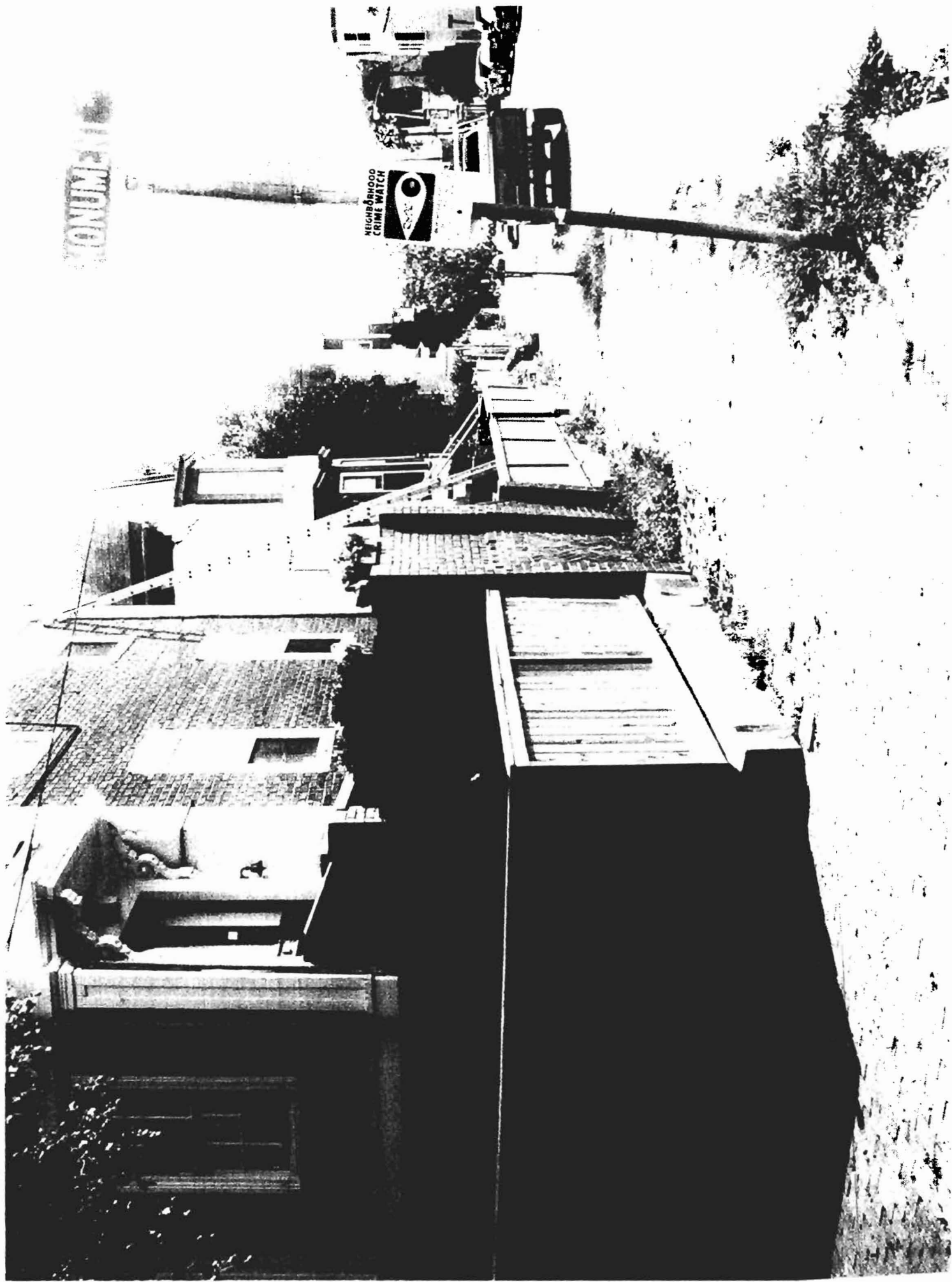
- 1) Temporary stairs shall be available for use at all times
- 2) The second means of egress shall be open and available at all times

ELL MAP 016
WILSON ST



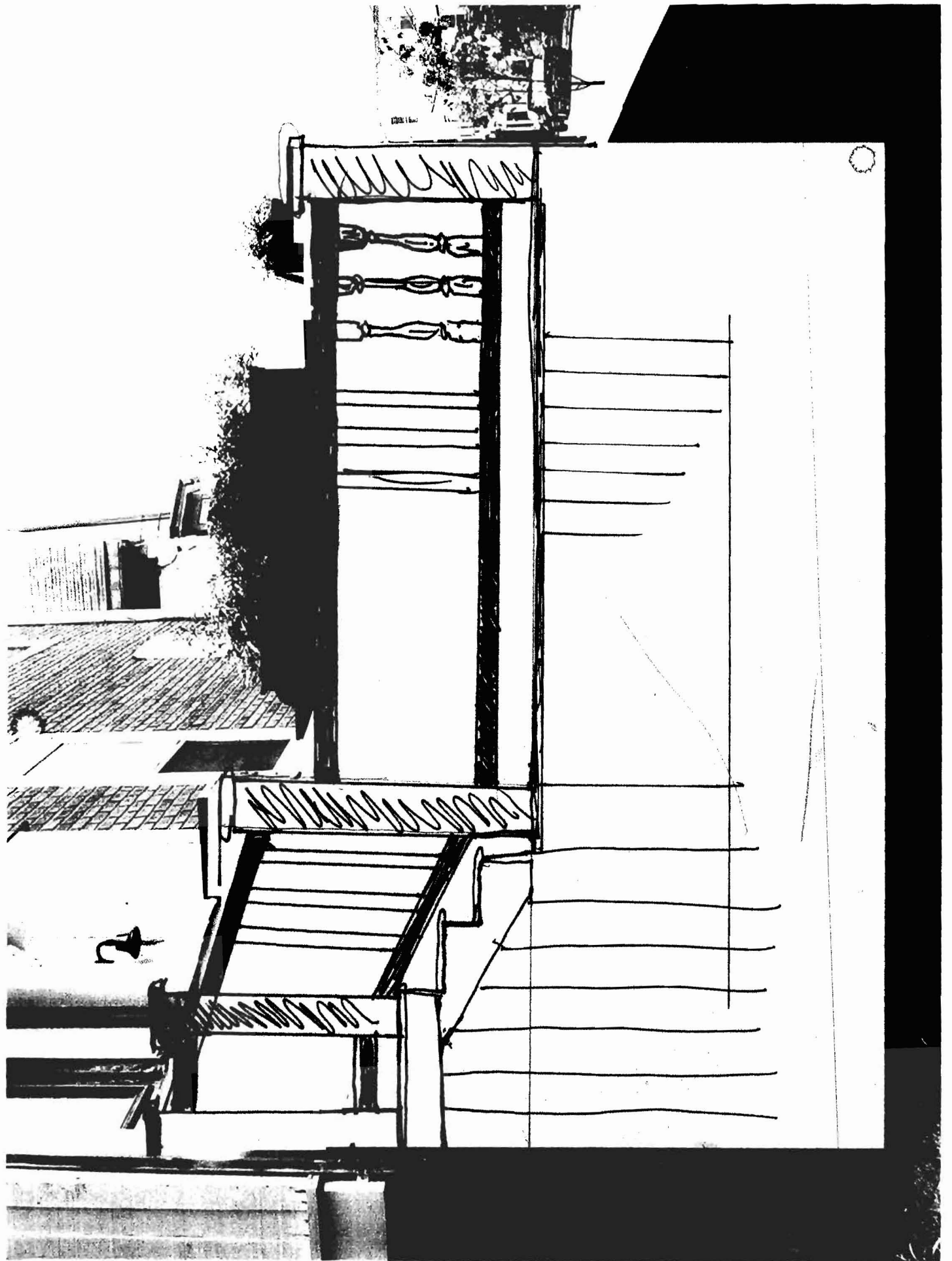












Type of foundation system

May be an existing foundation (footing) for old brick stairway, if not ;

- A. Will pour 8" dia. Sauna tubes ✓
- B. Depth below grade , 4 feet
- C. Set directly on concretetied together at bottom and middle with 2x4 's also to be used for Cedar tongue + groove nailing. ✓
- D. Shown on plan

Framing members

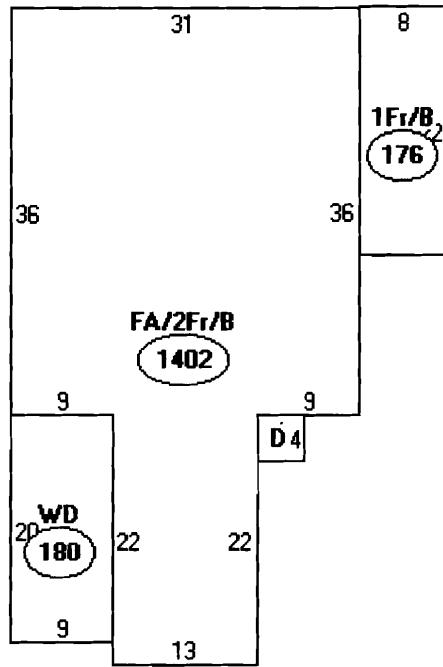
- A. Columns, 4x4 or 4x6 cedar postscolumns will be trimmed out at deck level with 3/4 cedar boards for decorative purpose. ✓
- B. Back rim joist will be lagged into house framing, joist hangers will be used on joists at house and outside double rim joist. ✓
- C. 2x8 pressure treated for joist and rim joists ...joist spaced at 16 on center...double rim joists on 3 sides. 2 rows of blocking spaced accordingly. ✓
(If possible....homeowner has 2x6 spruce they would like to use atI would triple rim joist and double floor joist at 12 " on center ... 3 rows of blocking spaced accordingly with 2 extra 4x4's underneath on concrete pads) ✓

Handrail height

- A. Between 38" and 41" ✓
- B. Baluster space at 3.75 " ✓

Stair Details

- A. Tread depth 11" ✓
- B. Riser height between 7" and 7.75 depending. ✓
- C. Nosing on tread....1"
- D width of stairs... no more than 82" not less than 79".....will use 5 - 2x12 stringers for stairs. ✓



Descriptor/Area

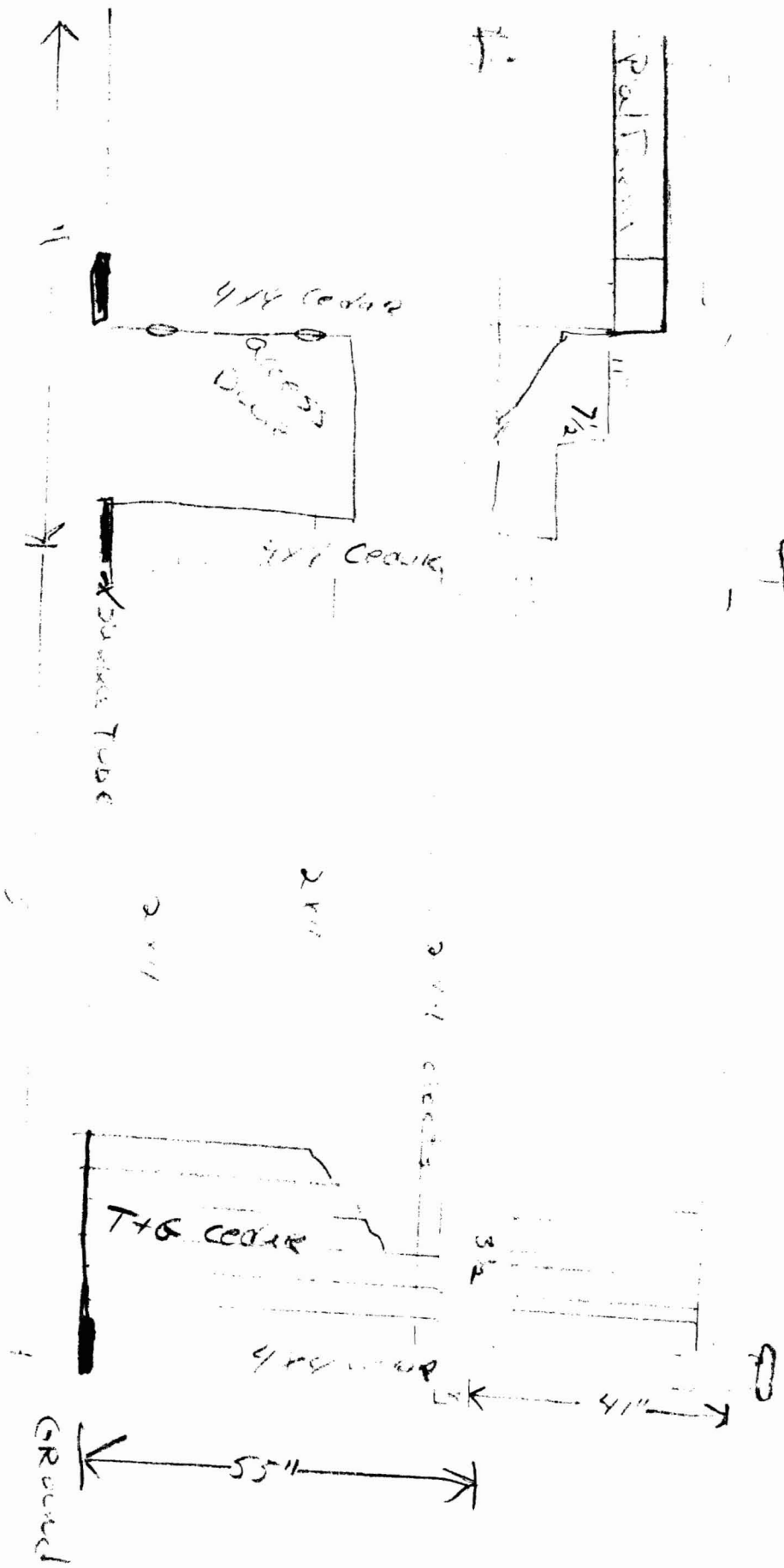
- A: FA/2Fr/B
1402 sqft
- B: WD
180 sqft
- C: 1Fr/B
176 sqft
- D: 1Fr/B
16 sqft

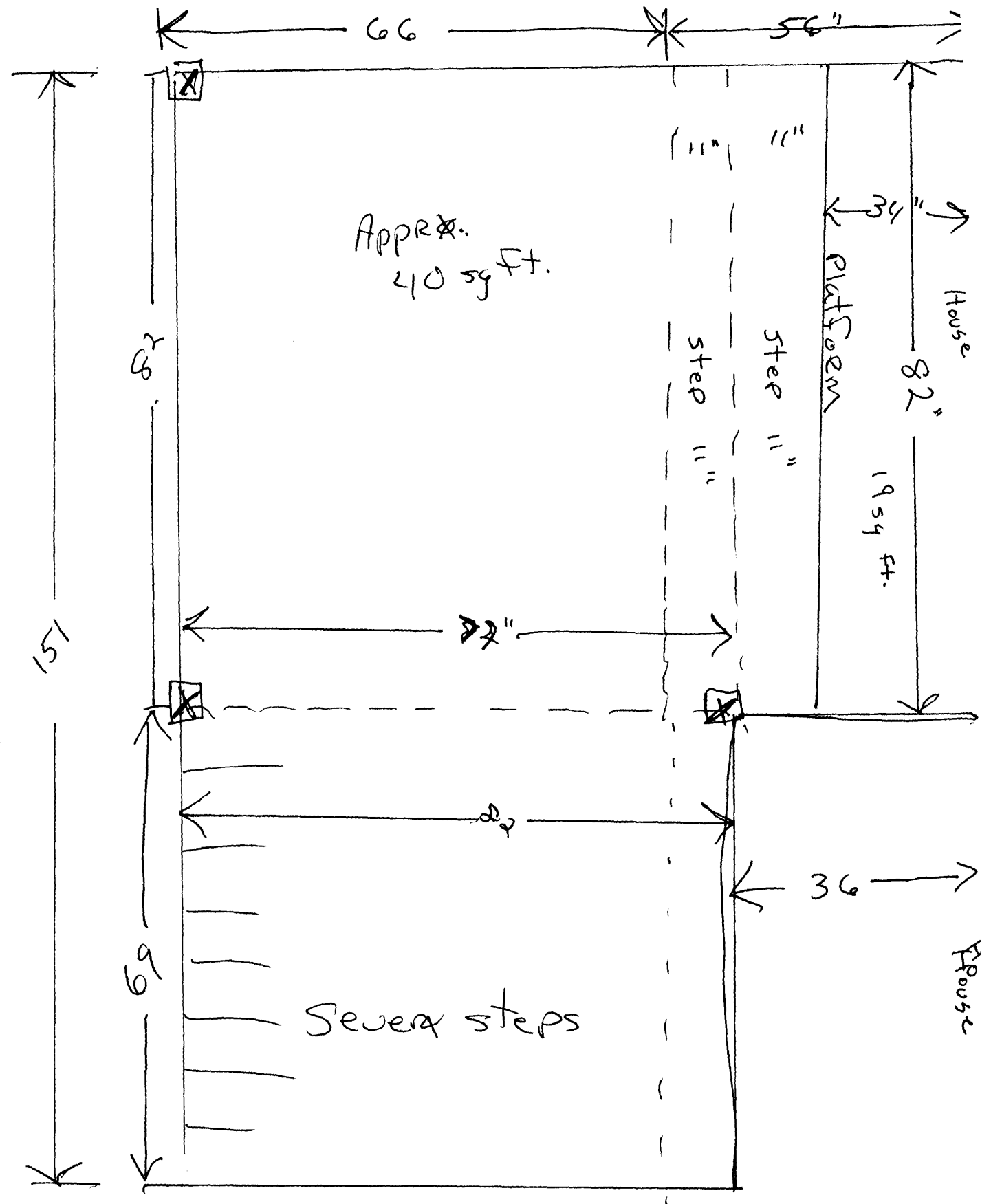
1st 1/2 side

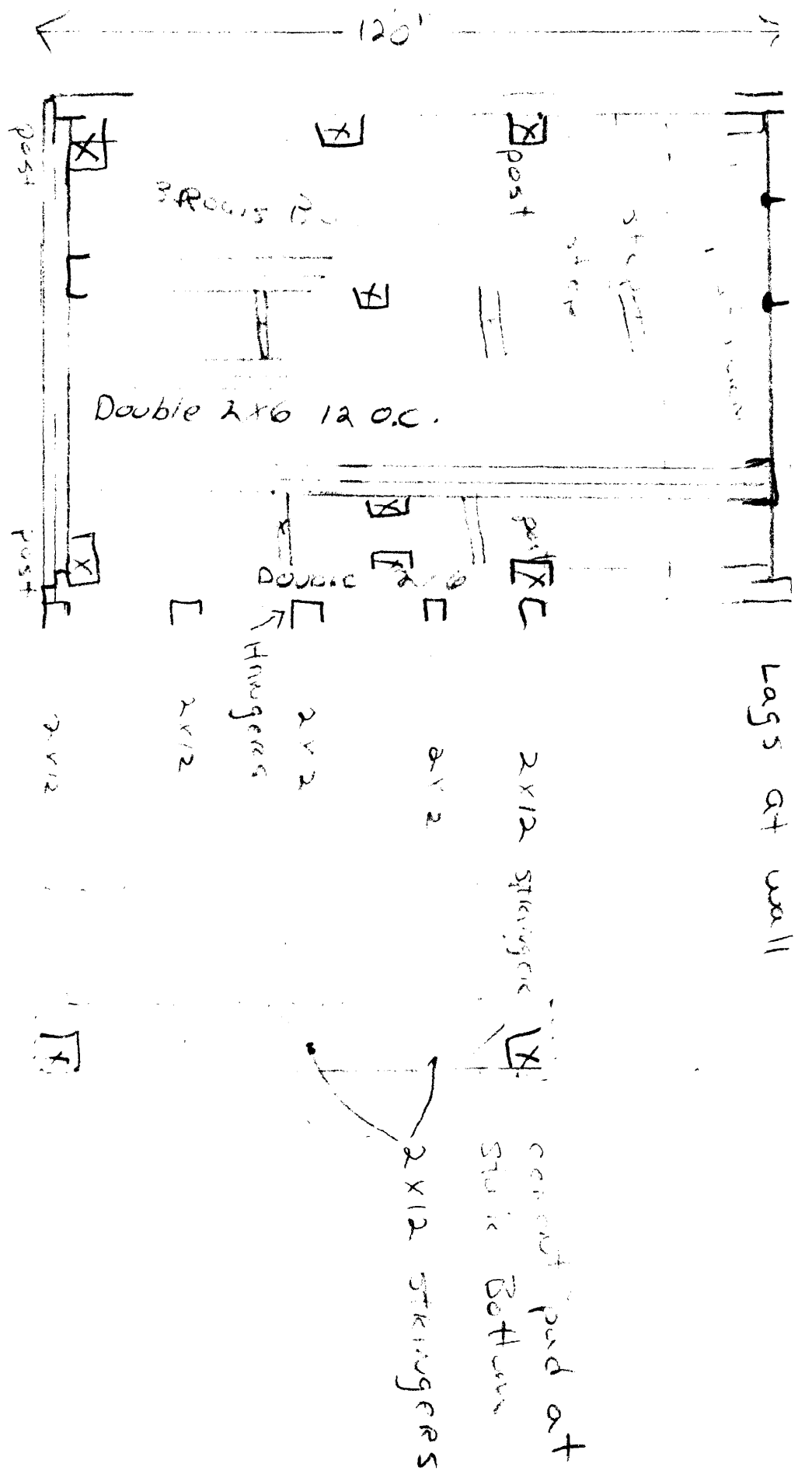
54 cedar Ballast
3.75 spaced.

Top rail and Bottom rail
ground To accept Ballast

posts will be
Cased out in cedar





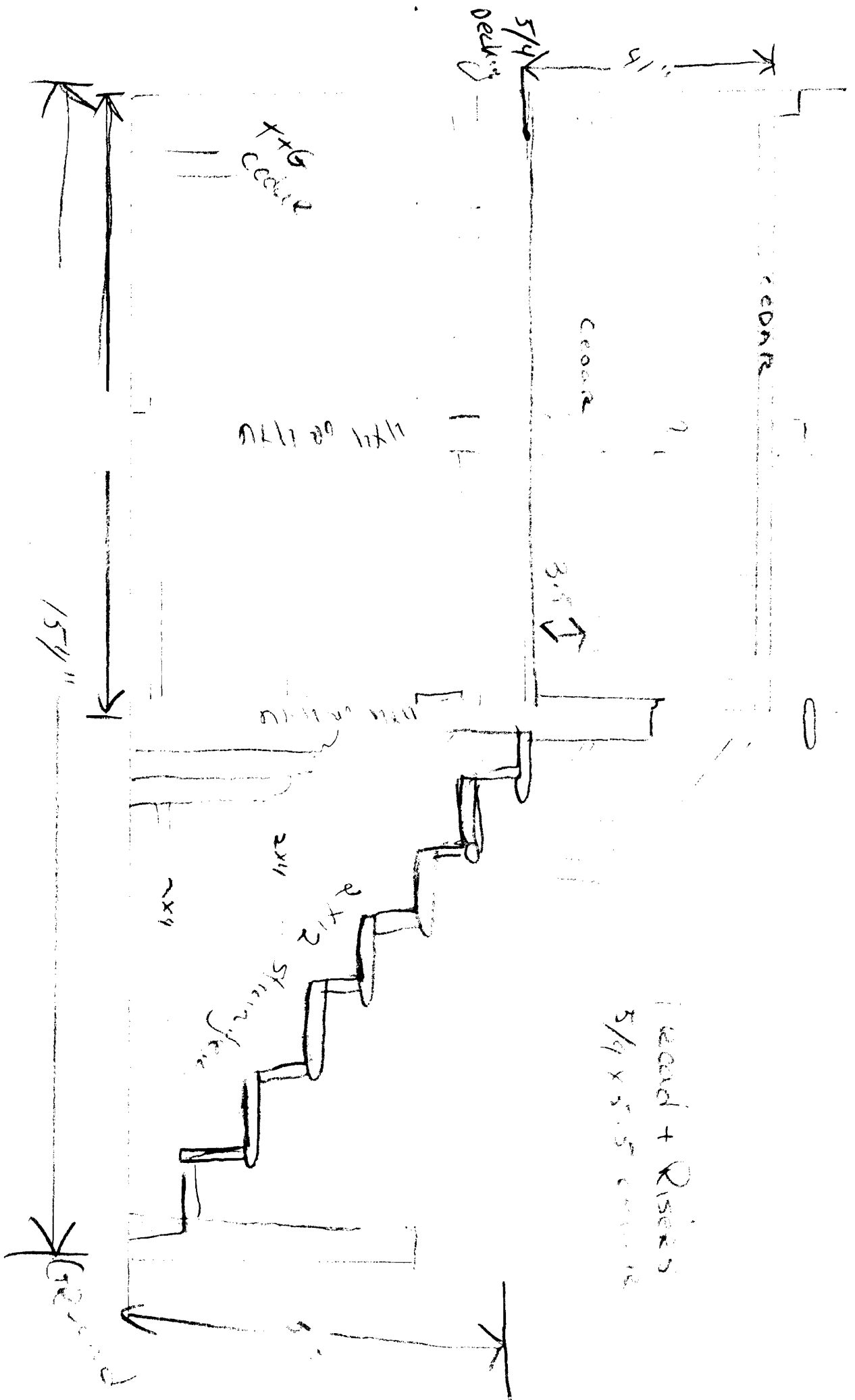


K

15'11"

K

FRONT



cedar + Risers
5/4 x 5.5

cedar

cedar

cedar

1/4" or 1/2"

3'4"

1/4"

2x12

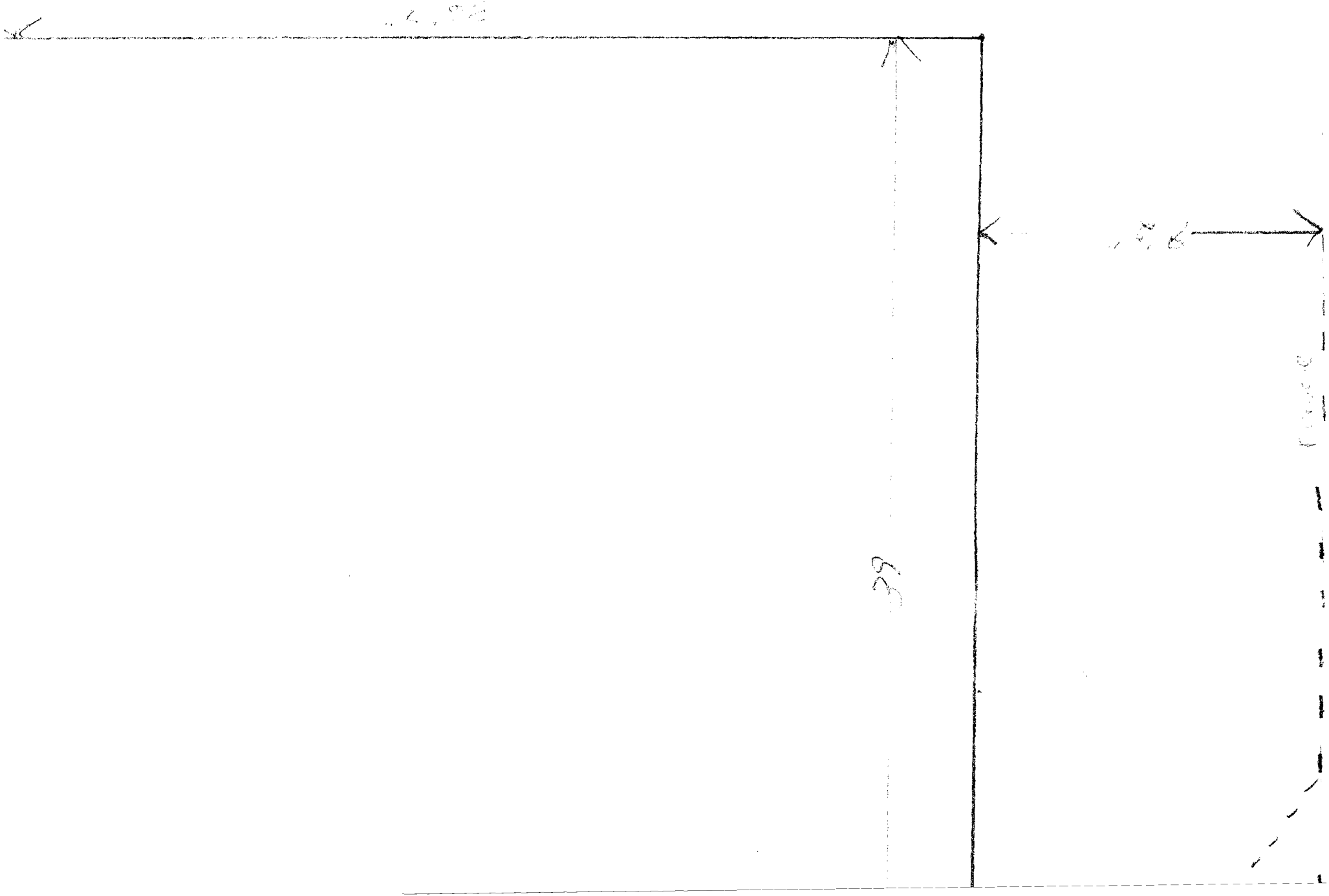
2x12

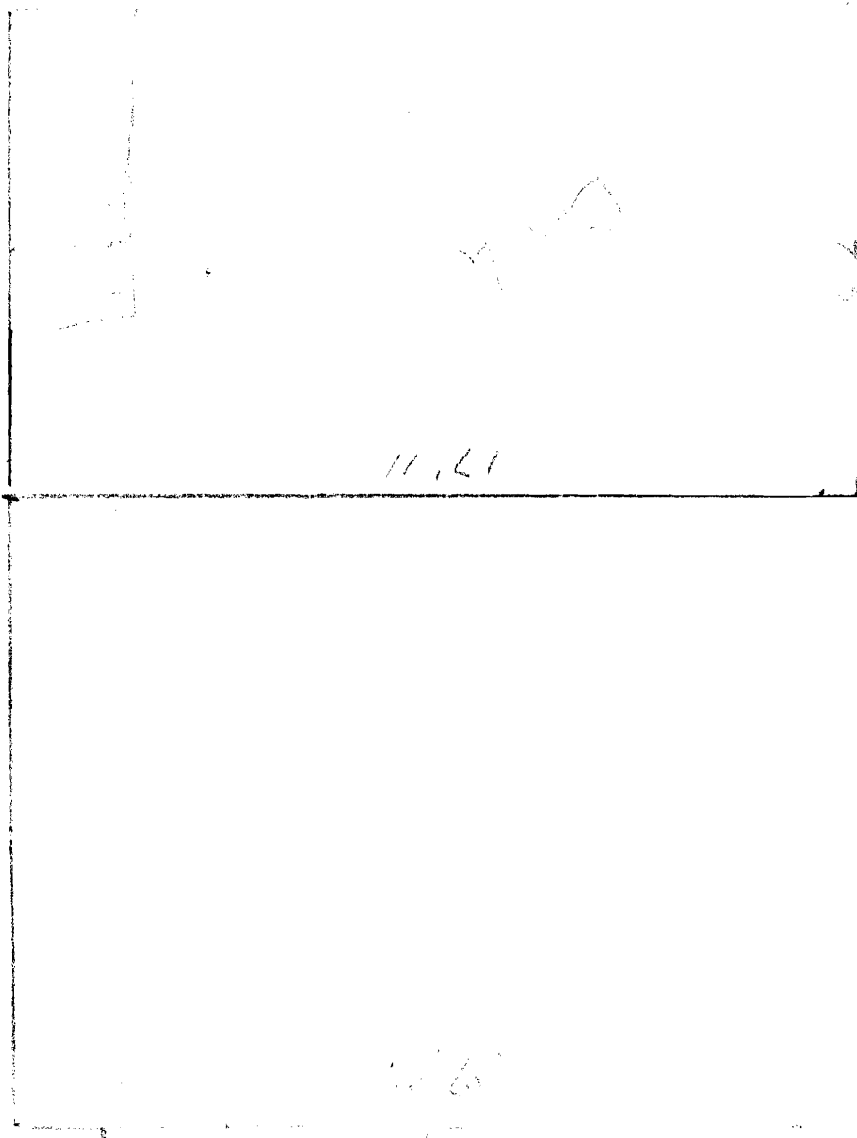
stringers

2x4

15'4"

Ground





11.121

11.121

70"