

30 Monument Street Single Family Residence
Project Summary

R6, CLB 16-E-10
Lot Size 2380 Sq.Ft.
Existing Footprint 1214 Sq.Ft.
Proposed Footprint 1093 Sq.Ft.

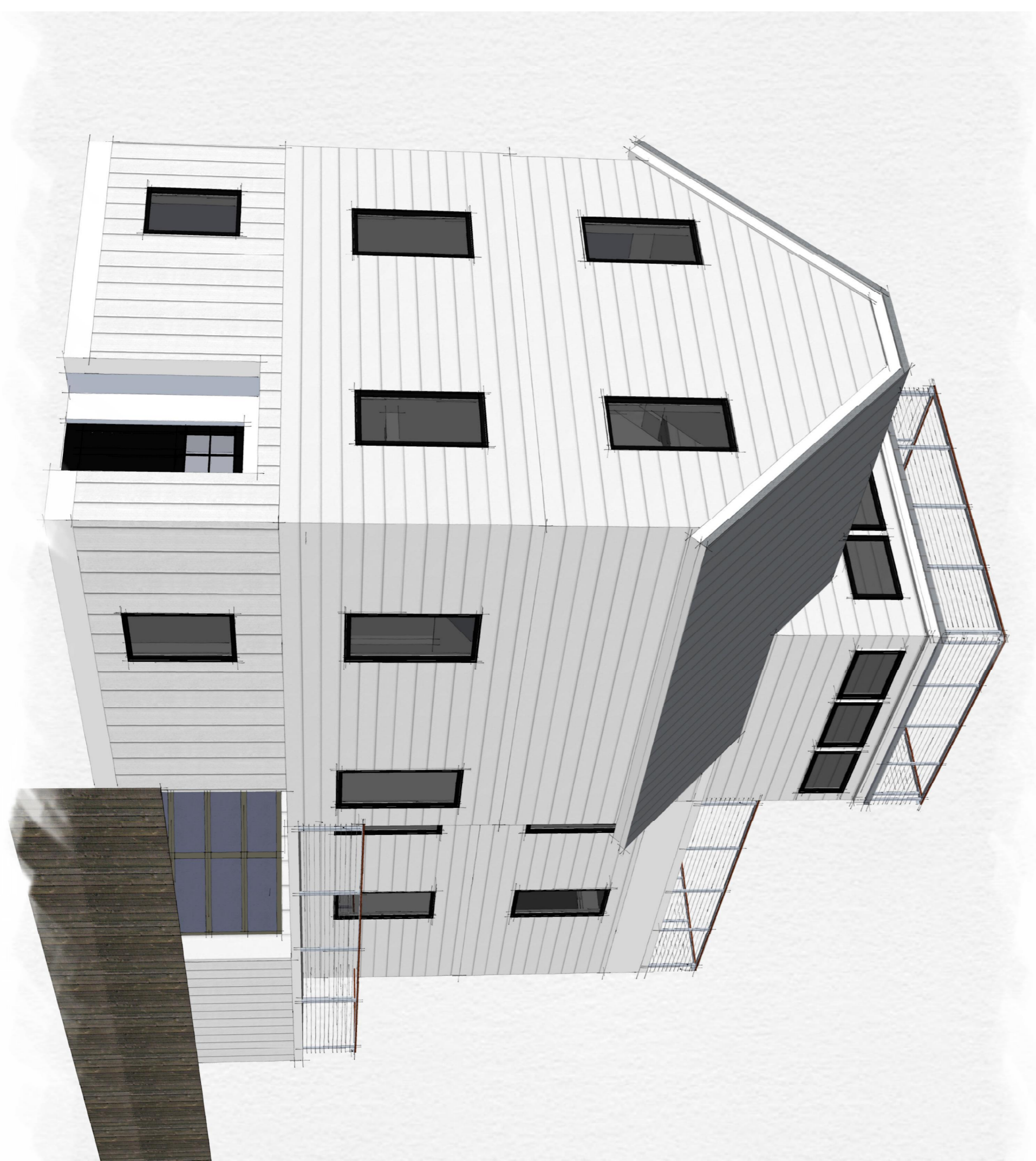
Existing Lot coverage 51%
Proposed lot coverage 46%

Overview

The existing structure is substantially deteriorated and will be entirely replaced. The new footprint will be smaller than the existing footprint and will be less non-conforming. A rear yard will be created by the reduction in footprint. The existing structure is two stories and will be replaced with a three story building with a two level roof top deck.

Code Summary

IRC 2012, NFPA 101 2012
Sprinkler system installed throughout.
Smoke and CO detectors installed.



DRAWING INDEX

- 00 COVER
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- S102 SECOND & THIRD FLOOR FRAMING PLANS
- S103 FOURTH FLOOR/ROOF & UPPER DECK FRAMING PLANS
- S201 FOUNDATION DETAILS
- S301 FRAMING DETAILS
- S401 SHEAR WALL ELEVATIONS



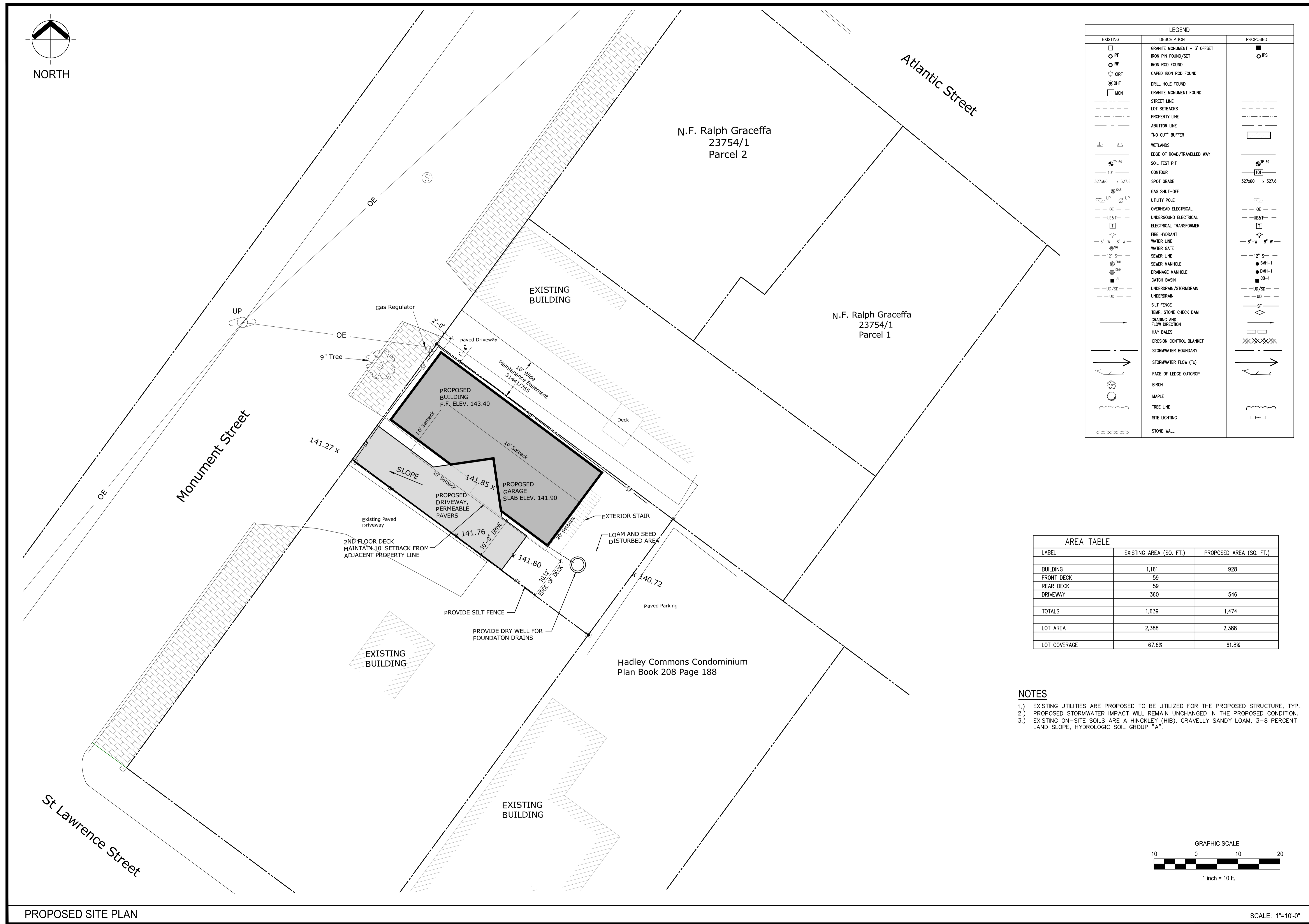
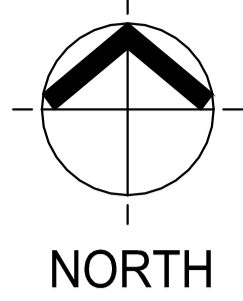
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58 FORE ST., PORTLAND, ME
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T. 207-749-7400

MONUMENT STREET
30 MONUMENT ST
PORTLAND, ME

SHEET TITLE
COVER SHEET
PERMIT SET

REVISION	DATE

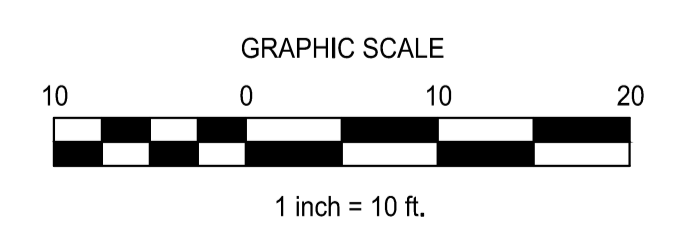
DRAWN BY: BB
DATE: October 21, 2014



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
□	GRANITE MONUMENT - 3' OFFSET	■
○	IRON PIN FOUND/SET	○
○	IRON ROD FOUND	
○	CAPED IRON ROD FOUND	
○	DRILL HOLE FOUND	
□	GRANITE MONUMENT FOUND	
---	STREET LINE	---
---	LOT SETBACKS	---
---	PROPERTY LINE	---
---	ABUTTOR LINE	---
---	"NO CUT" BUFFER	---
---	WETLANDS	---
---	EDGE OF ROAD/TRAVELLED WAY	---
○	SOIL TEST PIT	○
---	CONTOUR	---
---	SPOT GRADE	---
---	GAS SHUT-OFF	---
---	UTILITY POLE	---
---	OVERHEAD ELECTRICAL	---
---	UNDERGROUND ELECTRICAL	---
---	ELECTRICAL TRANSFORMER	---
---	FIRE HYDRANT	---
---	WATER LINE	---
---	WATER GATE	---
---	SEWER LINE	---
---	SEWER MANHOLE	---
---	DRAINAGE MANHOLE	---
---	CATCH BASIN	---
---	UNDERDRAIN/STORMDRAIN	---
---	UNDERDRAIN	---
---	SILT FENCE	---
---	TEMP. STONE CHECK DAM	---
---	GRADING AND FLOW DIRECTION	---
---	HAY BALES	---
---	EROSION CONTROL BLANKET	---
---	STORMWATER BOUNDARY	---
---	STORMWATER FLOW (Tc)	---
---	FACE OF LEDGE OUTCROP	---
---	BIRCH	---
---	MAPLE	---
---	TREE LINE	---
---	SITE LIGHTING	---
---	STONE WALL	---

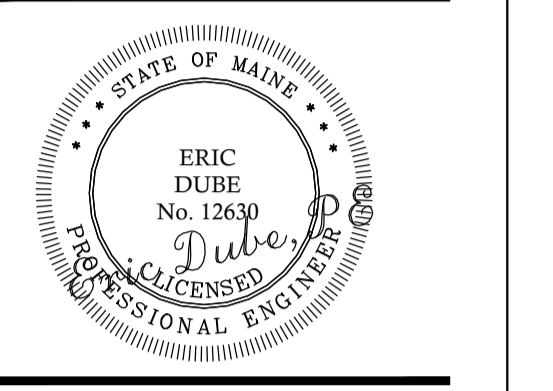
AREA TABLE		
LABEL	EXISTING AREA (SQ. FT.)	PROPOSED AREA (SQ. FT.)
BUILDING	1,161	928
FRONT DECK	59	
REAR DECK	59	
DRIVEWAY	360	546
TOTALS	1,639	1,474
LOT AREA	2,388	2,388
LOT COVERAGE	67.6%	61.8%

- NOTES**
- EXISTING UTILITIES ARE PROPOSED TO BE UTILIZED FOR THE PROPOSED STRUCTURE, TYP.
 - PROPOSED STORMWATER IMPACT WILL REMAIN UNCHANGED IN THE PROPOSED CONDITION.
 - EXISTING ON-SITE SOILS ARE A HINCKLEY (HIB), GRAVELLY SANDY LOAM, 3-8 PERCENT LAND SLOPE, HYDROLOGIC SOIL GROUP "A".



CASCO BAY ENGINEERING
 424 Fore Street
 Portland, ME 04101
 Phone 207.842.2800
 Fax 207.842.2828
 www.cascobayengineering.com

CLIENT:
CORNERSTONE BUILDING & RESTORATION
 44 COYLE STREET
 PORTLAND, ME 04110



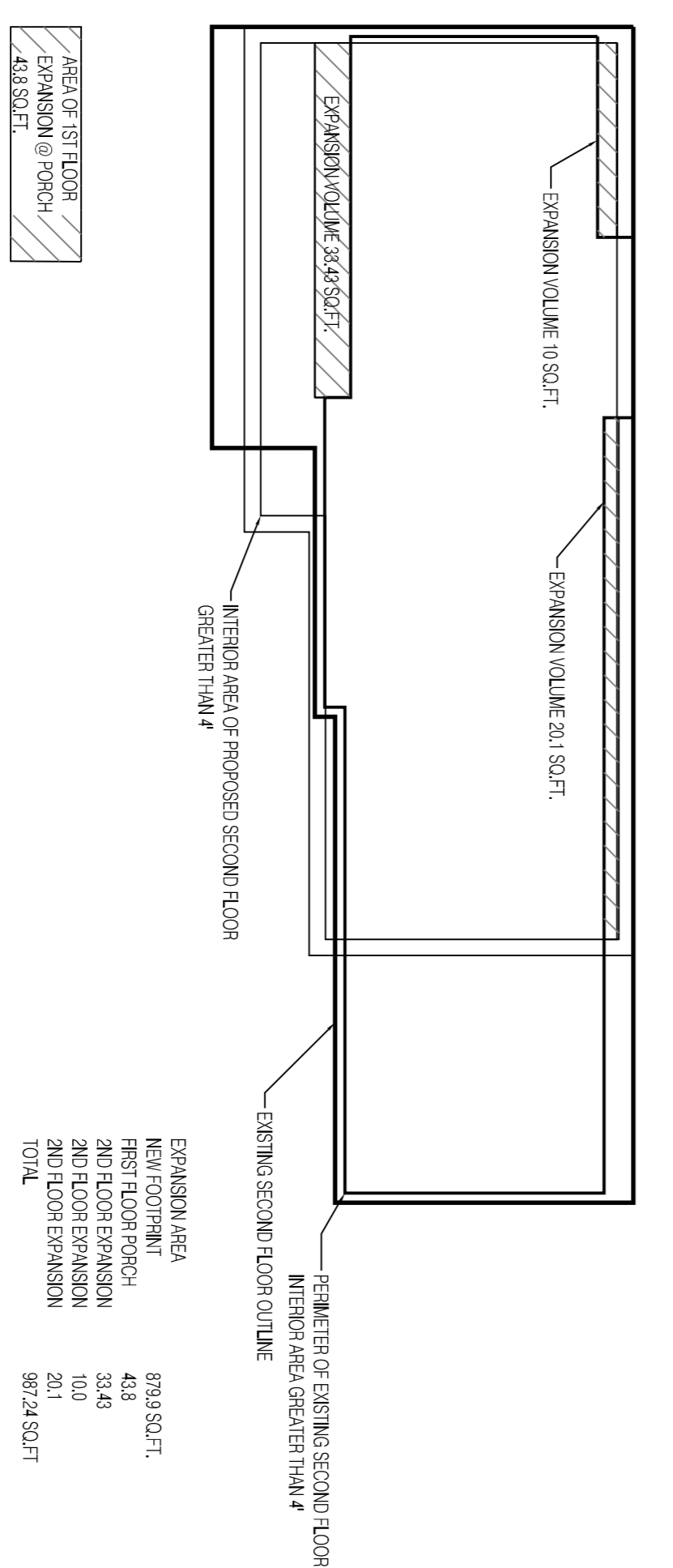
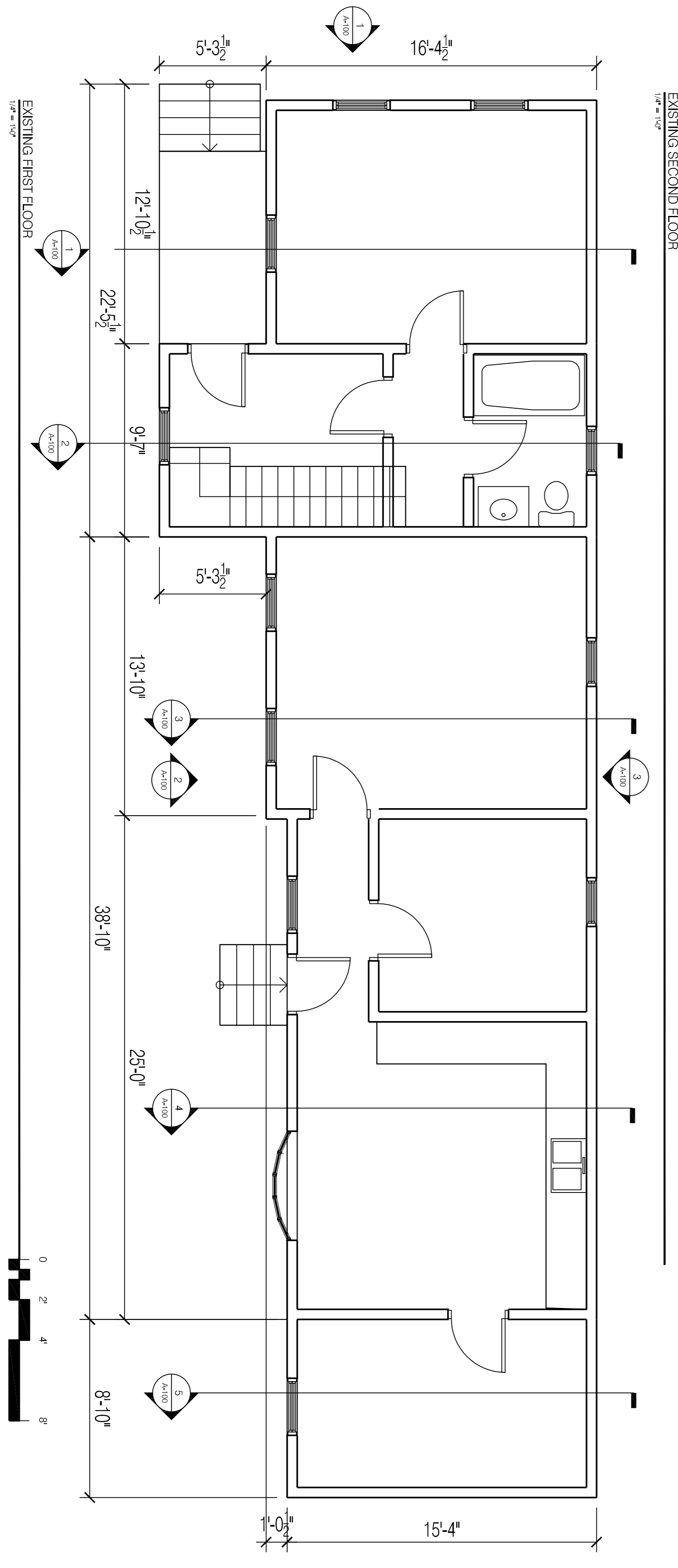
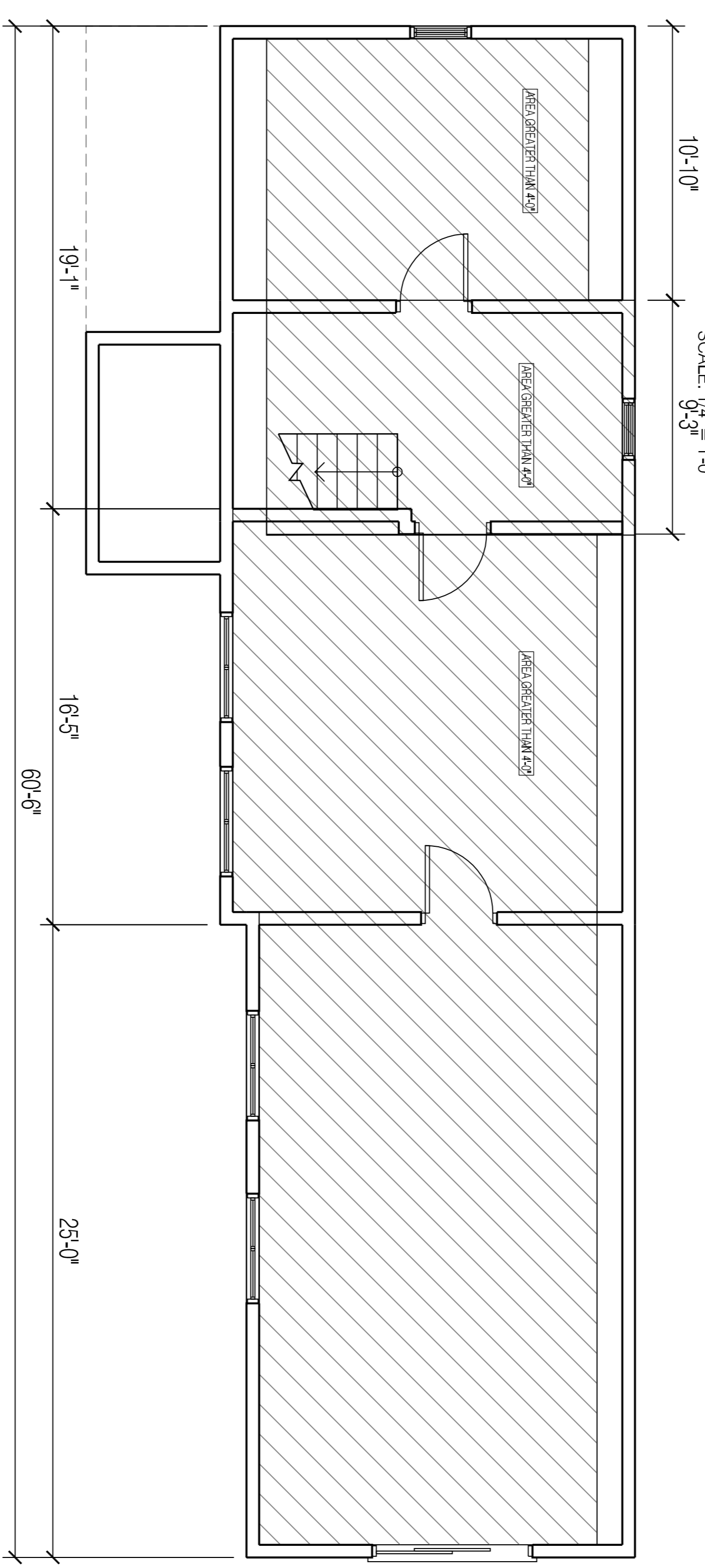
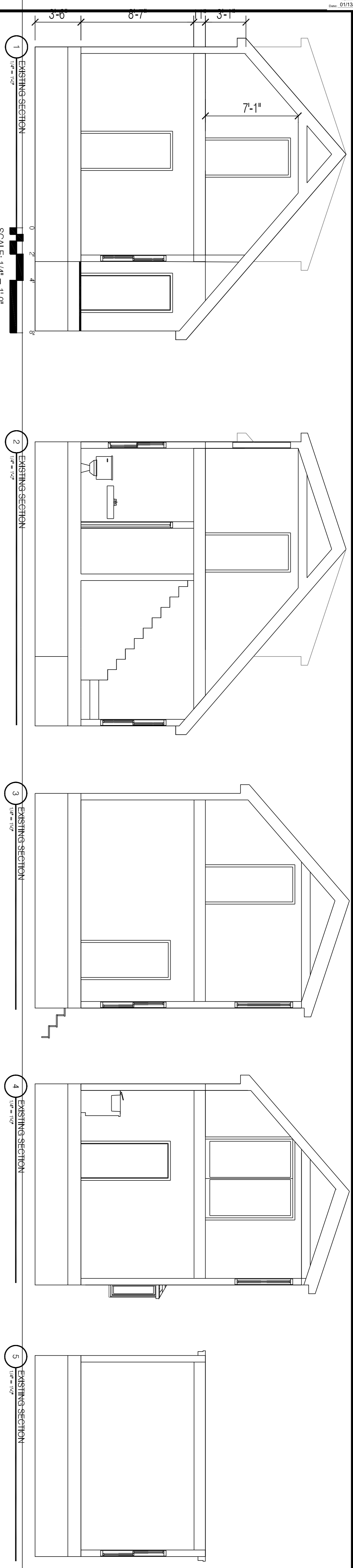
30 MONUMENT STREET RENOVATION
 PORTLAND
 MAINE

NO.	DATE	ISSUE
A	11-25-14	FOR PLANNING REVIEW
B	12-23-14	FOR PLANNING REVIEW
0	1-6-15	ISSUED FOR CONSTRUCTION

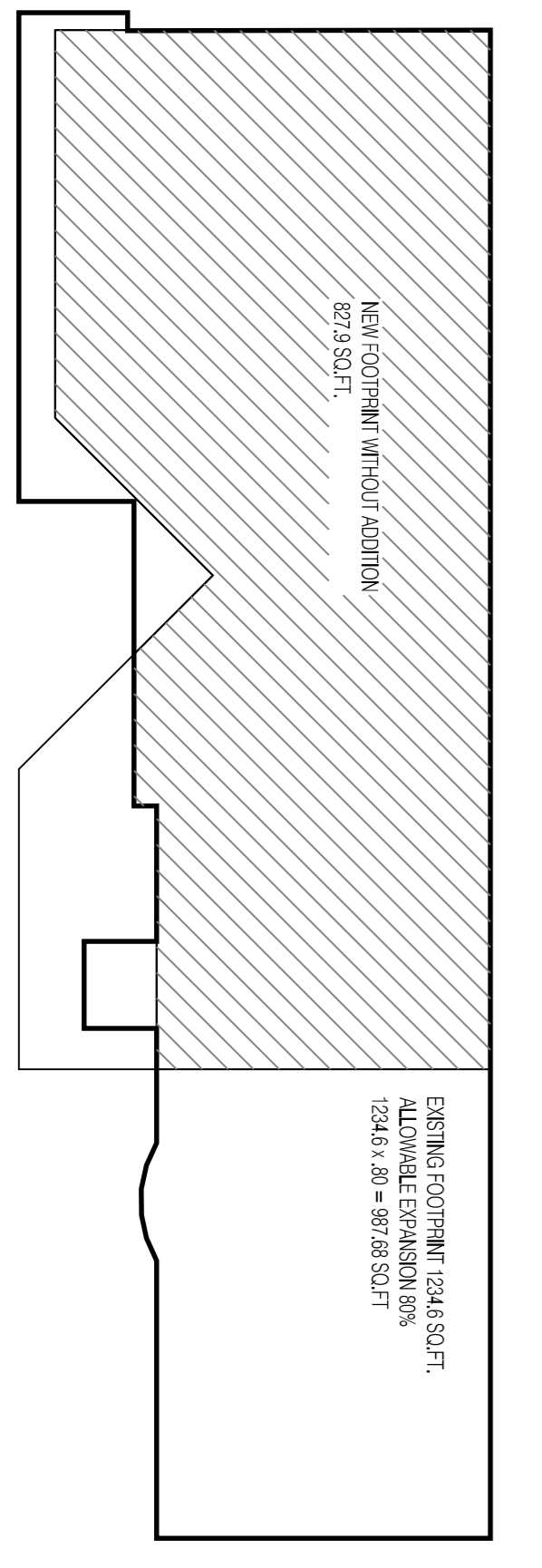
SHEET TITLE:
PROPOSED SITE PLAN

DESIGNED: ED
 DRAWN: ED
 DATE: 11-24-14
 CADD FILE: 14-156-C1.DWG
 PROJECT NUMBER: 14-156

C101



EXPANSION AREA	879.8 SQ. FT.
NEW FOOTPRINT	43.3
FIRST FLOOR PORCH	33.4
2ND FLOOR EXPANSION	201
2ND FLOOR EXPANSION	201
TOTAL	987.24 SQ. FT.



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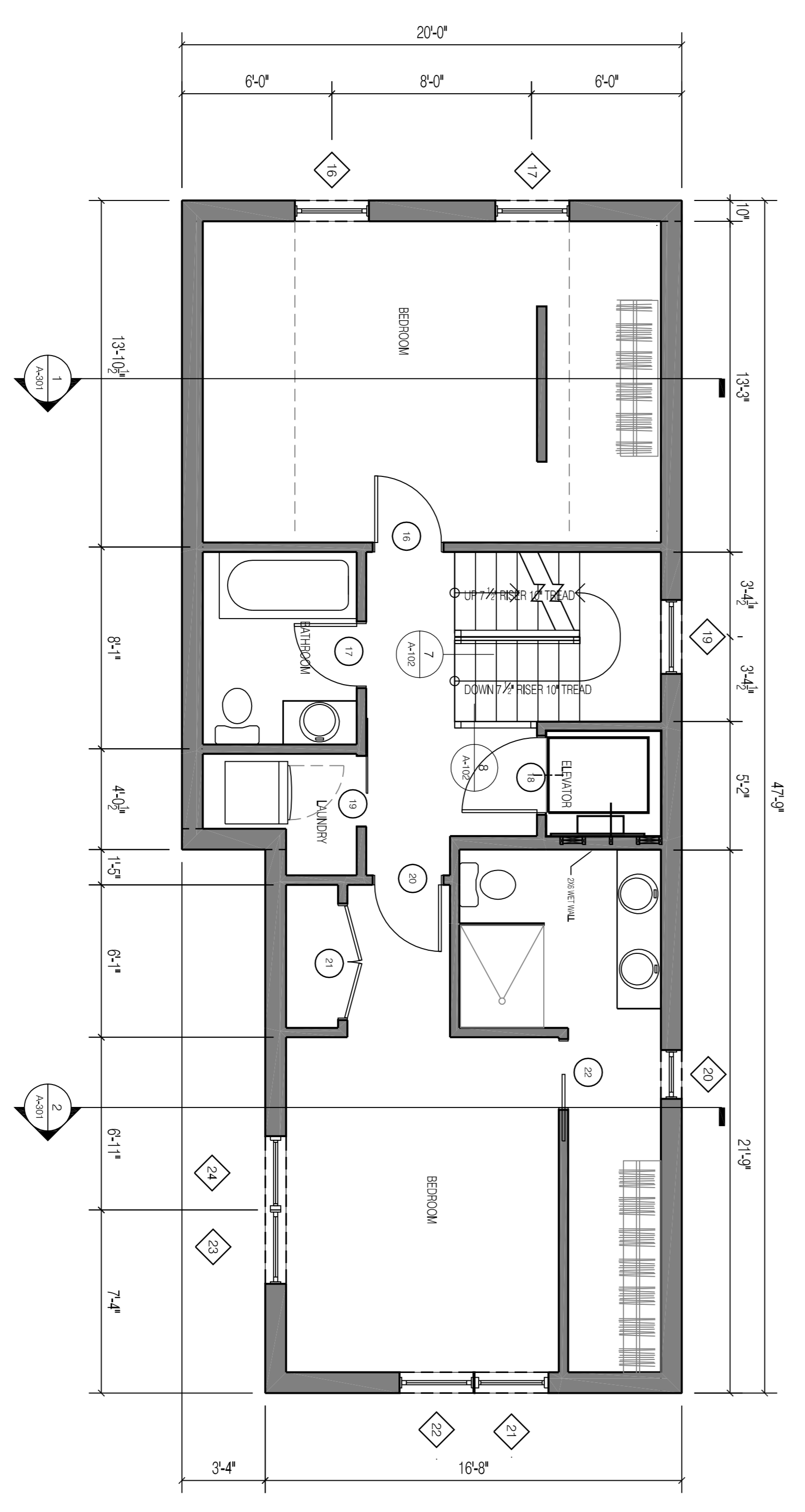
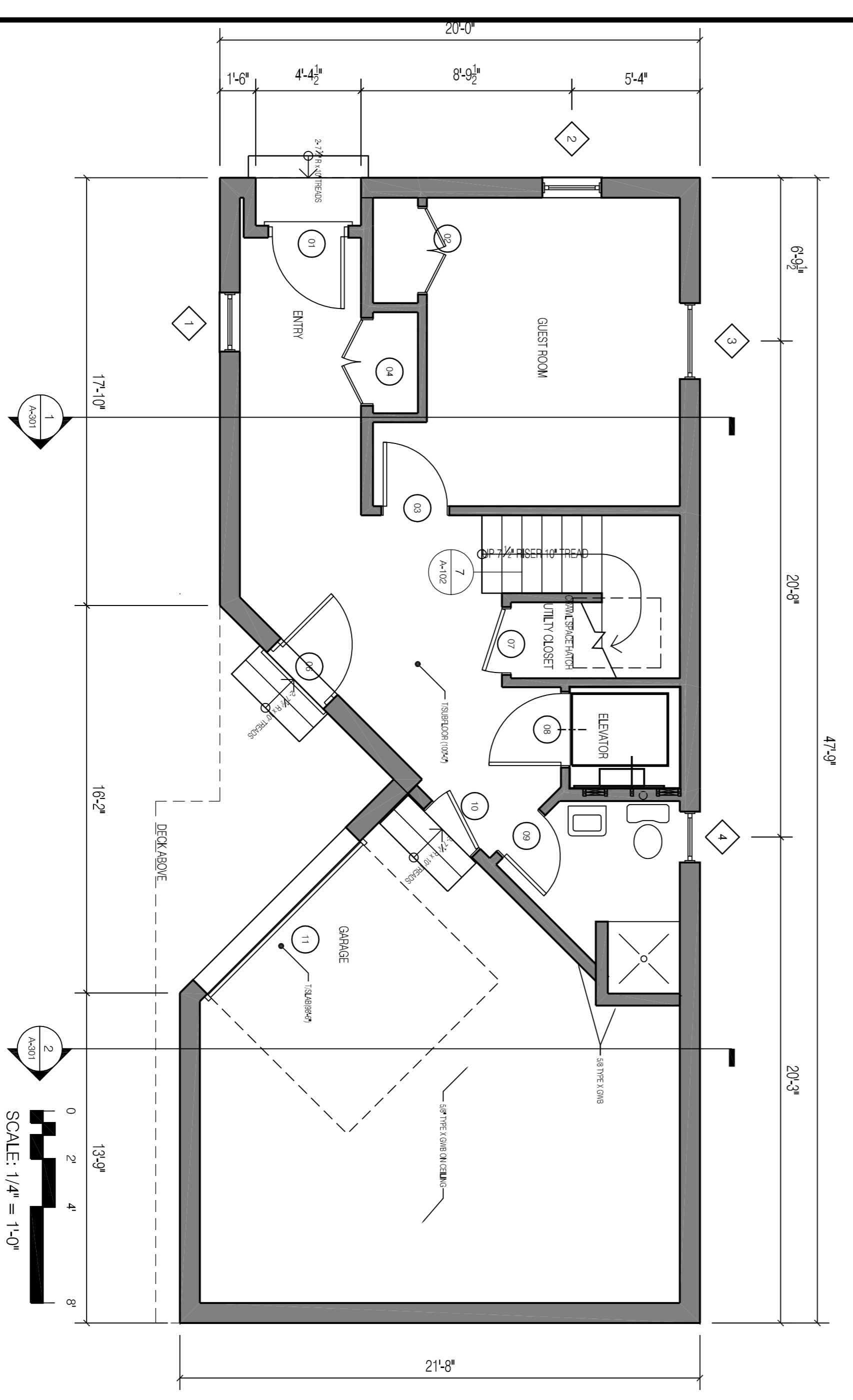
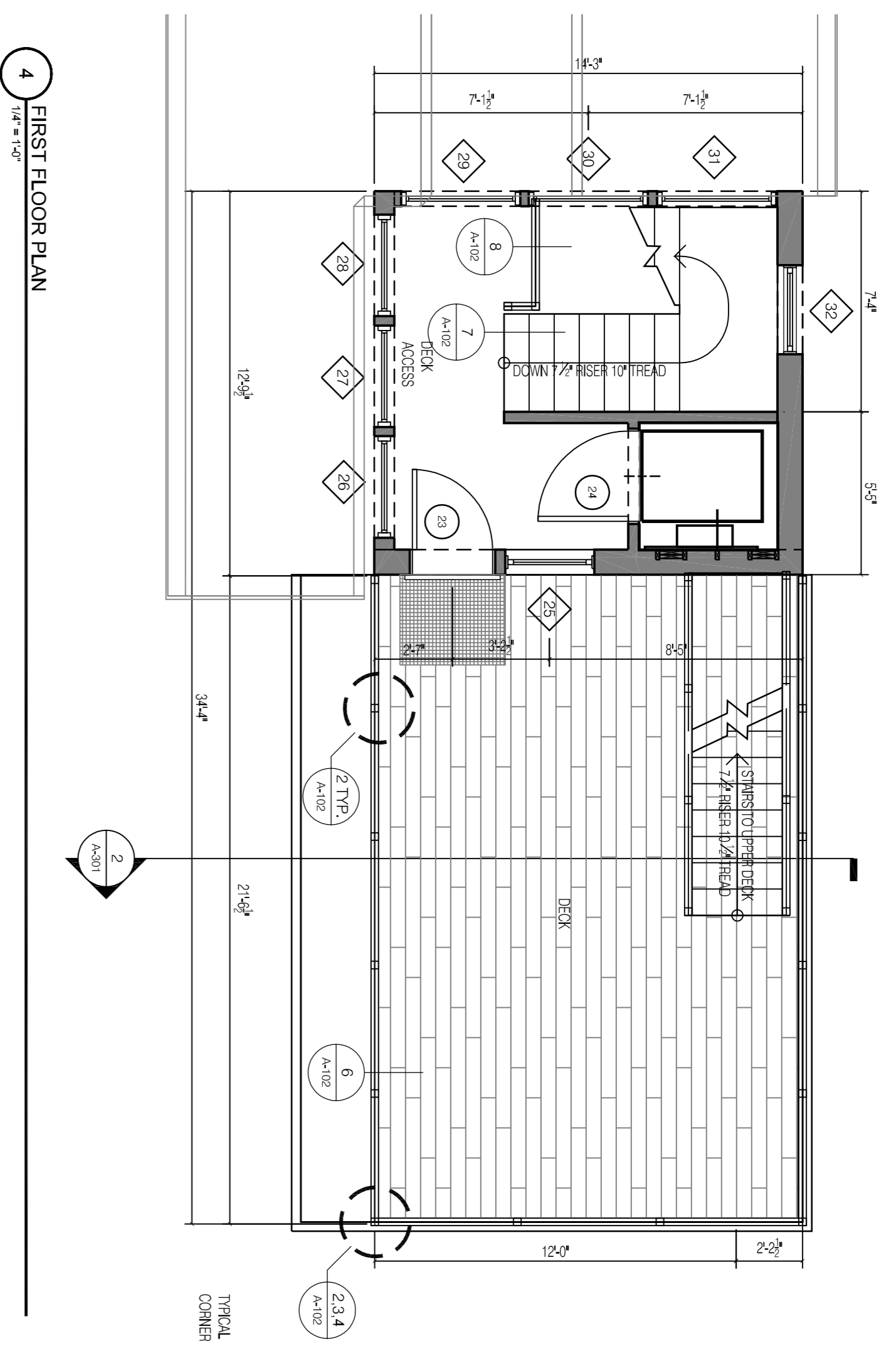
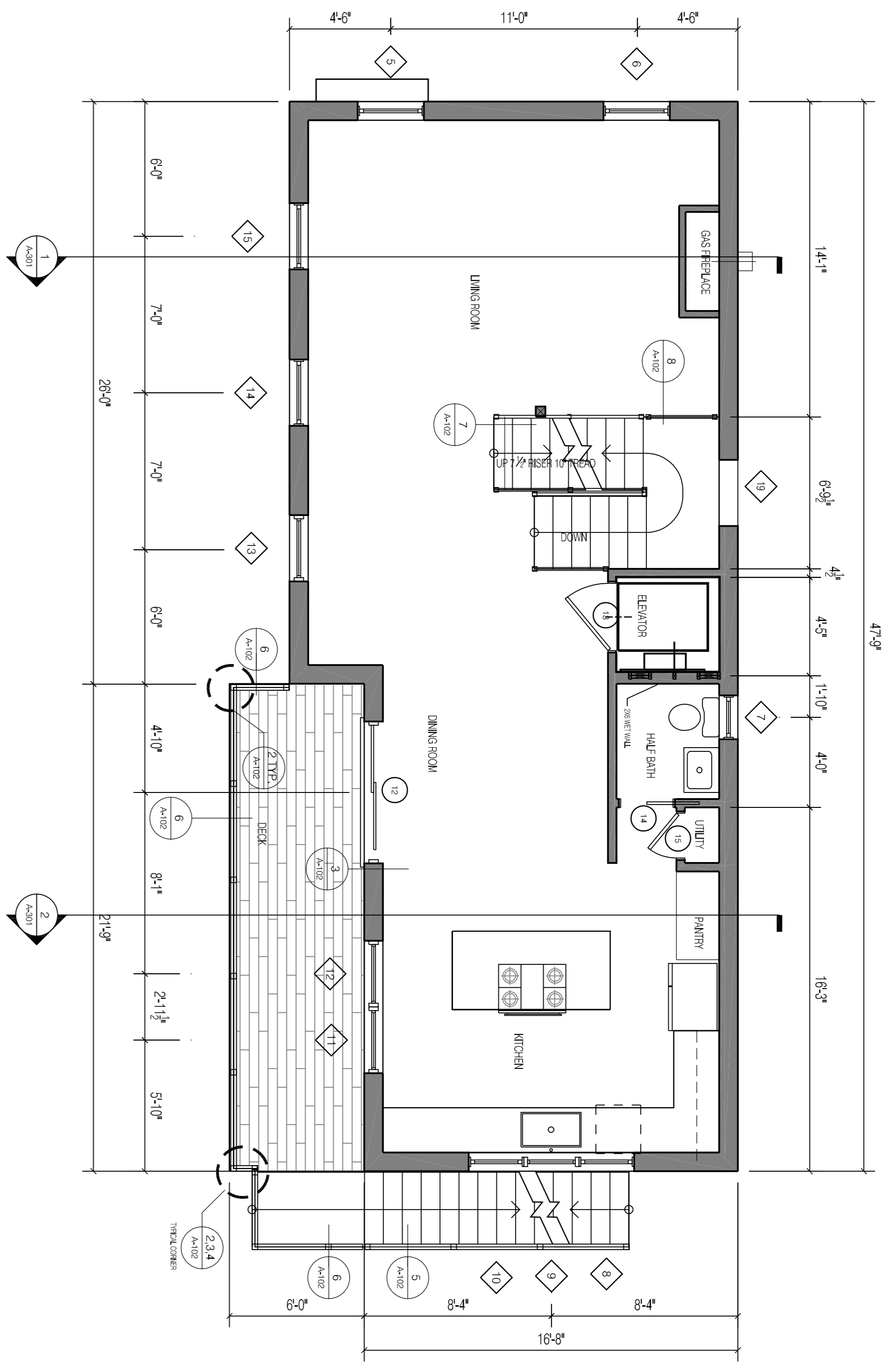
MONUMENT STREET
 30 MONUMENT ST
 PORTLAND, ME

EXISTING STRUCTURE

PERMIT SET

DRAWN BY: RB
 DATE: October 30, 2014

A-100



PROSPECT
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MONUMENT STREET
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FLOOR PLANS
PERMIT SET
 NOT FOR CONSTRUCTION

DESIGNER: BB
 DATE: January 13, 2015

A-101

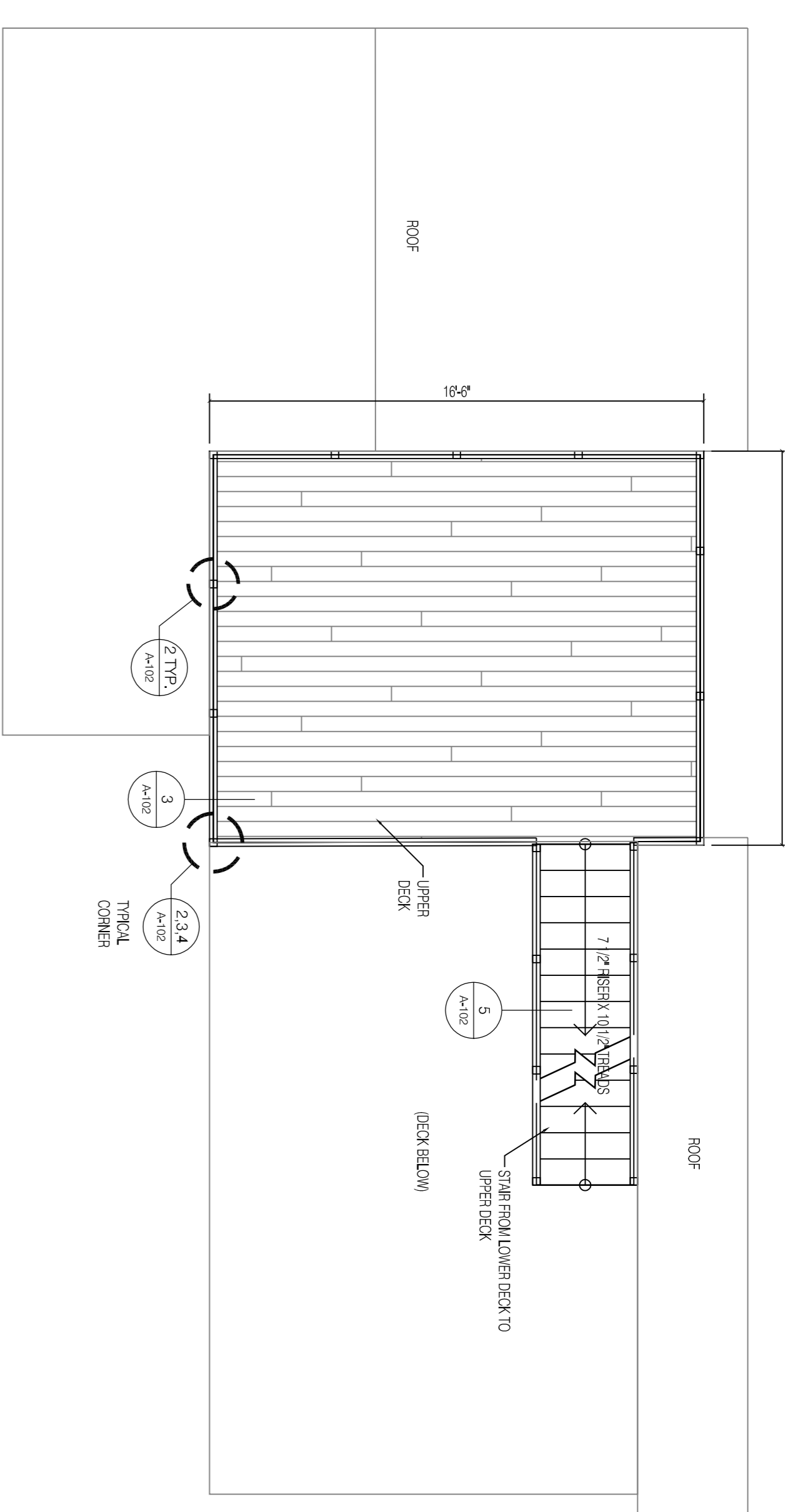
WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	STYLE	NOTES
1	2'-5 1/2"	4'-0"	Casement	---
2	2'-5 1/2"	4'-0"	Casement	Egress
3	3'-0"	2'-0"	Awning	---
4	1'-11 1/2"	2'-0"	Casement	---
5	2'-11 1/2"	5'-0"	Casement	---
6	2'-11 1/2"	5'-0"	Casement	---
7	1'-11 1/2"	4'-0"	Casement	---
8	2'-5 1/2"	4'-0"	Casement	---
9	2'-5 1/2"	4'-0"	Casement	---
10	2'-5 1/2"	4'-0"	Picture	---
11	2'-11 1/2"	5'-0"	Picture	---
12	2'-11 1/2"	5'-0"	Picture	---
13	2'-11 1/2"	5'-0"	Picture	---
14	2'-11 1/2"	3'-0"	Casement	---
15	2'-11 1/2"	3'-0"	Casement	Egress
16	2'-11 1/2"	3'-0"	Casement	Egress
17	2'-11 1/2"	5'-0"	Casement	---
19	2'-11 1/2"	5'-4"	Casement	---
20	1'-11 1/2"	4'-0"	Casement	---
21	2'-11 1/2"	5'-0"	Picture	Egress
22	2'-11 1/2"	5'-0"	Casement	Egress
23	2'-11 1/2"	5'-0"	Casement	Egress
24	2'-11 1/2"	5'-0"	Picture	Egress
25	2'-11 1/2"	4'-0"	Casement	---
26	3'-4 1/2"	2'-5"	Picture	---
27	3'-4 1/2"	2'-5"	Picture	---
28	3'-4 1/2"	2'-5"	Awning	---
29	3'-11 1/2"	2'-5"	Picture	---
30	3'-11 1/2"	2'-5"	Picture	---
31	3'-11 1/2"	2'-5"	Picture	---
32	2'-11 1/2"	5'-4"	Casement	---

DOOR SCHEDULE

MARK	SIZE		MATERIAL	GLAZING	FIRE RATING LABEL	NOTES
	WD	HGT				
1	3'-0"	7'-0"	---	---	---	---
2	4'-6"	6'-8"	---	---	---	---
3	2'-8"	6'-8"	---	---	---	---
4	3'-0"	6'-8"	---	---	---	---
5	3'-0"	6'-8"	---	---	---	---
6	3'-0"	6'-8"	---	---	---	---
7	2'-8"	6'-8"	---	---	---	---
8	3'-0"	6'-8"	---	---	---	---
9	2'-4"	6'-8"	---	---	---	1 Hr. rated
10	2'-8"	6'-8"	---	---	---	---
11	9'-0"	8'-0"	---	---	---	---
12	6'-0"	7'-0"	---	---	---	---
13	3'-0"	6'-8"	---	---	---	---
14	2'-4"	6'-8"	---	---	---	---
15	2'-0"	6'-8"	---	---	---	---
16	2'-8"	7'-0"	---	---	---	Born type slider
17	2'-6"	7'-0"	---	---	---	Born type slider
18	3'-0"	7'-0"	---	---	---	Born type sliding
19	3'-6"	6'-8"	---	---	---	---
20	2'-8"	7'-0"	---	---	---	---
21	4'-6"	7'-0"	---	---	---	---
22	2'-8"	6'-10"	---	---	---	Born type slider
23	2'-8"	6'-10"	---	---	---	---
24	3'-0"	7'-0"	---	---	---	---

1 UPPER DECK PLAN
1/4" = 1'-0"



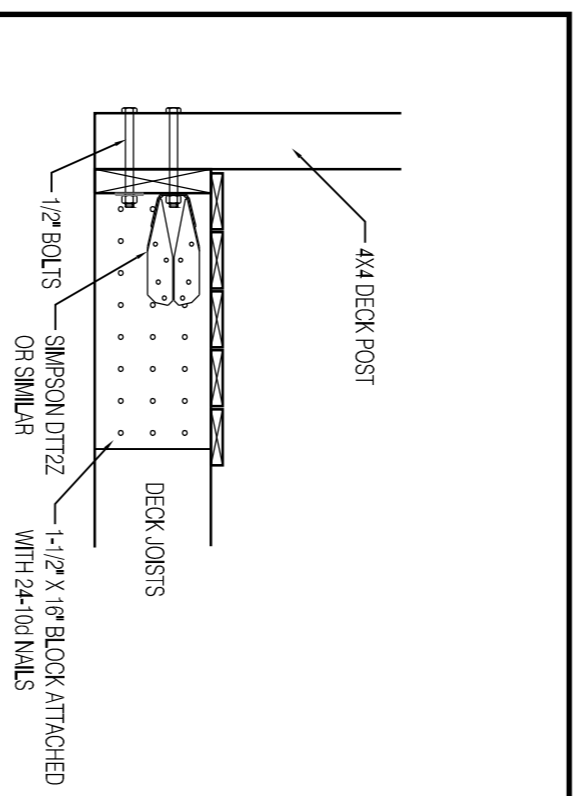
SCALE: 1/4" = 1'-0"

WINDOW NOTES:
 ALL WINDOWS SHALL BE LOW E, ARGON FILLED INSULATING GLASS.
 ALL WINDOWS TO HAVE A U-FACTOR RATING OF 0.30 OR BETTER.
 ALL WINDOW GRILLES SHALL BE SIMULATED DIVIDED LIFE.

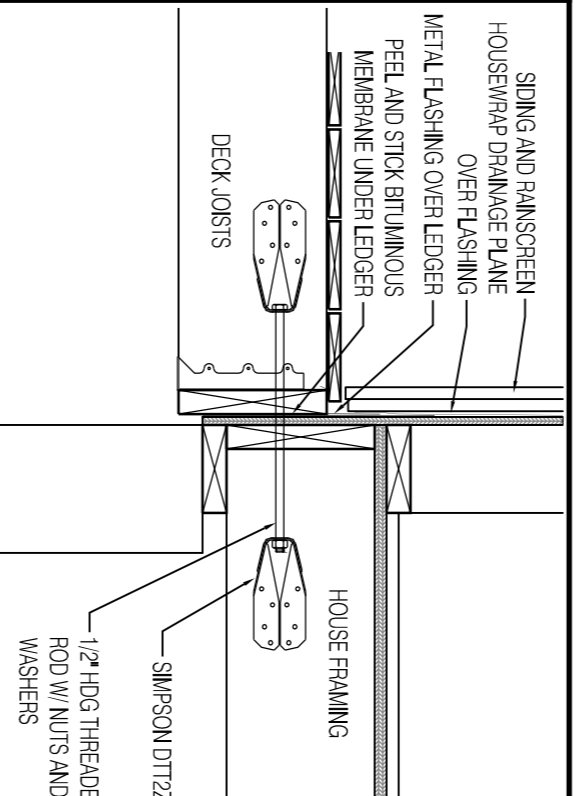
ALL GLAZING SHALL CONFORM TO IRC 2012 R308
 WINDOW GLAZING WITH SILL HTS LESS THAN 18" TO BE TEMPERED.
 WINDOW GLAZING 24" OR CLOSER TO DOORS SHALL BE TEMPERED.
 WINDOW GLAZING 36" OR CLOSER TO STAIRWAYS AND 36" OR LESS ABOVE FLOOR SHALL BE TEMPERED.
 WINDOW GLAZING WITHIN 60" OF THE BOTTOM OF A STAIRWAY AND LESS THAN 36" ABOVE THE FLOOR SHALL BE TEMPERED.

ALL WINDOWS SHALL CONFORM TO R312.2 WINDOW FALL PROTECTION
 ALL WINDOWS WITH SILL HTS LESS THAN 24" AND MORE THAN 72" ABOVE GRADE TO HAVE OPENING LIMITERS TO RESTRICT OPENING TO 4".
 R310 EMERGENCY ESCAPE AND RESCUE OPENINGS
 SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A SILL HT OF NOT MORE THAN 44". A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20"

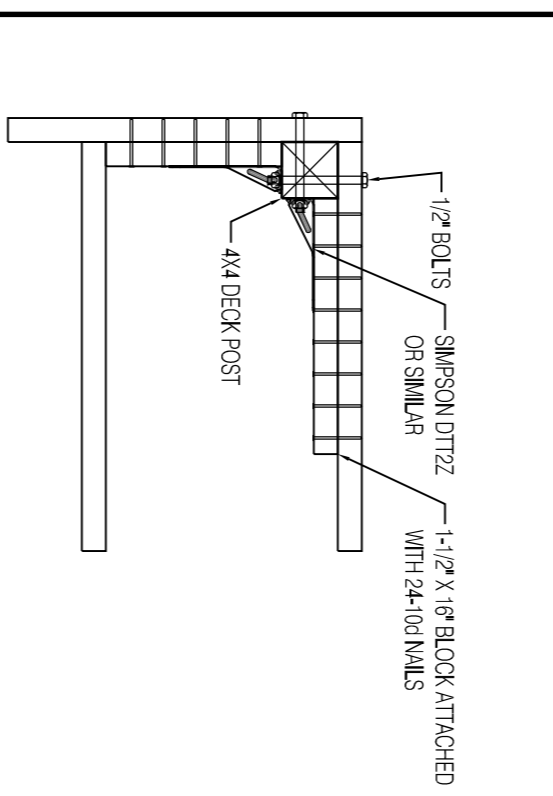
2 DECK POST ATTACHMENT
1/4" = 1'-0"



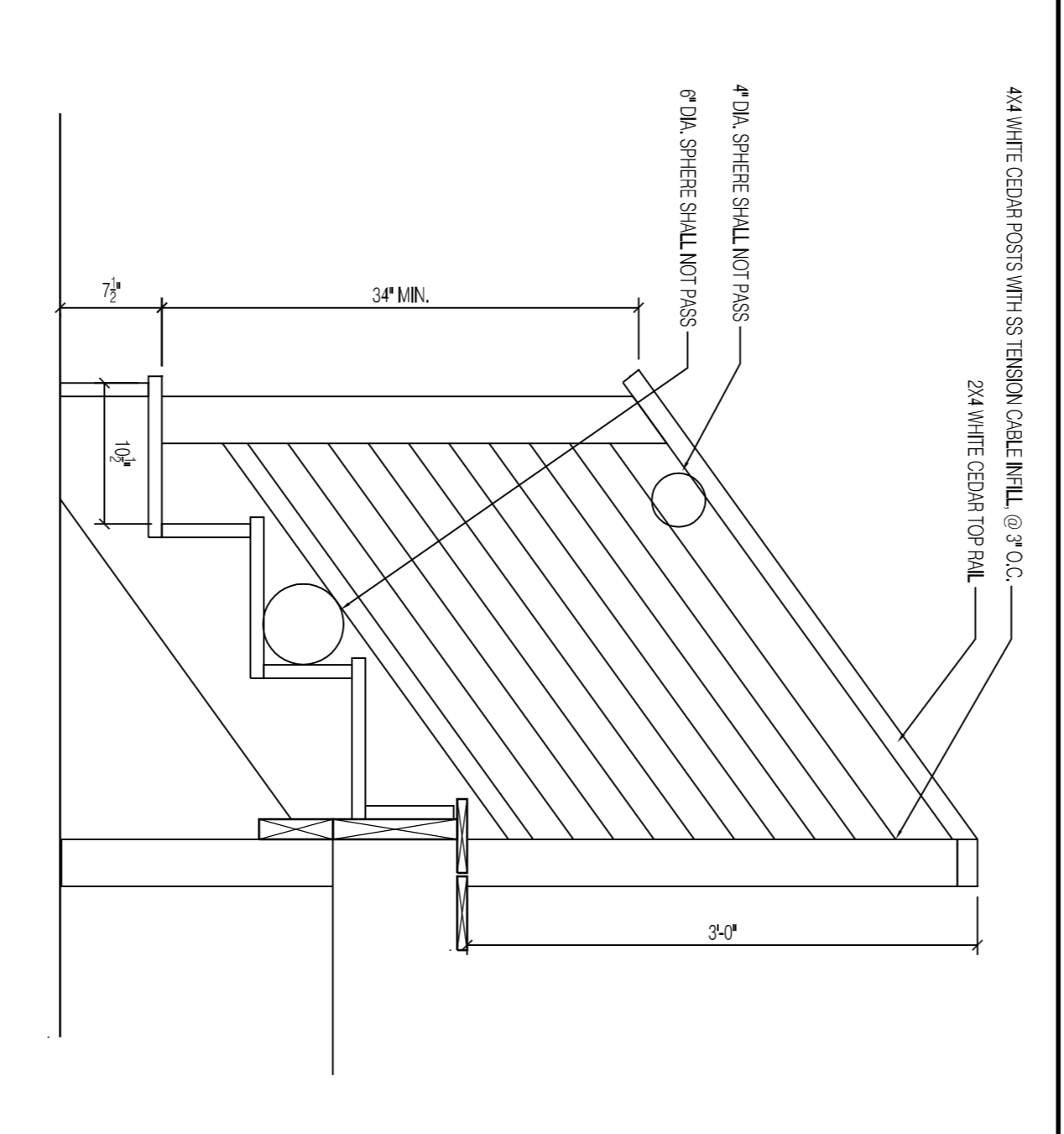
3 DECK LEDGER ATTACHMENT
1/4" = 1'-0"



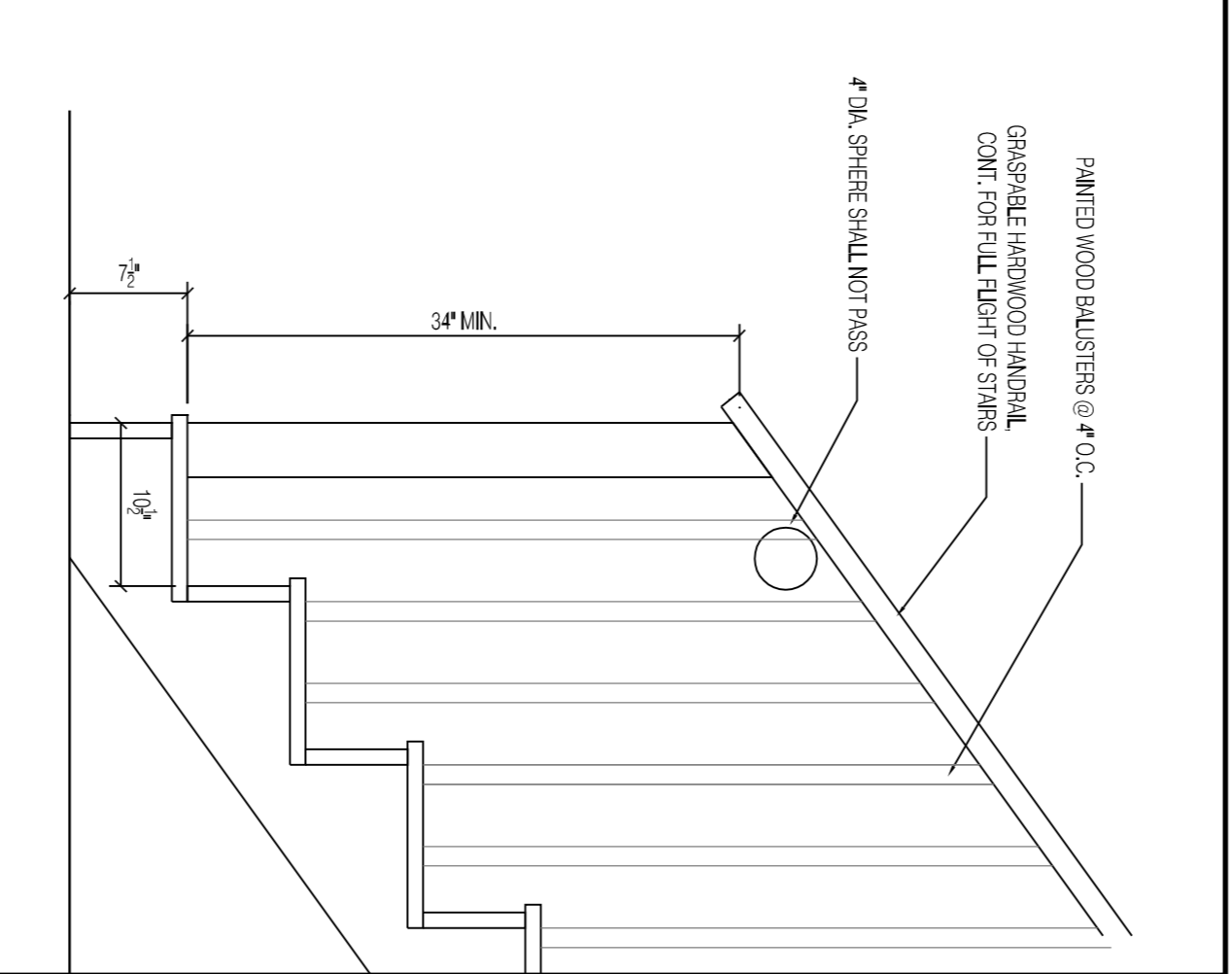
4 DECK POST ATTACHMENT
1/4" = 1'-0"



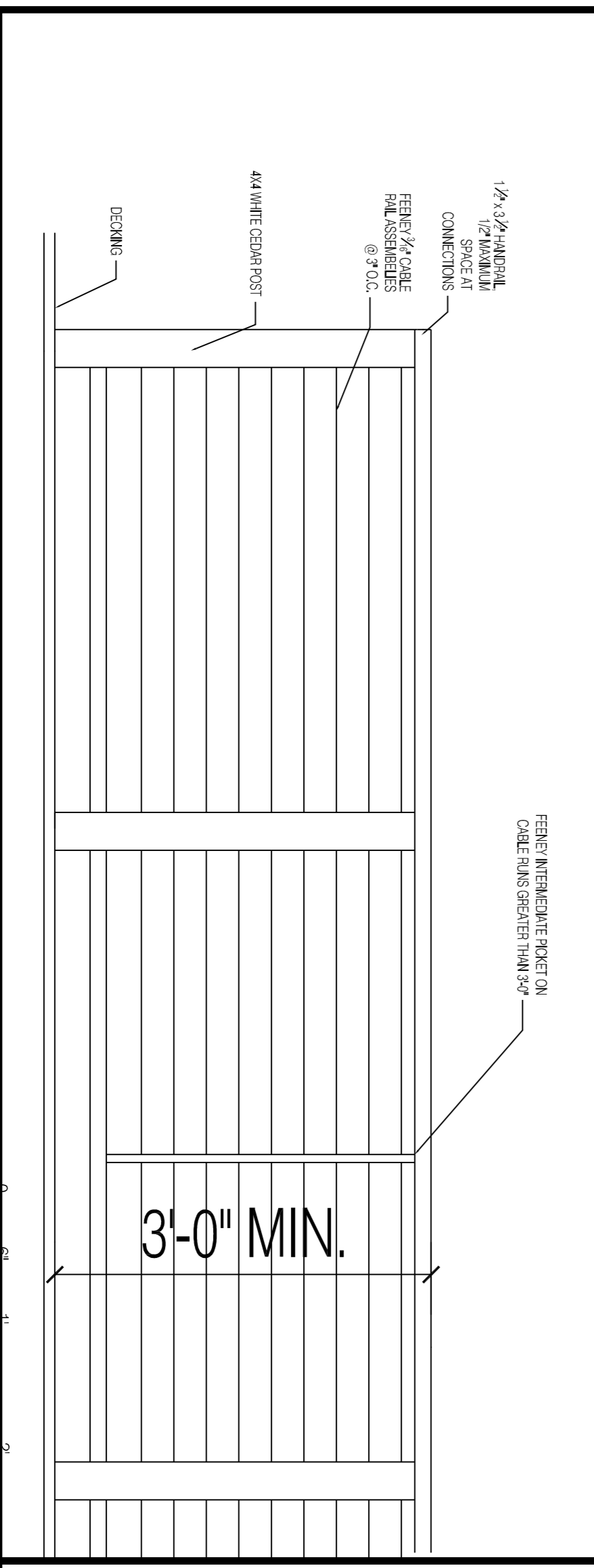
5 DECK STAIR DETAIL
1/4" = 1'-0"



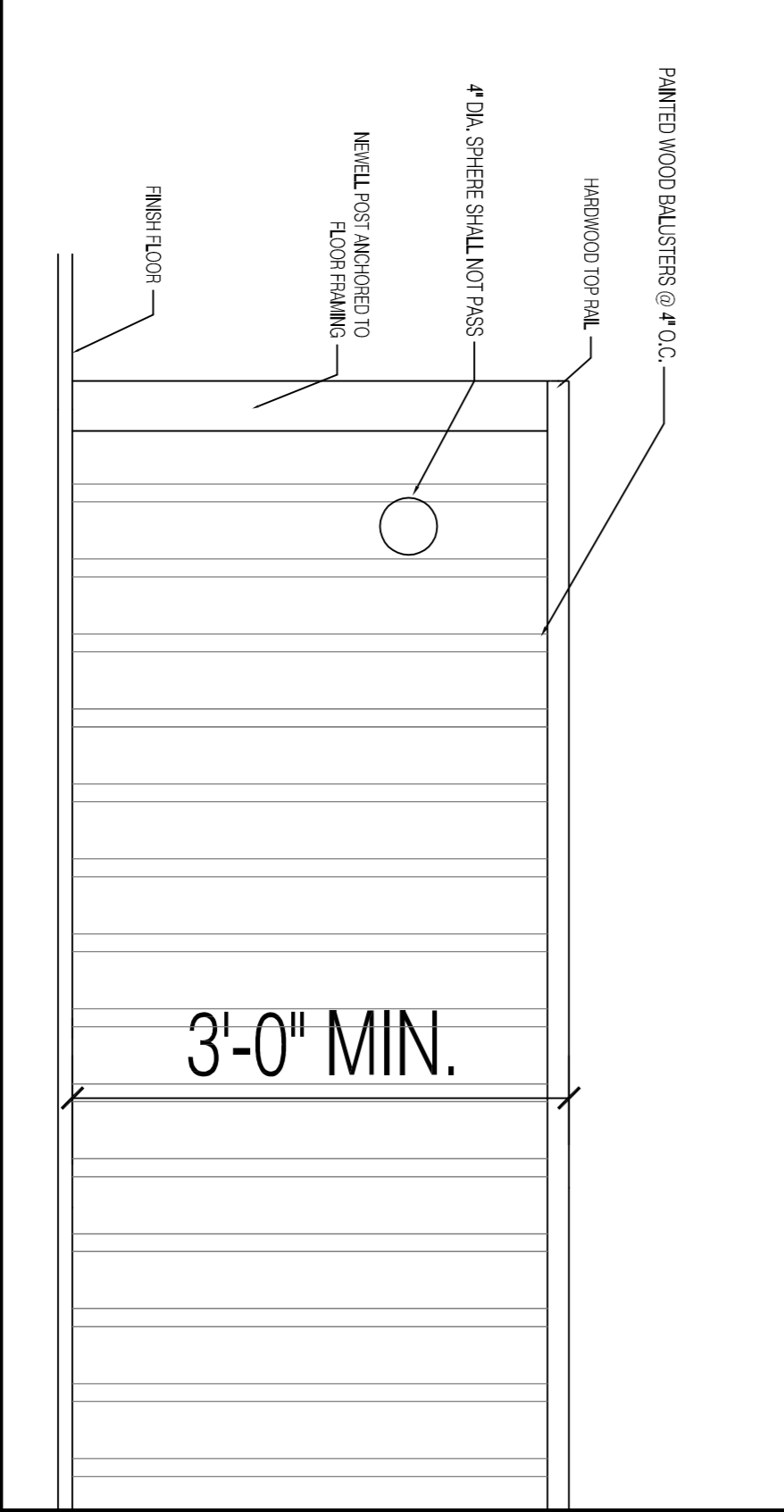
7 INTERIOR STAIR DETAIL
1/4" = 1'-0"



6 DECK RAILING DETAIL
1/4" = 1'-0"



8 INTERIOR RAILING DETAIL
1/4" = 1'-0"



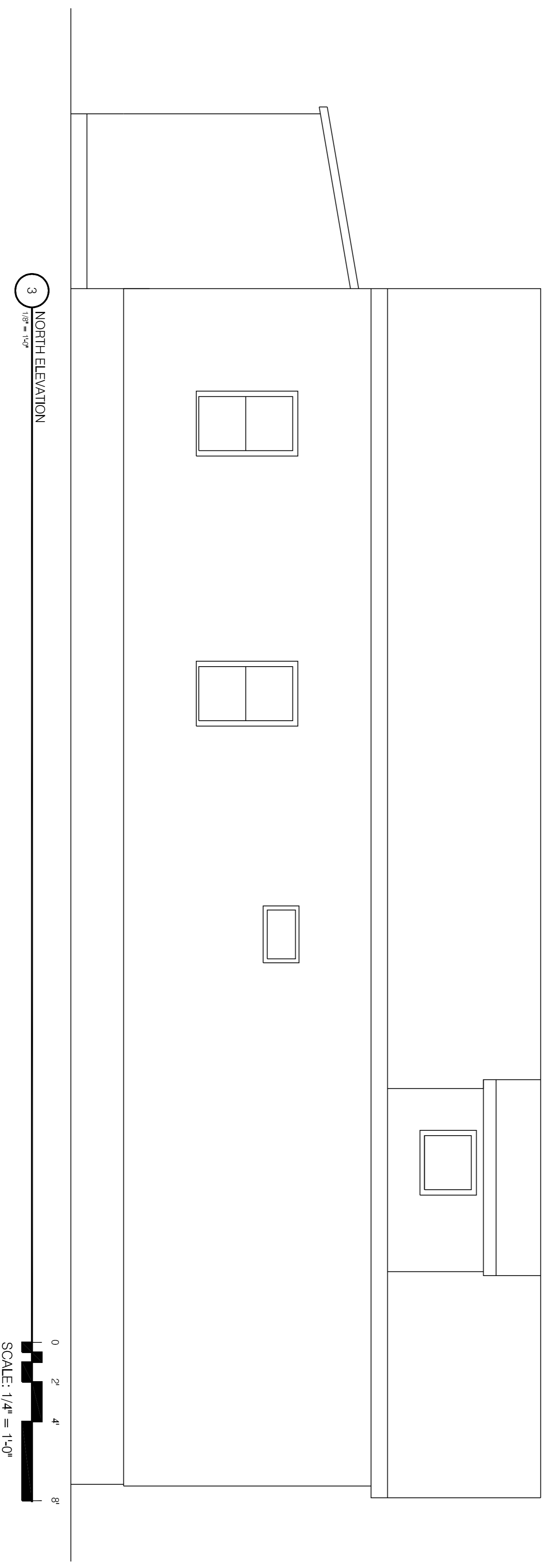
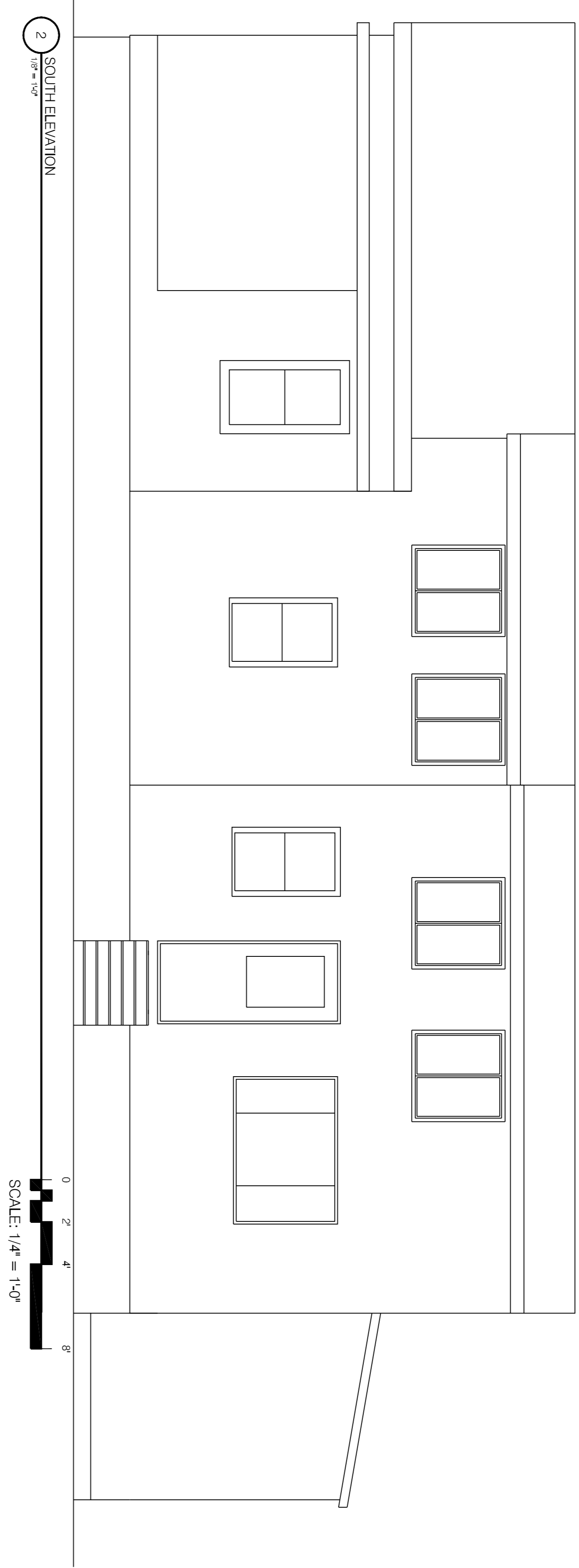
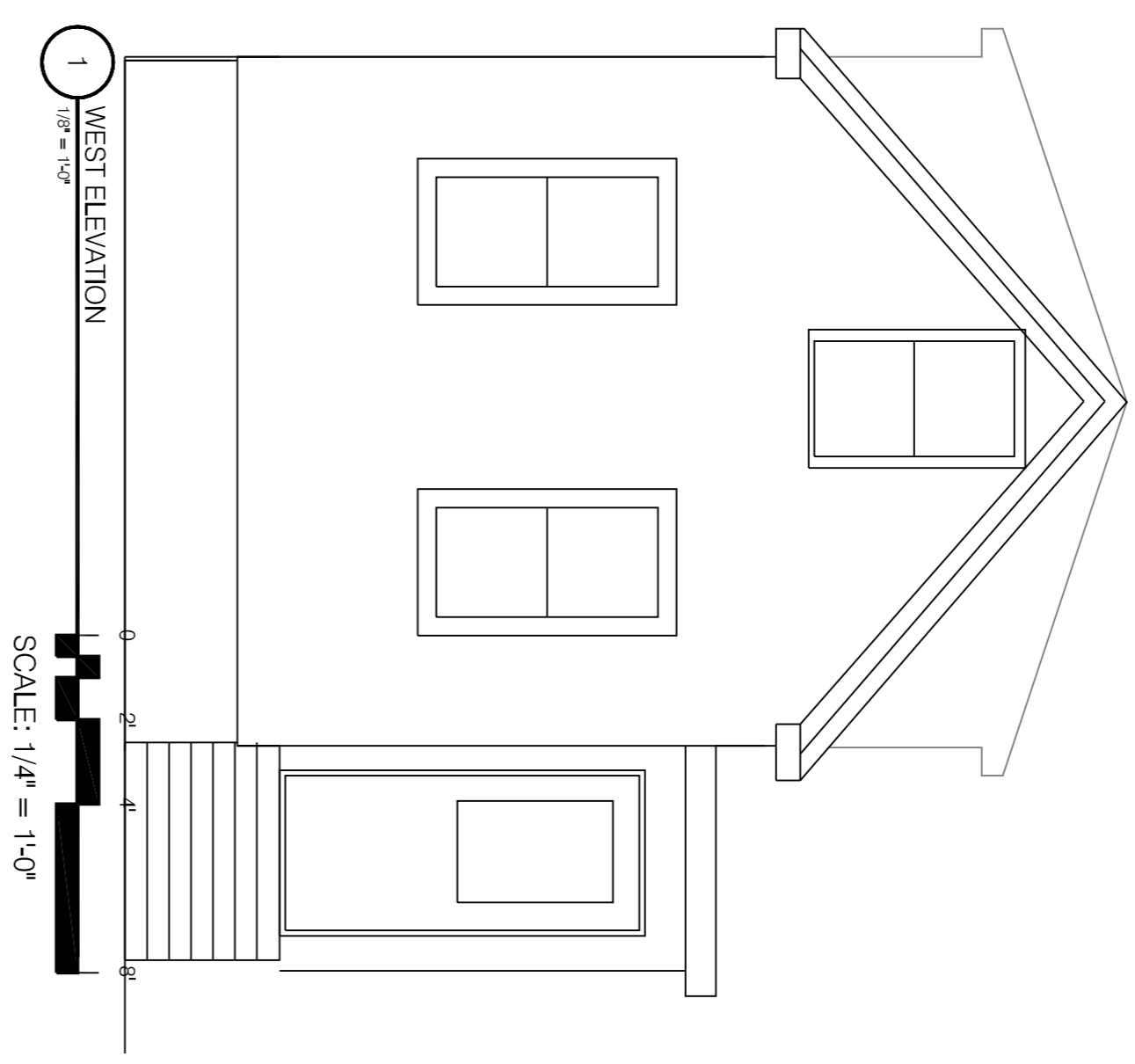
PROSPECT DESIGN
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MONUMENT STREET
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UPPER DECK PLAN, SCHEDULES AND STAIR DETAILS
PERMIT SET
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SHEET TITLE
 REVISION
 DRAWN BY: BB
 DATE: October 21, 2014

A-102

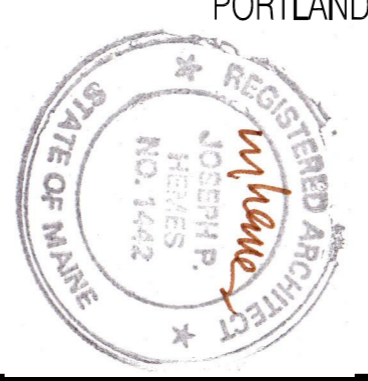


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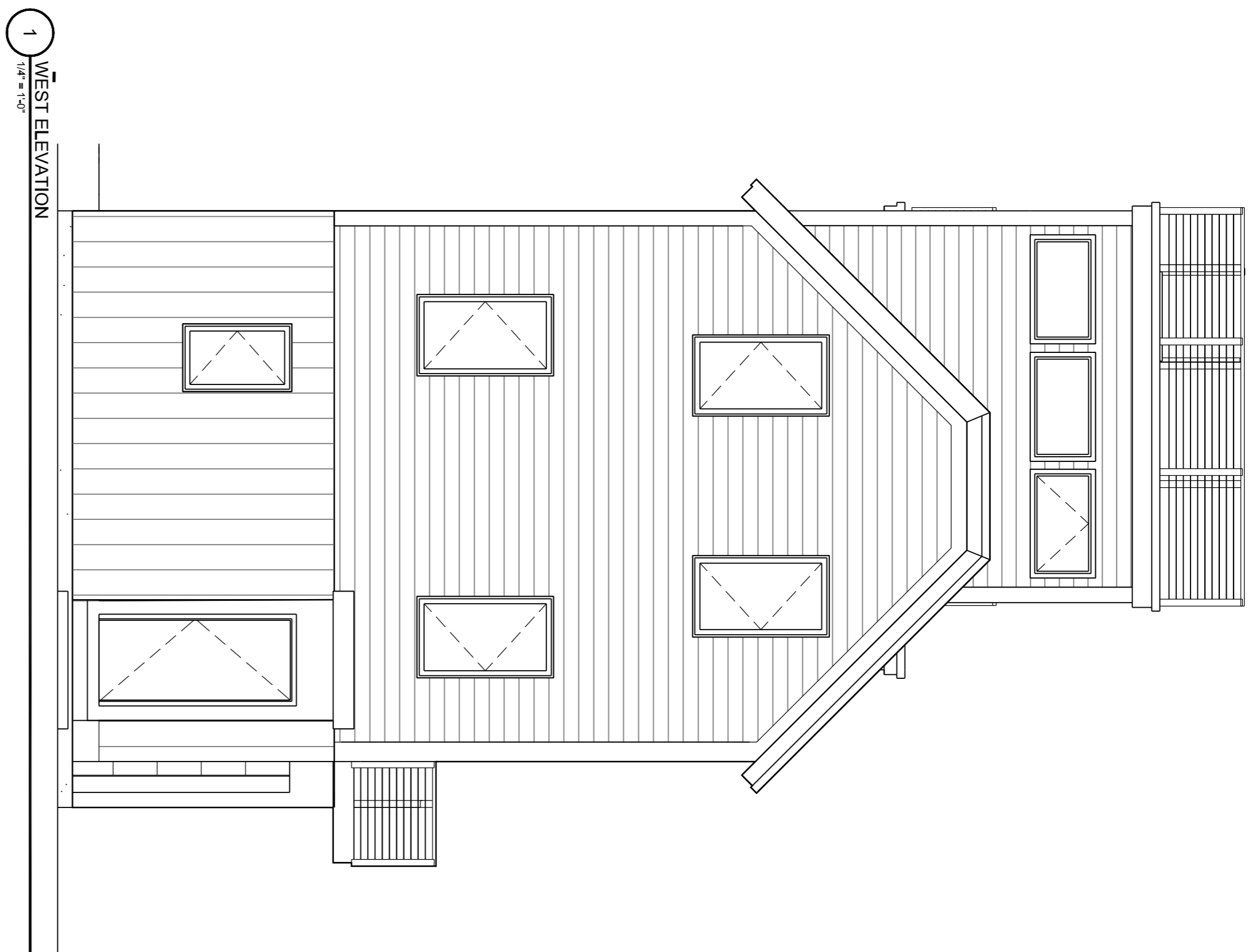
EXISTING ELEVATIONS

PERMIT SET

SHEET TITLE
 REVISION

DRAWN BY: BR
 DATE: October 03, 2014

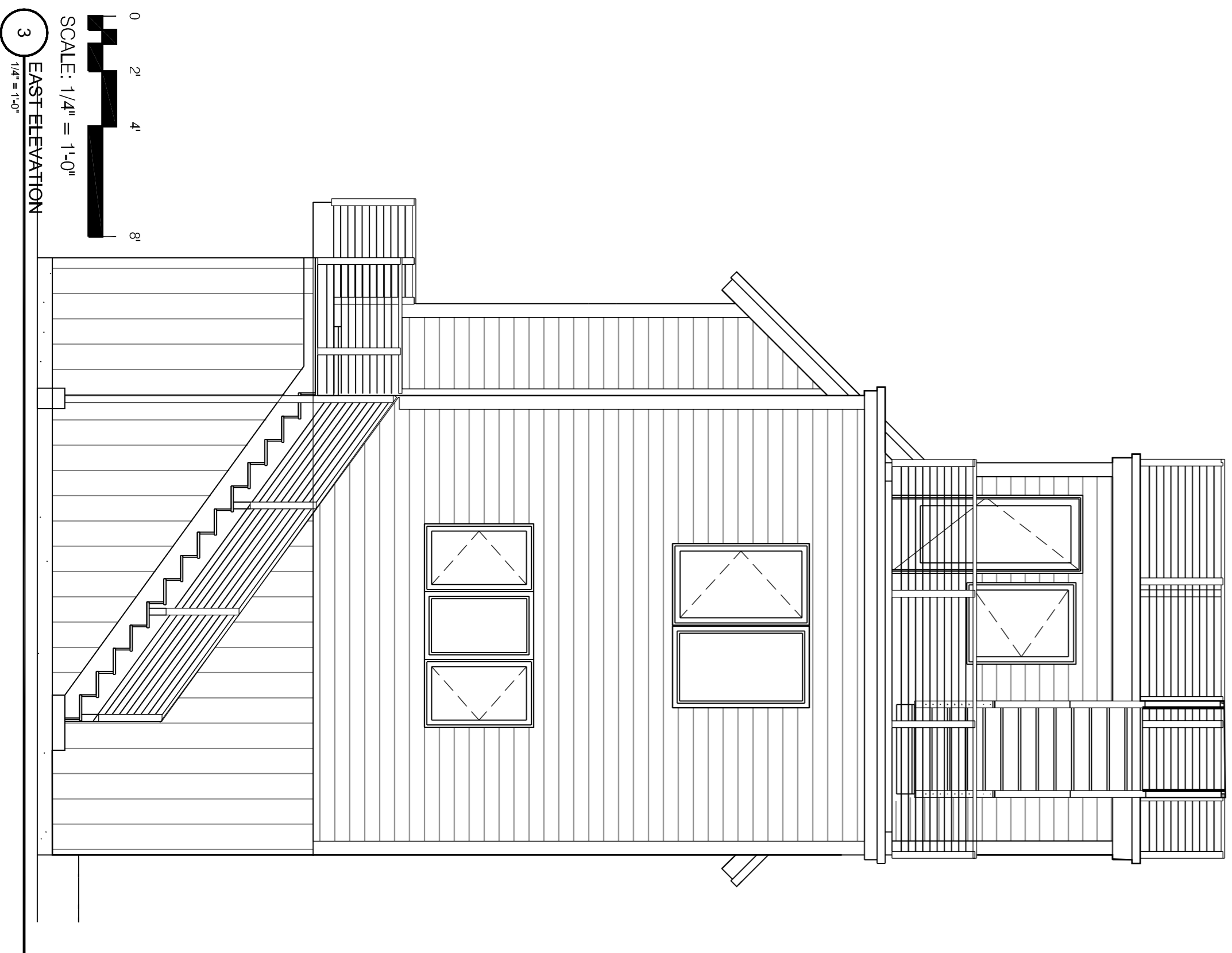
A-200



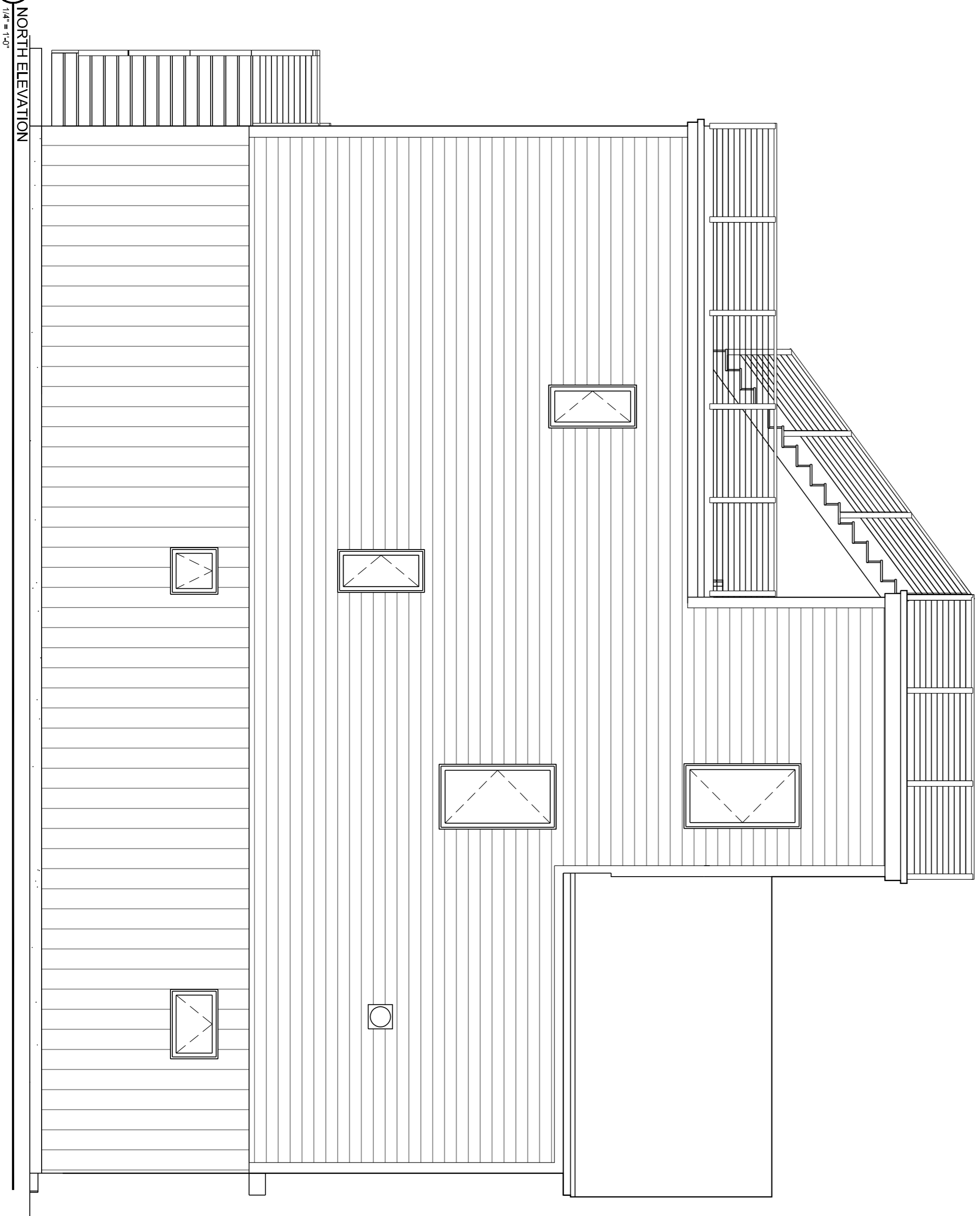
1 WEST ELEVATION
 1/4" = 1'-0"



2 SOUTH ELEVATION
 1/4" = 1'-0"



3 EAST ELEVATION
 1/4" = 1'-0"



4 NORTH ELEVATION
 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"
 0 2 4 8

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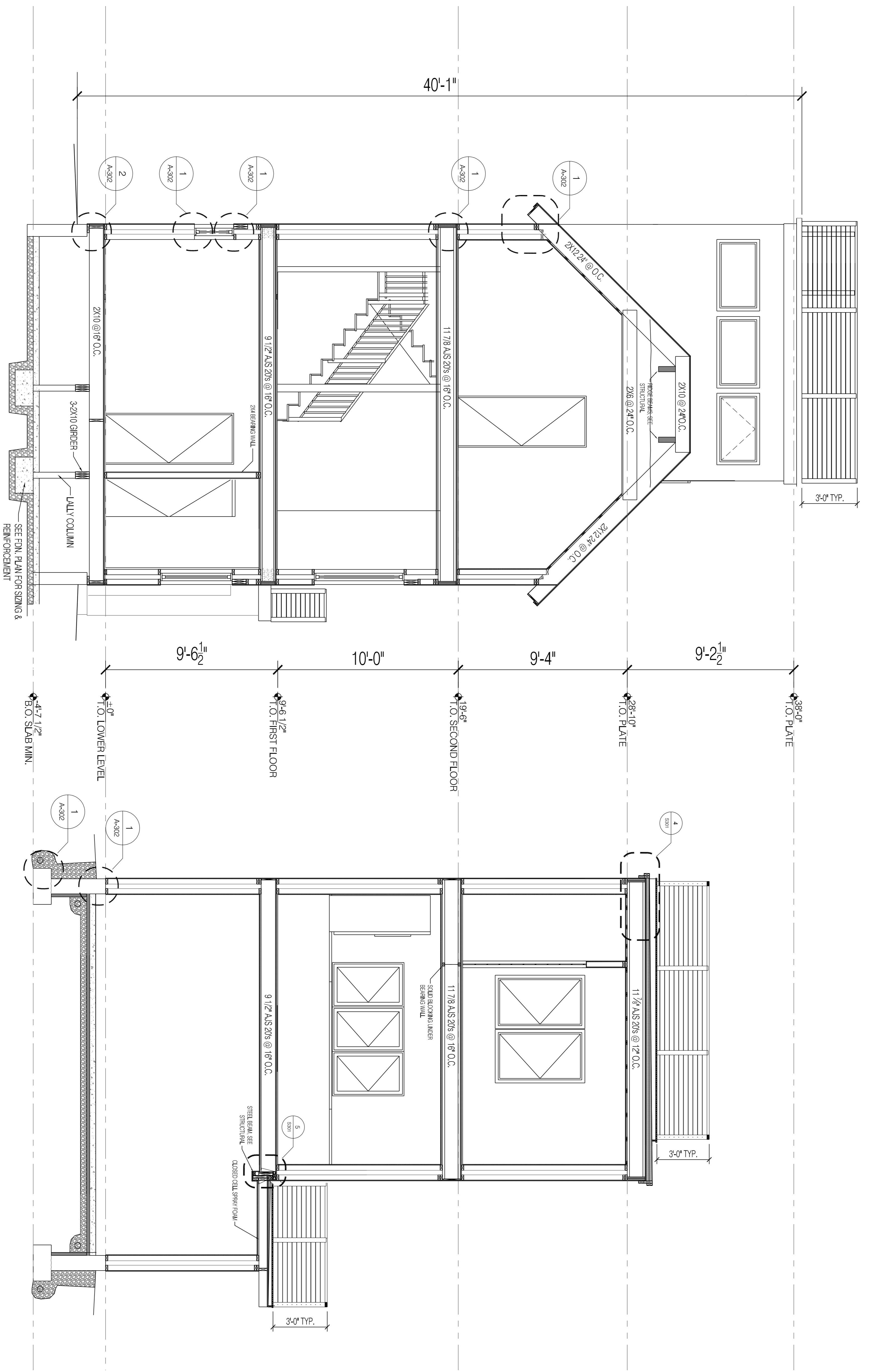
MONUMENT STREET
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ELEVATIONS
 PERMIT SET
 NOT FOR CONSTRUCTION

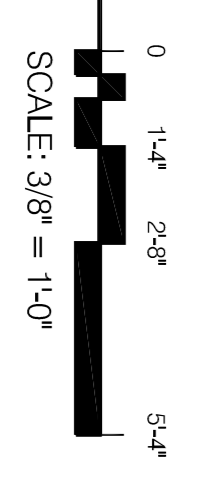
SHEET TITLE
 REVISION
 DRAWN BY: BB
 DATE: December 24, 2014

A-201



1 BUILDING SECTION
 1/8" = 1'-0"

2 BUILDING SECTION
 1/8" = 1'-0"



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MONUMENT STREET
 30 MONUMENT ST
 PORTLAND, ME

SECTIONS

PERMIT SET
 NOT FOR CONSTRUCTION

SHEET TITLE

REVISION

DRAWN BY: BB
 DATE: January 6, 2015

A-301



STATUTORY WARRANTY DEED

THAT, **Monument LLC**, a Maine Limited Liability Company, with a principal place of business in the City of Portland, County of Cumberland and State of Maine, with a mailing address of **100 Congress Street, Portland, ME 04101**,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

Richard Robinov, of the City of Portland, County of Cumberland and State of Maine, with a mailing address of **35 Buttonwood Lane, Portland, ME 04102**,


A certain lot or parcel of land, with the buildings and improvements thereon, situated in the City of **Portland**, County of **Cumberland** and State of Maine, bounded and described in **Exhibit A** attached hereto and made a part hereof.

Being the same premises conveyed to Grantor herein by deed of Charles A. Fortin dated February 26, 2014 and recorded at the Cumberland County Registry of Deeds in Book 31356, Page 193.

This conveyance is made SUBJECT to the current real estate taxes to the City of Portland

IN WITNESS WHEREOF, the said Monument, LLC has caused this instrument to be signed and sealed by Tom Landry, its Manager, thereunto duly authorized this 2nd day of October, 2014.

Monument, LLC

By: 
Name: Tom Landry
Its Manager



STATE OF MAINE
CUMBERLAND, SS.

Date: October 2, 2014

Then personally appeared the above-named Tom ^{Landry} ~~Hammy~~
Manager of Monument, LLC as aforesaid and acknowledged the foregoing
instrument to be his/her/their free act and deed in his/her/their said capacity and the free
act and deed of said limited liability company.

Before me,

Attorney at Law/Notary Public #3453

My Commission Expires:

Print Name Alan F. Wolf



EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated on the Southeasterly side of Monument Street in said Portland, bounded and described as follows:

Beginning on said street at a point distant ninety (90) feet northeasterly from the easterly corner of Monument and St. Lawrence Streets; thence running northeasterly by Monument Street thirty-four (34) feet, more or less, to land now or formerly of Jeremiah Hacker; thence Southeasterly by said Hacker land seventy (70) feet, more or less, to a point which would meet a line drawn from St. Lawrence Street three (3) feet from the northwesterly side of the house now or formerly owned by John Rice to said Hacker land; thence southwesterly on said line thirty-four (34) feet, more or less, to land now or formerly of Samuel L. Carleton; thence northwesterly seventy (70) feet, more or less, to the point of beginning.

Also hereby conveying that certain easement given to Amy E. Stockbridge by Edmund L. Shaw and Dorothy R. Shaw by deed dated September 25, 1970 and recorded in said Registry of Deeds at Book 3144, Page 765.



REPAIRS NEEDED TO PASS INSPECTION

Item	Priority	Notes
Roof	High	Sealant missing at eaves
Windows	Medium	Cracks in frames
Doors	Low	Weatherstripping
Paint	Low	Peeling at eaves
Handrails	Low	Missing on porch
Stairs	Low	Worn treads
Foundation	Low	Minor staining
Plumbing	Low	Leaking faucet
Electrical	Low	Outdated outlets
HVAC	Low	Dirty filters
Exterior	Low	Overgrown landscaping

PRIVATE PROPERTY

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• 3 Full & 1 Half Bath
• Master Suite with Private Bath
• Hard Top Deck with Water View
• Low-Maintenance Building Materials
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1-800-30-MONU
Cornerstone Real Estate



Effective July 3, 2014



Level I – Minor Residential Development Review Application Portland, Maine

Planning and Urban Development Department
Planning Division

Portland's Planning and Urban Development Department coordinates the development review process for site plan, subdivision and other applications under the City's Land Use Code. Attached is the application form for a Level I: Minor Residential site plan and building permit.

Level I: Minor Residential development includes:

- Development of a single-family or a two-family building, excluding building additions, decks, or accessory structures, such development shall be deemed minor residential development for purposes of this article regardless of its size.
- The addition of any additional dwelling unit to a building initially reviewed as a two-family dwelling or multifamily structure, if the additional dwelling unit does not require subdivision review under Maine State Statutes and Portland's Subdivision Ordinance.

As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000 in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at <http://www.portlandmaine.gov/756/Codes-Regulations-Ordinances>

The Land Use Code (including Article V), the Technical Manual, and the Design Manual are available on the City's web site at <http://www.portlandmaine.gov/756/Codes-Regulations-Ordinances>

Inspection Division
Room 315, City Hall
389 Congress Street
(207) 874-8703

Office Hours
Monday thru Friday
8:00 a.m. – 4:00 p.m.

Planning Division
Fourth Floor, City Hall
389 Congress Street
(207) 874-8721

Office Hours
Monday thru Friday
8:00 a.m. – 4:30 p.m.



Project Address:		
Total Square Footage of Proposed Structure/Area: 2,974 SF	Area of lot (total sq. ft.): Garage: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached <input type="checkbox"/> Sq. Ft.: <u>290</u>	Number of Stories: <u>3</u> Number of Bathrooms: <u>3.5</u> Number of Bedrooms: <u>3</u>
Tax Assessor's Chart, Block & Lot(s):		
Chart# 16	Block # E	Lot # 10
Current legal use: <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Single Family</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>N/A</u>		
Project Description: <u>Demo existing and build new single family home</u>		
APPLICANT – (must be owner, Lessee or Buyer)		
Name: <u>Cornerstone Building & Restoration Inc.</u> Business Name, if applicable:	Work # <u>207-775-0248</u>	Home#
Address: <u>44 Coyle St</u>	Cell # <u>207-939-0185</u>	e-mail: <u>Info@cornerstonebr.com</u>
City/State: <u>Portland/ME</u> Zip Code: <u>04101</u>		
OWNER INFORMATION – (if different from Applicant)		
Name: <u>Richard Robino</u>	Work #	Home#
Address:	Cell # <u>207-747-9084</u>	e-mail: <u>RRobino@dinky@gmail.com</u>
City/State: Zip Code:		
CONTRACTOR INFORMATION:		
Name: <u>Cornerstone Building & Restoration Inc.</u>	Contact when Building Permit is Ready:	
Address: <u>Restoration Inc.</u>	Name: <u>Tom Landry</u>	
City/State: Zip Code:	Phone Number: <u>207-939-0185</u>	
Phone Number: <u>Same</u>	e-mail: <u>Info@cornerstonebr.com</u>	
e-mail: <u>Above</u>		



ENGINEER INFORMATION: Name: Casco Bay Engineering Address: 424 Fore St City/State : Zip Code: Portland / ME 04101	Engineer Contact Information E-mail: ericd@cascobayengineering.com Home #: 207-842-2800 Work #: Cell #: 207-712-7022 Fax#:
SURVEYOR INFORMATION: Name: Richard Eaton Address: 58 Pleasant St City/State : Zip Code: Westbrook / ME 04092	Surveyor Contact Information E-mail: RWEATON@maine,rr.com Home #: Work #: Cell #: 207-415-2907 Fax#:
ARCHITECT INFORMATION: Name: Joseph P. Hemes Address: 58 Fore St City/State : Zip Code: Portland / ME 04101	Architect Contact Information E-mail: Joe@hemisphere-design.com Home #: Work #: Cell #: 207-232-6079 Fax#:

DEVELOPMENT REVIEW FEES:

Payment may be made in cash, credit card or check addressed to the City of Portland.

Level I Minor Residential Site Plan	Fees Paid:
1. Application Fee - \$300.00	\$ 300.00
2. Inspection Fee - \$100.00 (for site plan inspection by the Planning Division)	\$ 100.00
3. Certificate of Occupancy Fee - \$100.00	\$ 100.00
4. Building Permit (Cost of Work)	\$ 3,545.00
Total Due:	\$ 4,045.00
Building Permit Fee - \$25 for the first \$1,000 construction cost - \$11 every additional \$1,000.	
Performance Guarantee - Exempt except for those projects that complete construction in the winter and the site work is incomplete.	





Please submit all of the information outlined on the applicable Checklist, shown on Page 4 and 5 of this Application. In addition, a CD or PDF (e-mailed to buildinginspections@portlandmaine.gov) of the entire Application, including all plans, must be submitted with the Application. Failure to do so may result in the automatic denial of your permit.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division. All of the information on the checklist must be submitted for review. The applicant must check off the items contained in the application package to ensure the application is complete.


Property Taxes:

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before a permit of any kind is accepted.

Separate Permits:

Separate permits are required for internal and external plumbing, HVAC, and electrical installations.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of Applicant: 	Date: 11-24-14
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This is not the permit - you may not commence any work until the permit is issued.

A CD or PDF of the entire application, including all plans, must be submitted with the

General Submittal Requirements – Level I Minor Residential

<i>Applicant Checklist</i>	<i>Planner Checklist (internal)</i>	<i>Number of Copies</i>	<i>Submittal Requirement</i>
<input checked="" type="checkbox"/>		2	Completed application form and check list.
<input checked="" type="checkbox"/>		1	Application fees.
<input checked="" type="checkbox"/>		2	Evidence of right, title and interest.
<input checked="" type="checkbox"/>		2	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>		2	Written Description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>		2	Written requests for waivers from individual site plan and/or technical standards.
<input type="checkbox"/>		2	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). Refer to Fire Department Checklist on page 6 of this application.

application. (e-mail to buildinginspections@portlandmaine.gov)



Site Plans and Boundary Survey Requirements – Level I Minor Residential			
Applicant Checklist	Planner Checklist (Internal)	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>		3	Boundary survey meeting the requirements of section 13 of the City of Portland Technical Manual with the site plan information listed below shown on the plan, including a north arrow and a scale greater than or equal to 1"=20'. (Photocopies of the plat or hand drawn building footprints will not be accepted.)
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Zoning district, setbacks and dimensional requirements. Show zone lines and overlay zones that apply to the property, including Shoreland Zone &/or Stream Protection Zone.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed structures (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Location and dimension of existing and proposed paved areas.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed ground floor area of building.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Finish floor elevation (FEE) or sill elevation.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Exterior building elevations (show all 4 sides).
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed utilities (or septic system, where applicable)
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed grading and contours.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed stormwater management and erosion controls.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Total area and limits of proposed land disturbance.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed protections to or alterations of watercourses.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Proposed wetland protections or impacts.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing vegetation to be preserved and proposed site landscaping and street trees (2 trees per unit for a single or two-family house).
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed curb and sidewalk, except for a single family home.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Existing and proposed easements or public or private rights of way.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Show foundation/perimeter drain and outlet.
<input checked="" type="checkbox"/>			<ul style="list-style-type: none"> ▪ Additional requirements may apply for lots on unimproved streets.



Building Permit Submittal Requirements –Level I: Minor Residential Development			
Applicant Checklist	Planner Checklist (internal)	Number of Copies	Submittal Requirement
		1	One (1) complete set of construction drawings must include:
<input checked="" type="checkbox"/>			▪ <i>Cross section with framing details</i>
<input checked="" type="checkbox"/>			▪ <i>Floor plans and elevations to scale</i>
<input checked="" type="checkbox"/>			▪ <i>Stair details including dimensions of : rise/run, head room, guards/handrails, baluster space</i>
<input checked="" type="checkbox"/>			▪ <i>Window and door schedules</i>
<input checked="" type="checkbox"/>			▪ <i>Foundation plans w/required drainage and damp proofing , if applicable</i>
<input checked="" type="checkbox"/>			▪ <i>Detail egress requirements and fire separation, if applicable</i>
<input checked="" type="checkbox"/>			▪ <i>Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003</i>
<input checked="" type="checkbox"/>			▪ <i>Deck construction including: pier layout, framing, fastenings, guards, stair dimensions</i>
<input checked="" type="checkbox"/>			▪ <i>As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)</i>
<input checked="" type="checkbox"/>			▪ <i>Reduced plans or electronic files in pdf format are also required if original plans are larger than 11X17"</i>

**** Reminder: ****

1. A CD or PDF of the entire application, including all plans, must be submitted with the application.
2. Separate permits are required for internal and external plumbing, HVAC, and electrical installations.
3. Please submit all of the information outlined in this application checklist.
4. If the application is incomplete, the application may be refused.
5. The Planning and Urban Development Department may request additional information prior to the issuance of a permit.



Site Plan Standards for Review of Level I: Minor Residential

Level I: Minor Residential site plan applications are subject to the following site plan standards*, as contained in section 14-526 of Article V, Site Plan:

- 14-526 (a) **Transportation Standards:**
 - 2.a. Site Access and Circulation (i) and (ii);
 - 2.c. Sidewalks: *(if the site plan is a two- family or multi-family building only)*;
 - 4.a. Location and required number of vehicle parking spaces:(i) and (iv)

- 14-526 (b) **Environmental Quality Standards:**
 - 1. Preservation of significant natural features.
 - 2.a. Landscaping and landscape preservation
 - 2.b. Site landscaping (iii)
 - 3.a. Water quality, stormwater management and erosion control: a., d., e., and f.

- 14-526 (c) **Public Infrastructure and Community Safety Standards:**
 - 1. Consistency with Master Plan
 - 2. Public Safety and fire prevention
 - 3. Availability and adequate capacity of public utilities; a., c., d., and e.

- 14-526 (d) **Site Design Standards:**
 - 5. Historic Resources
 - 9. Zoning related design standards

- *Except as provided in Article III of the City Code, or to conditions imposed under Section 14-526(e) only, or to those submission requirements set forth in section 14-527 as relate solely thereto.*



PORTLAND FIRE DEPARTMENT SITE REVIEW FIRE DEPARTMENT CHECKLIST



A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews.

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
 - **As of September 16, 2010 all new construction of one and two family homes are required to be sprinkled in compliance with NFPA 13D. This is required by City Code. (NFPA 101 2009 ed.)**
7. Hydrant locations



30 Monument Street
NFPA Code Review

NFPA 101 2009

Chapter 24 Residential

New Structure to be equipped with automatic sprinkler system

Second means of egress provided at bedrooms with egress windows

Smoke alarms shall be installed in all sleeping rooms, outside of each sleeping area, and on each level of the dwelling including the basement



Portland Fire Department Site Review - Doc

Name, address, telephone number of applicant:

CornerStone Building & Restoration Inc.
44 Coyle St
Portland, ME 04101
207-775-9085 or 207-939-0185
info@cornerstonebr.com

Name, address, telephone number of architect:

Joseph Hemes
58 Fore St
Portland, ME 04101
207-232-6079
joe@hemespheredesign.com

Proposed uses of any structures [NFPA and IBC classification]

Single family residence

Square footage of all structures [total and per story]

Total - 2,974sf
Lower level - 955sf
1st floor - 904sf
2rd floor - 904sf
3rd floor - 211sf

Elevations of all structures

See attached

Proposed fire protection of all structures

NFPA Code Review - NFPA 101 2009

Chapter 24 Residential

New Structure to be equipped with automatic sprinkler system

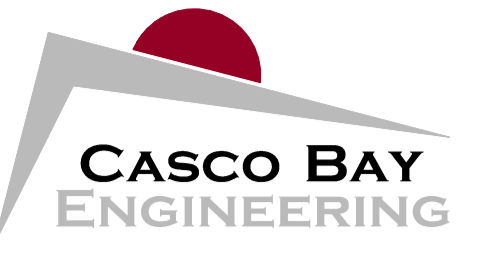
Second means of egress provided at bedrooms with egress windows

Smoke alarms shall be installed in all sleeping rooms, outside of each sleeping area, and on each level of the dwelling including the basement



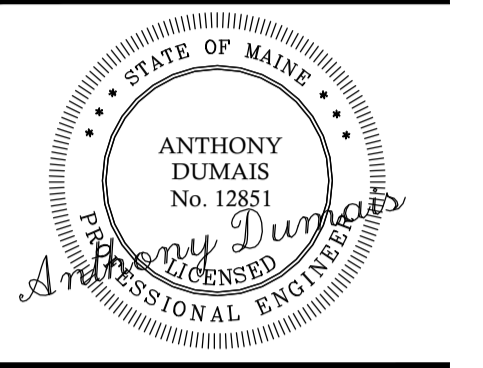
Hydrant locations

See attached



424 Fore Street
Portland, ME 04101
Phone 207.842.2800
Fax 207.842.2828
www.cascobayengineering.com

CLIENT:
CORNERSTONE BUILDING
& RESTORATION
44 COYLE STREET
PORTLAND, ME 04140



MONUMENT STREET
PORTLAND
NEW RESIDENCE

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:
IBC 2009 EDITION OF THE IBC INTERNATIONAL BUILDING CODE
ASCE 7 AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
ACI 308 AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE
ACI 301 AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI 305 STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING
ACI 306 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
ACI 308 STANDARD PRACTICE FOR CURING CONCRETE
ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS
NDS NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY NATIONAL FOREST PRODUCTS ASSOCIATION, 2005.
REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.
THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.

GENERAL NOTES SCALE: NTS
LIVE LOAD:
FIRST FLOOR LIVING AREAS = 40 PSF
SECOND FLOOR SLEEPING AREAS = 30 PSF
SNOW LOADS:
GROUND SNOW LOAD, Pg = 60 PSF
SNOW EXPOSURE FACTOR, Ce = 1.0
SNOW LOAD IMPORTANCE FACTOR, I = 1.0
THERMAL FACTOR, Ct = 1.1
FLAT ROOF SNOW LOAD, Pf = 46.2 PSF + DRIFT
WIND LOADS:
BASIC WIND SPEED = 100 MPH
IMPORTANCE FACTOR, Iw = 1.0
WIND EXPOSURE B
MAIN WINDFORCE-RESISTING SYSTEM (INCLUDES WINDWARD + LEeward) = 17 PSF
SEISMIC CRITERIA:
SOIL SITE CLASSIFICATION = D
DESIGN SPECTRAL RESPONSE ACCELERATION:
Sds = .37
Sd1 = .16
OCCUPANCY CATEGORY II
SEISMIC DESIGN CATEGORY C
RESPONSE MODIFICATION COEFFICIENT, R = 6.5
OCCUPANCY IMPORTANCE FACTOR, I = 1.0
BASE SHEAR, Vb = Cs * W * 0.06 * W
(W = SEISMIC WEIGHT)

DESIGN CRITERIA SCALE: NTS
ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:
ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI 301 AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
ACI 305 STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING
ACI 306 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
ACI 308 STANDARD PRACTICE FOR CURING CONCRETE
REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

Table with 4 columns: LOCATION, MAX W/C RATIO, fc, AIR-ENTRAINMENT. Rows include INT. WALLS/ELEV. SLABS, FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS, INT. SLAB-ON-GRADE, EXT. SLAB-ON-GRADE.

WHERE: W/C = WATER TO CEMENT RATIO AND
fc = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS
MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33.
USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150.
AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.
ADMIXTURES SHALL CONFORM TO "SPECIFICATION FOR CHEMICAL ADMIXTURES FOR CONCRETE" ASTM C 494.
FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618.
CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.
MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.
CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 306, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.
CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE. CONCRETE USED ON SITE SHALL BE FIELD TESTED IN ACCORDANCE WITH AND IN THE PRESENCE OF AN APPROVED TESTING AGENCY. FIELD TESTING INFORMATION SHALL INDICATE SLUMP, AIR CONTENT, AND TEMPERATURE. COMPRESSION TEST 1 CYLINDER AT 7 DAYS AND 2 AT 28 DAYS. HOLD AN ADDITIONAL CYLINDER FOR A 56 DAY BREAK, IF NECESSARY. PROVIDE A SET OF 4 CYLINDERS FOR EACH PLACEMENT AND PER 50 CUBIC YARDS OF CONCRETE PLACED. THE OWNER SHALL PAY FOR ALL CONCRETE TESTING.
CONSTRUCTION JOINTS IN WALLS SHALL BE PERMITTED AS DETAILED ON THE STRUCTURAL DRAWINGS. SURFACES OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED. IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, CONSTRUCTION JOINTS SHALL BE WETTED AND STANDING WATER REMOVED. VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL NOT EXCEED A SPACING OF 40 FEET.
WHERE ELECTRICAL CONDUIT/ RADIANT HEATING TUBES RUN IN THE SLAB, THEY SHALL BE LOCATED AT MID-DEPTH OF THE SLAB. ALUMINUM CONDUIT AND SLEEVES ARE NOT PERMITTED.
ANCHOR BOLTS SHALL CONFORM TO ASTM F1554. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

CONCRETE NOTES SCALE: NTS

USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A615. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND SHALL BE SECURED AGAINST DISPLACEMENT.
THE CONTRACTOR SHALL SUBMIT REINFORCING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO COMMENCING FABRICATION. REINFORCEMENT SHALL BE DETAILED IN ACCORDANCE WITH ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING OF REINFORCED CONCRETE STRUCTURES". SHOP DRAWINGS SHALL SHOW REINFORCING STEEL PLACEMENT DETAILS AND SECTIONS.
MINIMUM CONCRETE COVER FOR REINFORCEMENT
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3 INCHES
CONCRETE EXPOSED TO EARTH OR WEATHER 2 INCHES
CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS AND WALLS (FOR PRIMARY REINFORCEMENT, TIES, AND STIRRUPS) 1 1/2 INCHES
CONCRETE NOT EXPOSED TO EARTH OF WEATHER IN COLUMNS AND BEAMS 1 1/2 INCHES
CONTINUOUS REINFORCEMENT SHALL BE TENSION LAP SPLICED PER LAP SPLICE LENGTH TABLE, U.N.O.
LAP SPLICE LENGTH TABLE
BAR SIZE #3 #4 #5 #6 #7 #8 #9
MIN LAP SPLICE (INCHES) 18 24 30 36 48 64 81
REINFORCEMENT HOOKS SHALL CONFORM TO STANDARD HOOKS ACCORDING TO ACI 318. WELDING OF REINFORCEMENT IS NOT PERMITTED, U.N.O.

CONCRETE REINFORCING NOTES SCALE: NTS
SUBGRADE PREPARATION AND DETERMINATION (INCLUDING ALLOWABLE BEARING PRESSURE, STRUCTURAL FILL GRADATION REQUIREMENTS, COMPACTION REQUIREMENTS AND POST-CONSTRUCTION SETTLEMENT ANALYSIS) BENEATH FOOTINGS AND SLABS-ON-GRADE AND BEHIND FOUNDATION WALLS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER. ALL FILL USED TO SUPPORT FOUNDATIONS AND SLABS-ON-GRADE SHALL CONSIST OF A WELL-GRADED, GRANULAR MATERIAL PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. STRUCTURAL SLABS SHALL BE CONSTRUCTED ON A MINIMUM 12" THICK LAYER OF STRUCTURAL FILL SOIL WITH PROPERTIES PER THE GEOTECHNICAL ENGINEER.
PRESUMED ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN = 2,000 PSF. BEARING CAPACITIES SHALL BE VERIFIED BY GEOTECHNICAL ENGINEER. MINIMUM FROST DEPTH COVER = 4'-6" FOR EXTERIOR FOOTINGS BELOW FINAL EXTERIOR GRADE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. BEARING ELEVATIONS SHALL BE LOWERED WHERE SUITABLE SOILS ARE NOT ENCOUNTERED. WHERE OVEREXCAVATION HAS OCCURRED, CONTRACTOR MAY PLACE LEAN CONCRETE ON TOP OF NATIVE SOIL. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER IF ANY UNSUITABLE SOILS ARE ENCOUNTERED PRIOR TO PLACING FOUNDATIONS.
FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES OF THE WALL. FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS WHEN BACKFILL IS PLACED PRIOR TO CONCRETE ACHIEVING ITS FULL 28 DAY STRENGTH. BACKFILL FOR FOUNDATION WALLS IS BASED ON DRAINED CONDITIONS. SEE ARCHITECTURAL, CIVIL, AND MECHANICAL DRAWINGS FOR FOUNDATION DRAINAGE SYSTEM.
PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS.
CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION. CONTRACTOR SHALL SLOPE EXCAVATIONS TO ACHIEVE SOIL STABILITY.

FOUNDATION NOTES SCALE: NTS

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O.
CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.
WOOD GRADES AND SPECIES:
1. SPRUCE-PINE-FIR, No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC) U.N.O.
2. USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE PRESSURE TREATED LUMBER (PT OR PPT).
3. WHERE NOTED LVL ON DRAWINGS, PROVIDE VERSA LAM 3100 BY BOISE CASCADE, OR EQUIVALENT, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
A. LVL PROPERTIES:
Fb = 3100 PSI Fc = 2510 PSI (PARALLEL TO GRAIN)
Fv = 285 PSI Fc = 750 PSI (PERPENDICULAR TO GRAIN)
Ft = 1555 PSI E = 2,000,000 PSI
STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.
PROVIDE PRESSURE TREATED OR WOLVANIZED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE. ALL CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPP GALVANIZED, U.N.O.
NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.
ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING:
1. USE 1/2" PLYWOOD WALL SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO WALL STUDS. STAGGER PANEL ENDS AND BLOCK ALL PANEL EDGES.
2. USE 3/8" PLYWOOD ROOF SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS. USE SHEATHING CLIPS BETWEEN SHEETS WHERE BLOCKING IS NOT REQUIRED.
3. USE 3/4" PLYWOOD FLOOR SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO FRAMING. STAGGER PANEL ENDS.
PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.
WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.
FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF REFERENCED BUILDING CODE, U.N.O. ON DRAWINGS, SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED, UNLESS OTHERWISE NOTED ON THE DRAWINGS. NAIL MULTIPLE LVL'S TOGETHER AS RECOMMENDED BY THE MANUFACTURER USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED. ALL FASTENERS, NUTS, AND WASHERS SHALL BE HOT-DIPPED GALVANIZED.
ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT.
PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM.
SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

WOOD NOTES SCALE: NTS

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO:
AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION
AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
WIDE FLANGE SHAPES AND TEES ASTM A992
ANGLES, PLATES, CHANNELS ASTM A36, Fy=36 KSI
SQUARE AND RECTANGULAR HSS ASTM A500, GRADE B, Fy=46 KSI
STEEL PIPE ASTM A53, TYPE E OR S, GRADE B, Fy=35 KSI
SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION.
SHOP DRAWINGS SUBMITTALS SHALL INCLUDE:
1. STRUCTURAL STEEL FABRICATION AND ERECTION DRAWINGS WHICH INCLUDE BOLTED CONNECTIONS (SHOP AND FIELD) AND WELDED CONNECTIONS (SHOP AND FIELD) DEPICTING AWS WELDING SYMBOLS.
2. METAL DECK SHOP DRAWINGS DEPICTING SHEAR STUD LAYOUT ON BEAMS AND GIRDERS.
OWNER SHALL RETAIN A QUALIFIED TESTING AGENCY TO PERFORM AND VERIFY THE FOLLOWING:
1. VISUAL INSPECTION OF ALL WELDS.
2. ULTRASONIC TESTING, IN ACCORDANCE WITH ASTM E-164, ON 100% OF ALL FIELD FULL PENETRATION WELDS.
3. PROVIDE RANDOM VERIFICATION VIA ULTRASONIC TESTING OF SHOP FULL PENETRATION WELDS.
4. FIELD BOLTED CONNECTIONS, INCLUDING VERIFICATION OF BOLT GRADES.
5. SHEAR STUD QUANTITY, PROPER INSTALLATION, SIZE, AND SPACING. SHEAR STUDS SHALL CONFORM TO AWS D1.1.
BOLTED CONNECTIONS:
1. FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4" DIAMETER A325 HIGH STRENGTH BOLTS, U.N.O.. BOLTED CONNECTION SHALL BE SLIP CRITICAL (SC) AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL LOCATIONS INDICATED IN THE DRAWINGS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. BOLT HOLES SHALL BE STANDARD SIZE, U.N.O..
2. HIGH STRENGTH BOLTS SHALL BE INSTALLED AND TIGHTENED PER AISC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS.
3. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554, GRADE 36, STANDARD HEX HEAD FURNISHED WITH HEAVY HEX NUTS AND LOCK WASHERS.
4. CONTRACTOR SHALL DESIGN CONNECTIONS NOT ALREADY DETAILED ON STRUCTURAL DRAWINGS. DESIGN SHALL BE STAMPED BY A LICENSED STRUCTURAL ENGINEER AND SUBMITTED PRIOR TO COMMENCING FABRICATION.
WELDED CONNECTIONS:
1. WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.
STRUCTURAL STEEL SHALL RECEIVE THE FOLLOWING PROTECTIVE COATINGS:
1. DO NOT PAINT SURFACES TO RECEIVE METAL DECK AND/OR SHEAR CONNECTORS FASTENED BY WELDING, CONTACT SURFACES OF HIGH STRENGTH BOLTED CONNECTIONS, FINISHED BEARING SURFACES, AND SURFACES TO BE WELDED IN THE FIELD. IF REQUIRED, PROTECT THESE SURFACES BY RUST-INHIBITING COATING THAT CAN BE REMOVED EASILY PRIOR TO ERECTION.
2. UNEXPOSED STRUCTURAL STEEL SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP3 AND PAINTED WITH PRIMER PAINT, TMECC 10-99, OR EQUIVALENT, U.N.O..
3. EXPOSED STRUCTURAL STEEL TO RECEIVE ZINC-RICH EPOXY PAINT SHALL BE FIRST CLEANED IN ACCORDANCE WITH SSPC-SP6 ,COMMERCIAL BLAST CLEANING. USE TMECC ZIN-RICH EPOXY PAINT, OR EQUIVALENT. APPLY FINISH COAT PER ARCHITECT.
4. EXPOSED STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED SHALL BE IN ACCORDANCE WITH ASTM A123.
SHEAR CONNECTOR STUDS:
1. SHEAR CONNECTOR STUDS SHALL BE NELSON, OR EQUIVALENT, 3/4" DIAMETER, U.N.O.. WELD STUDS PER STUD MANUFACTURER'S RECOMMENDATIONS THROUGH METAL DECKING. STUD LENGTH SHALL BE 1" BELOW TOP OF CONCRETE SLAB-ON-DECK.
2. SHEAR STUDS, WHERE REQUIRED, ARE INDICATED ON THE DRAWINGS AS [XX], WHERE XX IS THE NUMBER OF STUDS EQUALLY SPACED BETWEEN SUPPORTS ON A BEAM OR GIRDER.

STRUCTURAL STEEL NOTES SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:
ACI 318 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
ACI 301 AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE
ACI 305 STANDARD SPECIFICATION FOR HOT WEATHER CONCRETING
ACI 306 STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING
ACI 308 STANDARD PRACTICE FOR CURING CONCRETE
REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

CONCRETE NOTES SCALE: NTS

Table of abbreviations and symbols for structural steel, including terms like ANCHOR BOLT, BEARING, DIMENSION, etc., with corresponding symbols and units.

ABBREVIATIONS SCALE: NTS

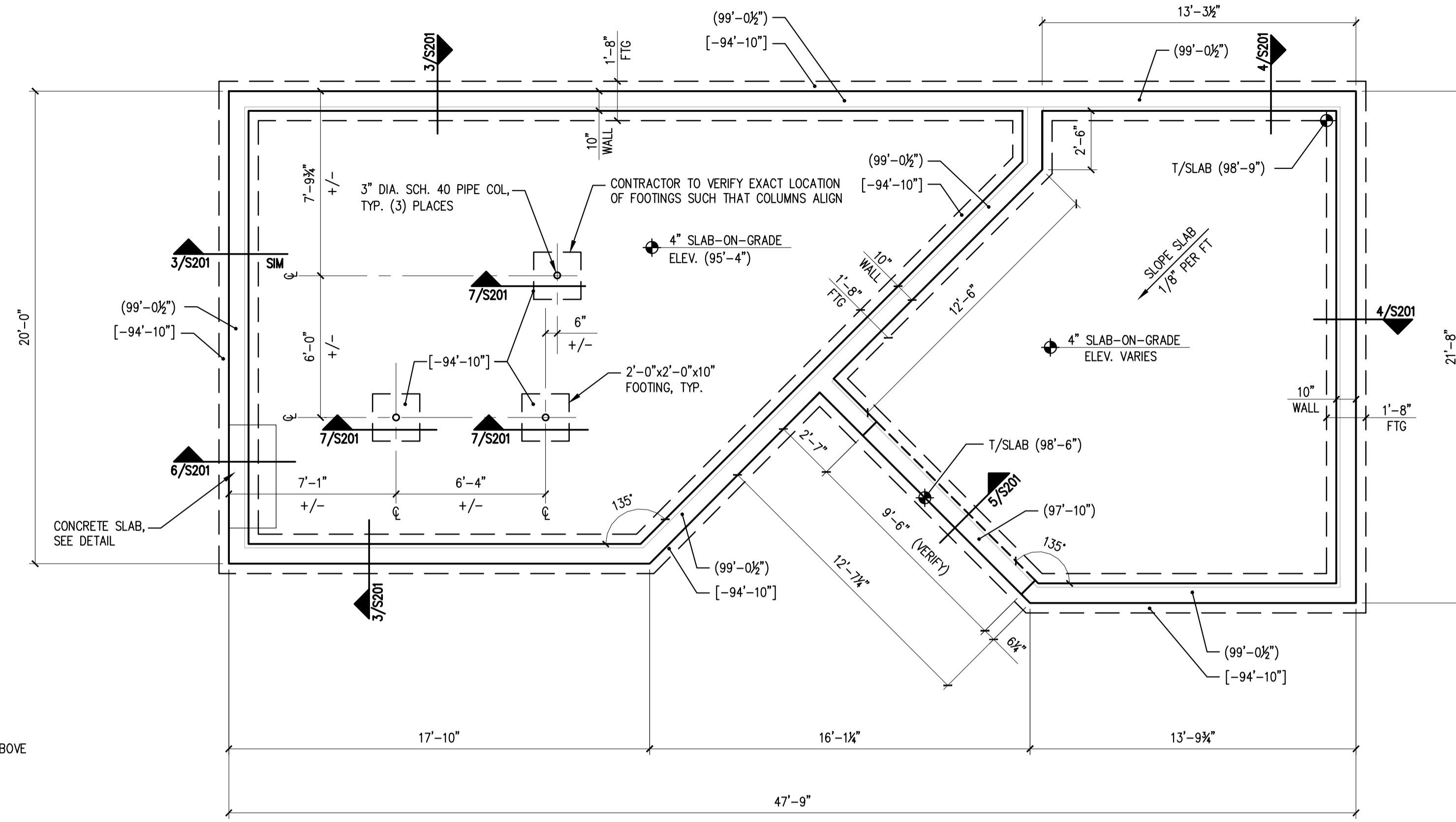
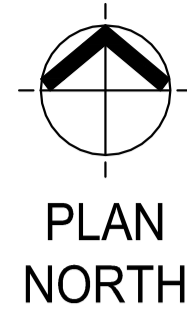
Table of symbols and their meanings for construction notes, including SLOPE DESIGNATION, ELEVATION MARK, ROOF PITCH, SPAN DIRECTION, SECTION MARK, UNDISTURBED EARTH, LEDGE, COMPACTED STRUCTURAL FILL, CONCRETE, GROUT, BRICK, CMU.

LEGEND SCALE: NTS

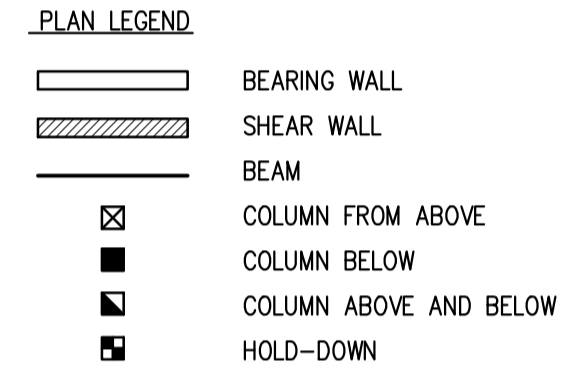
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STRUCTURAL NOTES
DRAWN: TD
DATE: 10-2-14
PROJECT NUMBER: 14-121

S000



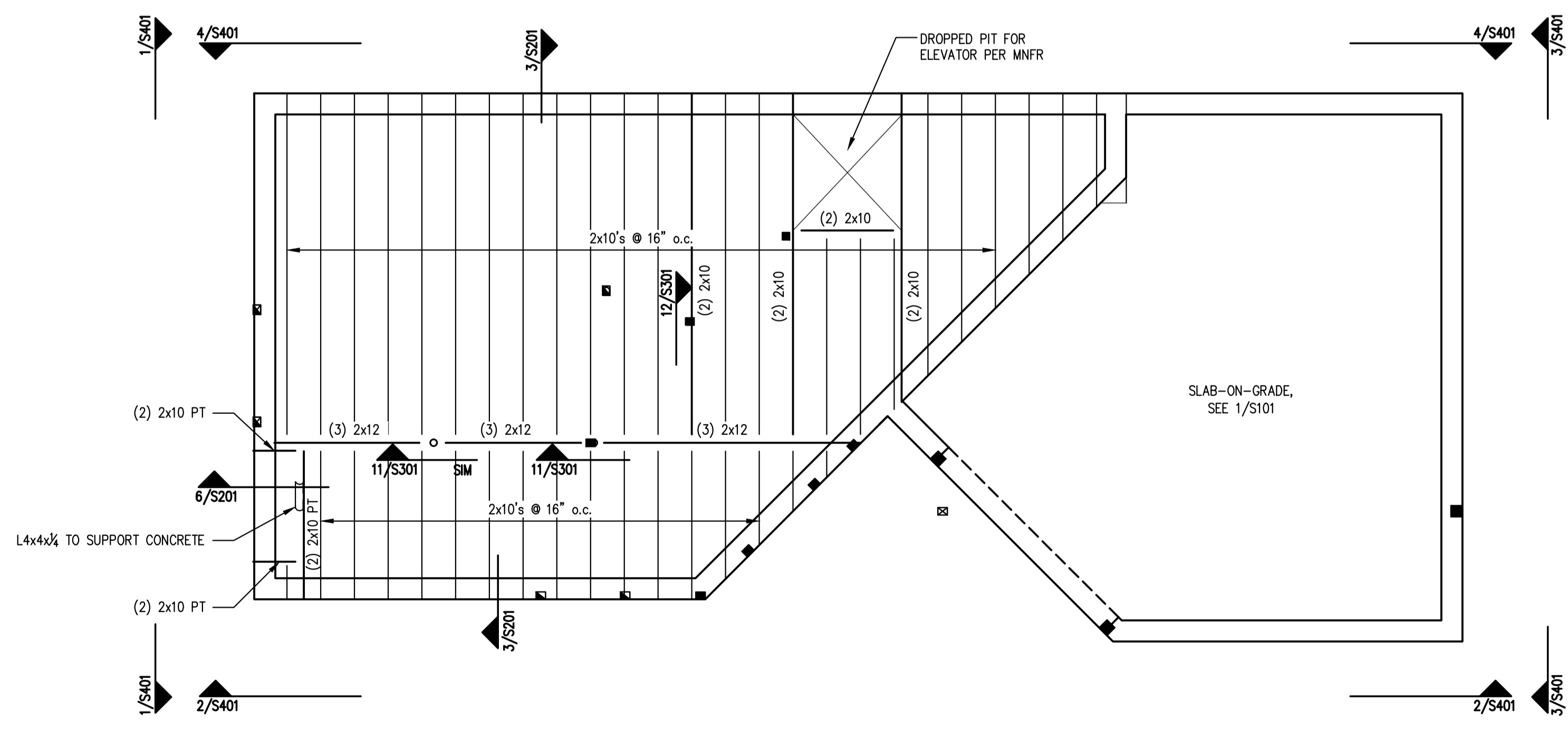
- NOTES:**
1. SEE S201 FOR TYPICAL SLAB-ON-GRADE AND TYPICAL WALL REINFORCING DETAILS.
 2. REFERENCE FIRST FLOOR SUBFLOOR ELEVATION = 100'-0"
 3. TOP OF CONCRETE ELEVATIONS ARE NOTED (XX'-X").
 4. TOP OF FOOTING ELEVATIONS ARE NOTED (XX'-X").
 5. CONTRACTOR TO VERIFY EXACT LOCATION OF INTERIOR FOOTINGS FOR ALIGNMENT OF COLUMNS ABOVE



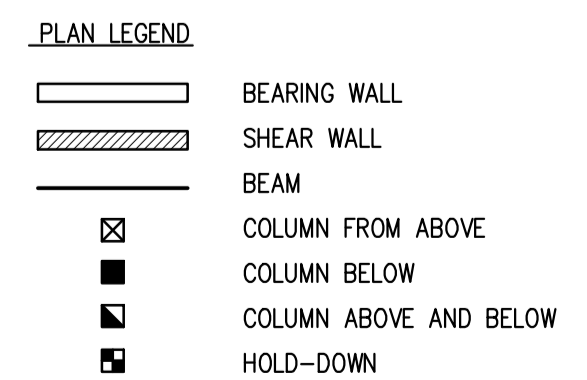
FOUNDATION PLAN

SCALE: 1/4"=1'-0" 1

PRINTED: Jan 06, 2015

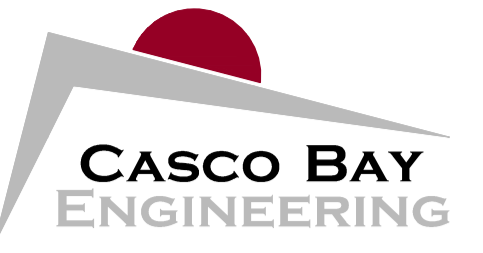


- NOTES:**
1. PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (2)-2x8's, U.N.O.
 3. PROVIDE (3)-2x4 STUDS AT ALL CORNERS, COLUMNS AND HOLD-DOWN LOCATIONS U.N.O.
 4. SEE SHEAR WALL ELEVATIONS ON SHEET S401 FOR SHEAR WALL LOCATIONS AND FASTENING INFORMATION.



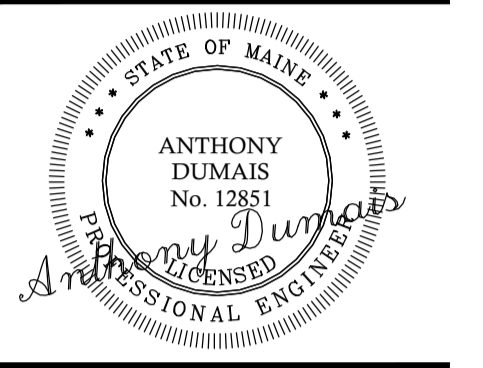
FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 2



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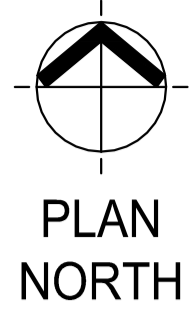
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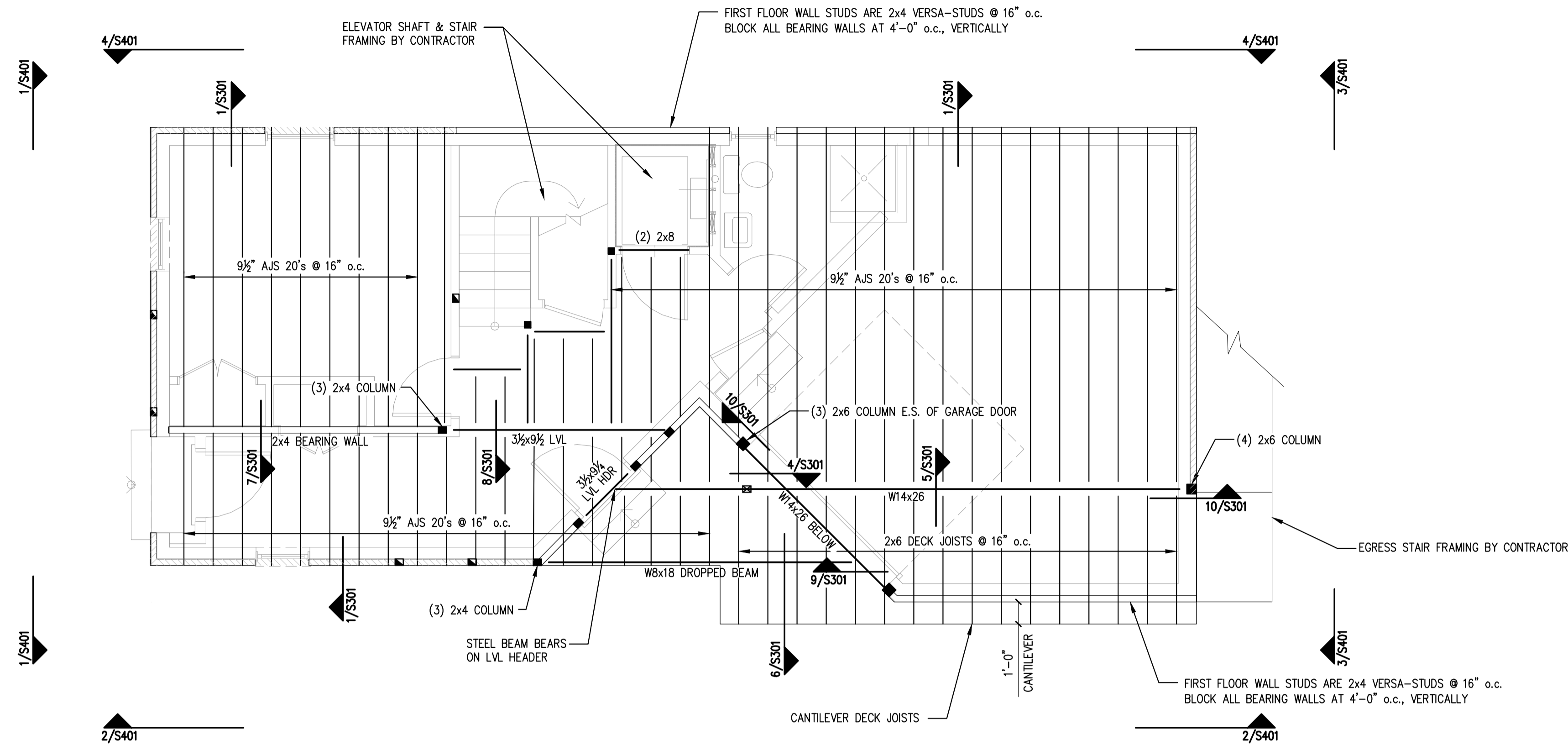
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DRAWN: TD
DATE: 10-2-14
PROJECT NUMBER: 14-121

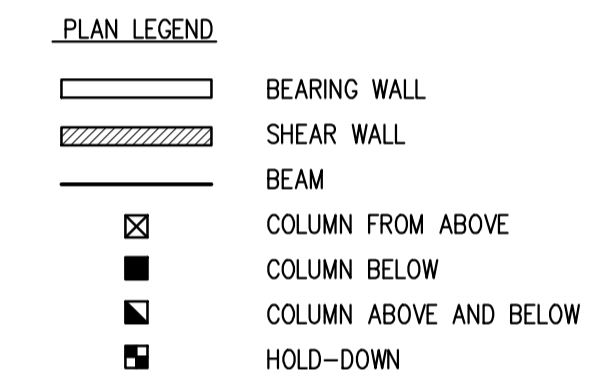
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PLAN NORTH

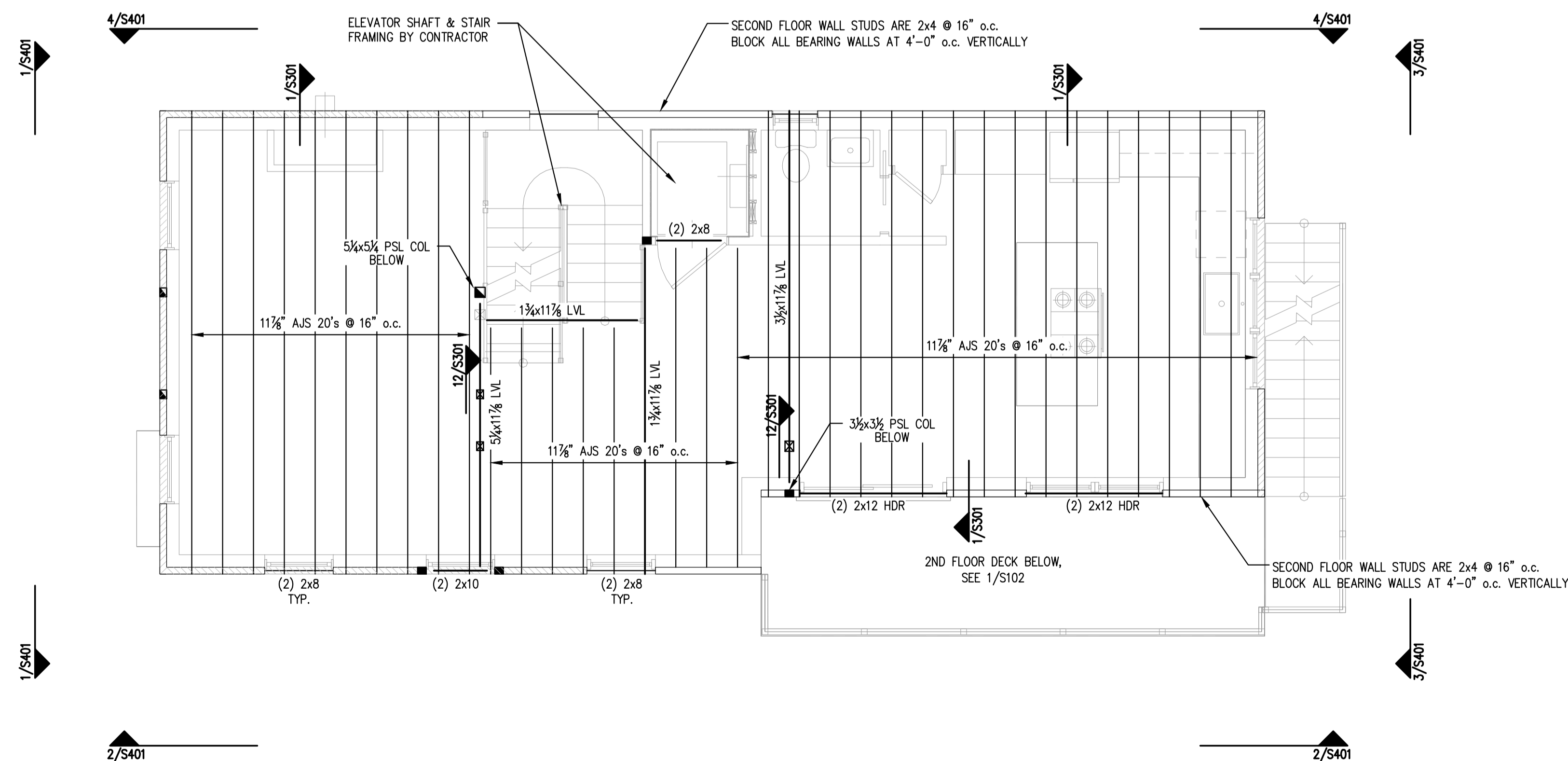


- NOTES:
1. PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (2)-2x8's, U.N.O.
 3. PROVIDE (3)-2x4 STUDS AT ALL CORNERS, COLUMNS AND HOLD-DOWN LOCATIONS U.N.O.
 4. SEE SHEAR WALL ELEVATIONS ON SHEET S401 FOR SHEAR WALL LOCATIONS AND FASTENING INFORMATION.

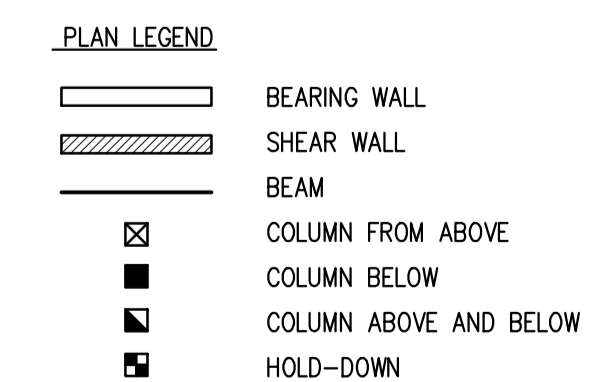


SECOND FLOOR FRAMING PLAN

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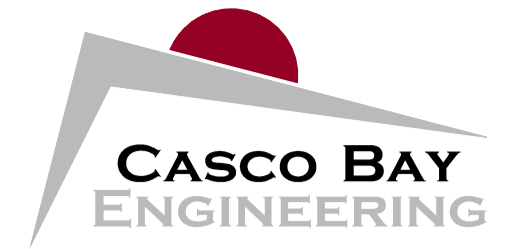
- NOTES:
1. PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (2)-2x8's, U.N.O.
 3. PROVIDE (3)-2x4 STUDS AT ALL CORNERS, COLUMNS AND HOLD-DOWN LOCATIONS U.N.O.
 4. SEE SHEAR WALL ELEVATIONS ON SHEET S401 FOR SHEAR WALL LOCATIONS AND FASTENING INFORMATION.



THIRD FLOOR FRAMING PLAN

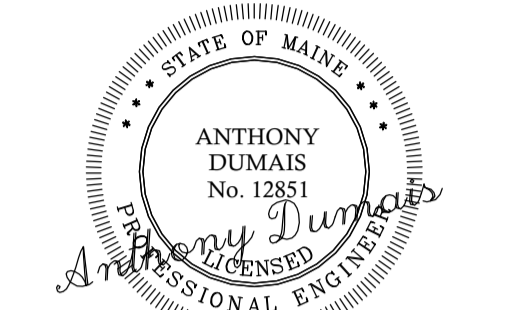
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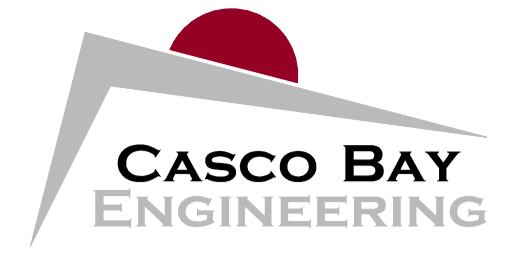
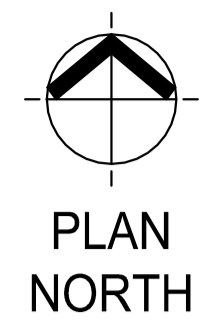
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SHEET TITLE:
SECOND FLOOR
& THIRD FLOOR
FRAMING PLANS

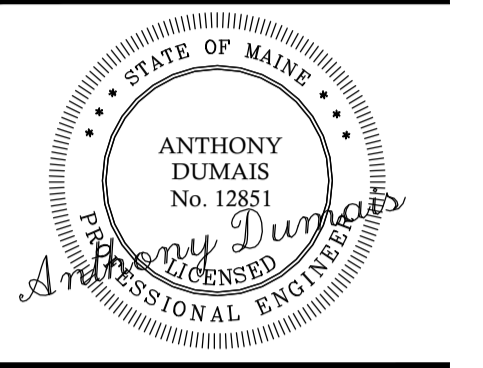
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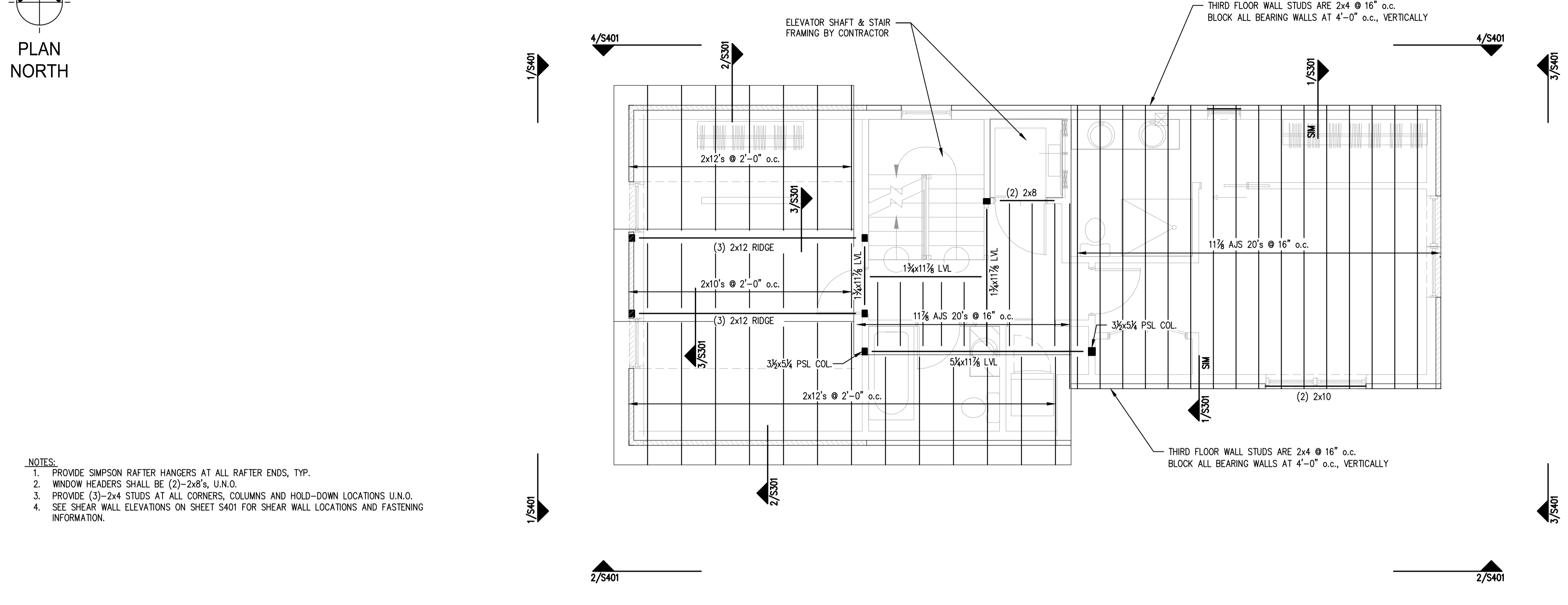


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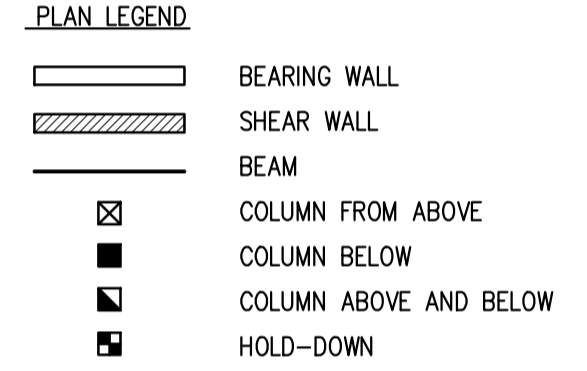
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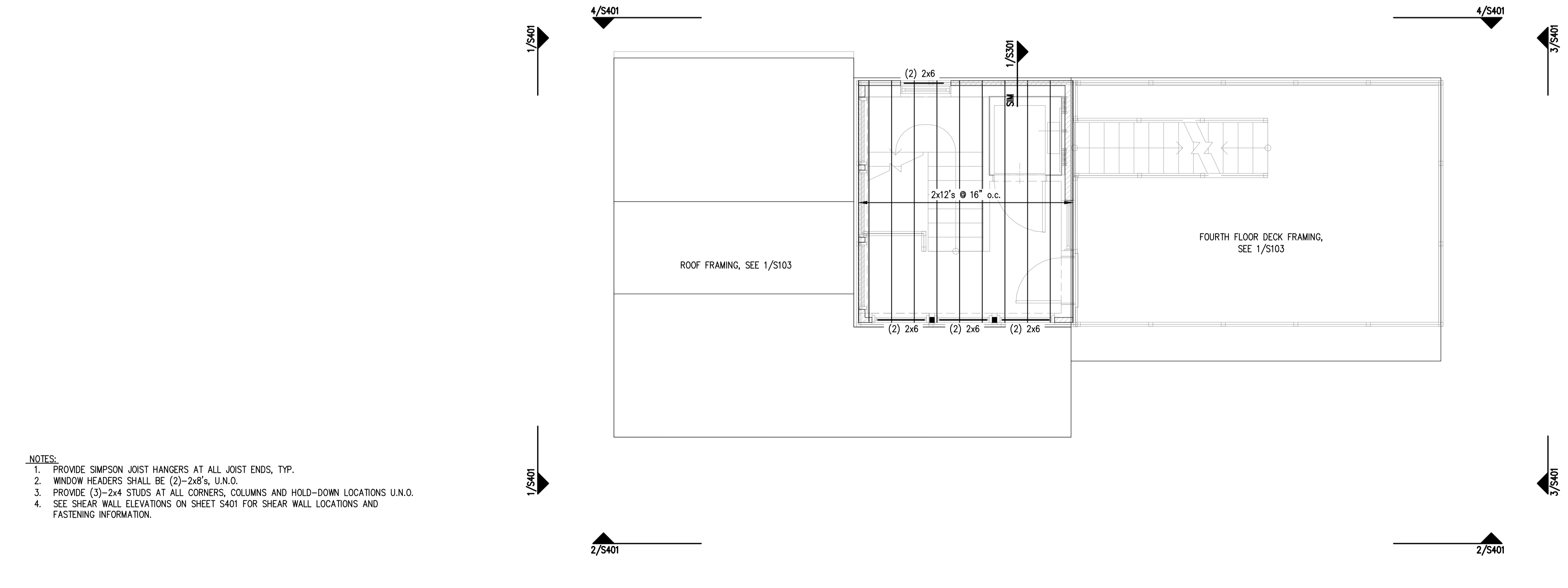


- NOTES:
1. PROVIDE SIMPSON RAFTER HANGERS AT ALL RAFTER ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (2)-2x8's, U.N.O.
 3. PROVIDE (3)-2x4 STUDS AT ALL CORNERS, COLUMNS AND HOLD-DOWN LOCATIONS U.N.O.
 4. SEE SHEAR WALL ELEVATIONS ON SHEET S401 FOR SHEAR WALL LOCATIONS AND FASTENING INFORMATION.

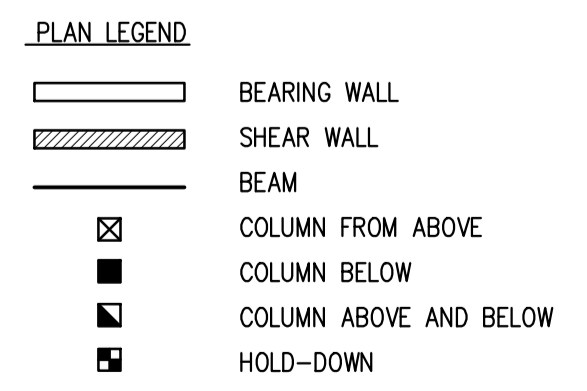


FOURTH FLOOR & ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" 1



- NOTES:
1. PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 2. WINDOW HEADERS SHALL BE (2)-2x8's, U.N.O.
 3. PROVIDE (3)-2x4 STUDS AT ALL CORNERS, COLUMNS AND HOLD-DOWN LOCATIONS U.N.O.
 4. SEE SHEAR WALL ELEVATIONS ON SHEET S401 FOR SHEAR WALL LOCATIONS AND FASTENING INFORMATION.



UPPER DECK FRAMING PLAN

SCALE: 1/4"=1'-0" 2

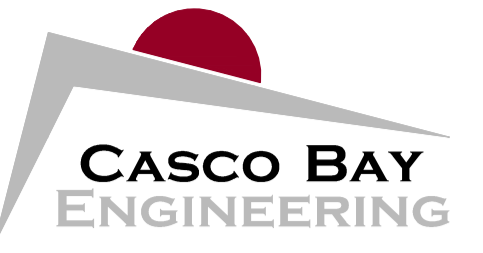
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SHEET TITLE:
FOURTH FLOOR/
ROOF & UPPER DECK
FRAMING PLANS

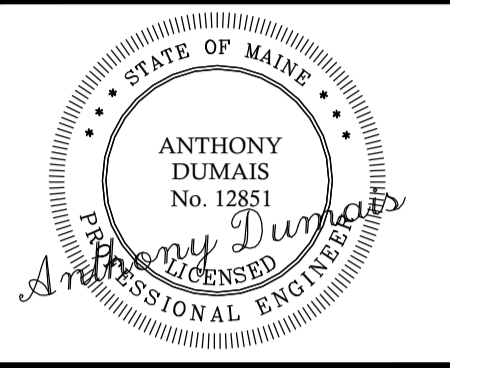
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S103



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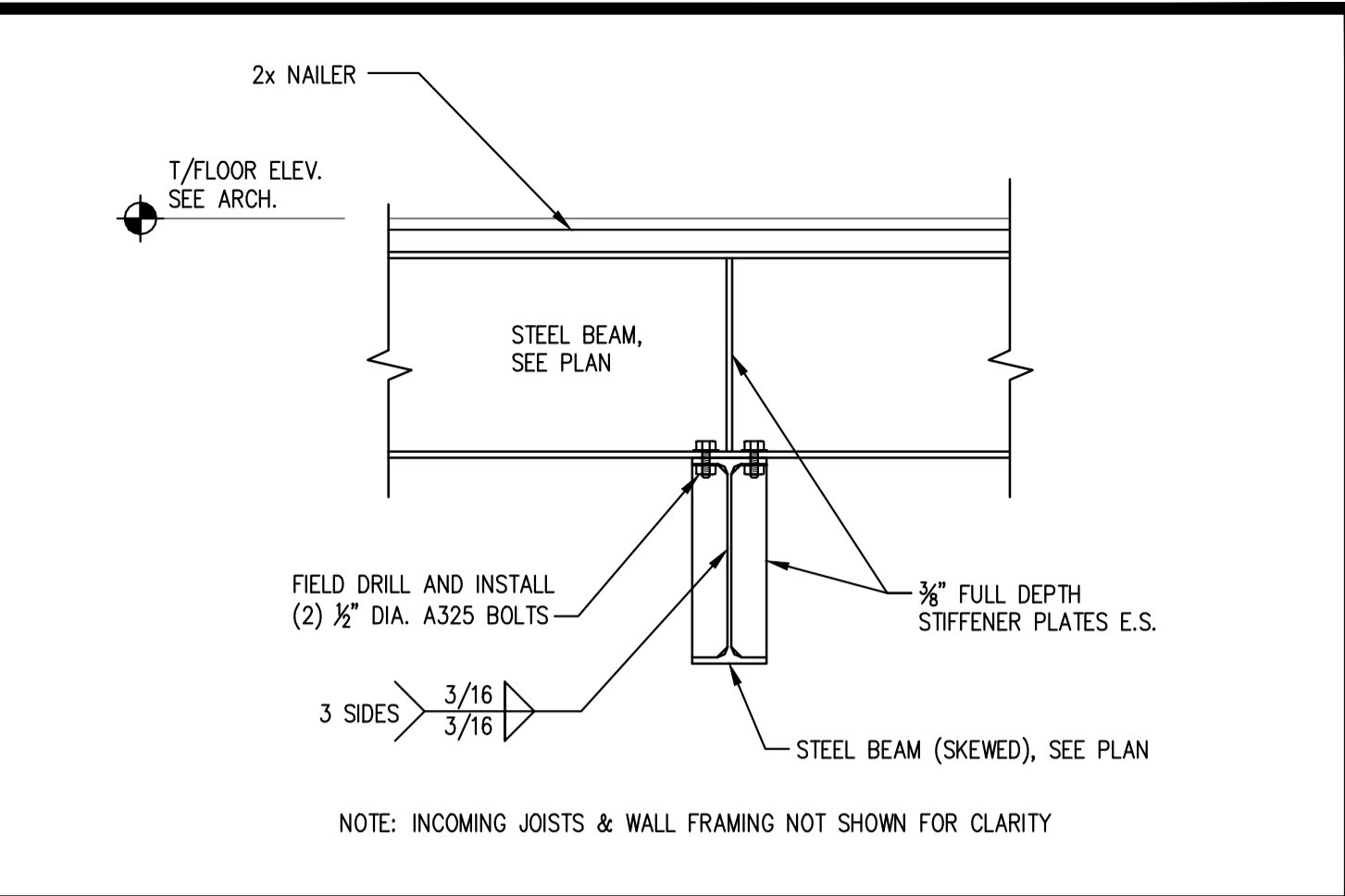
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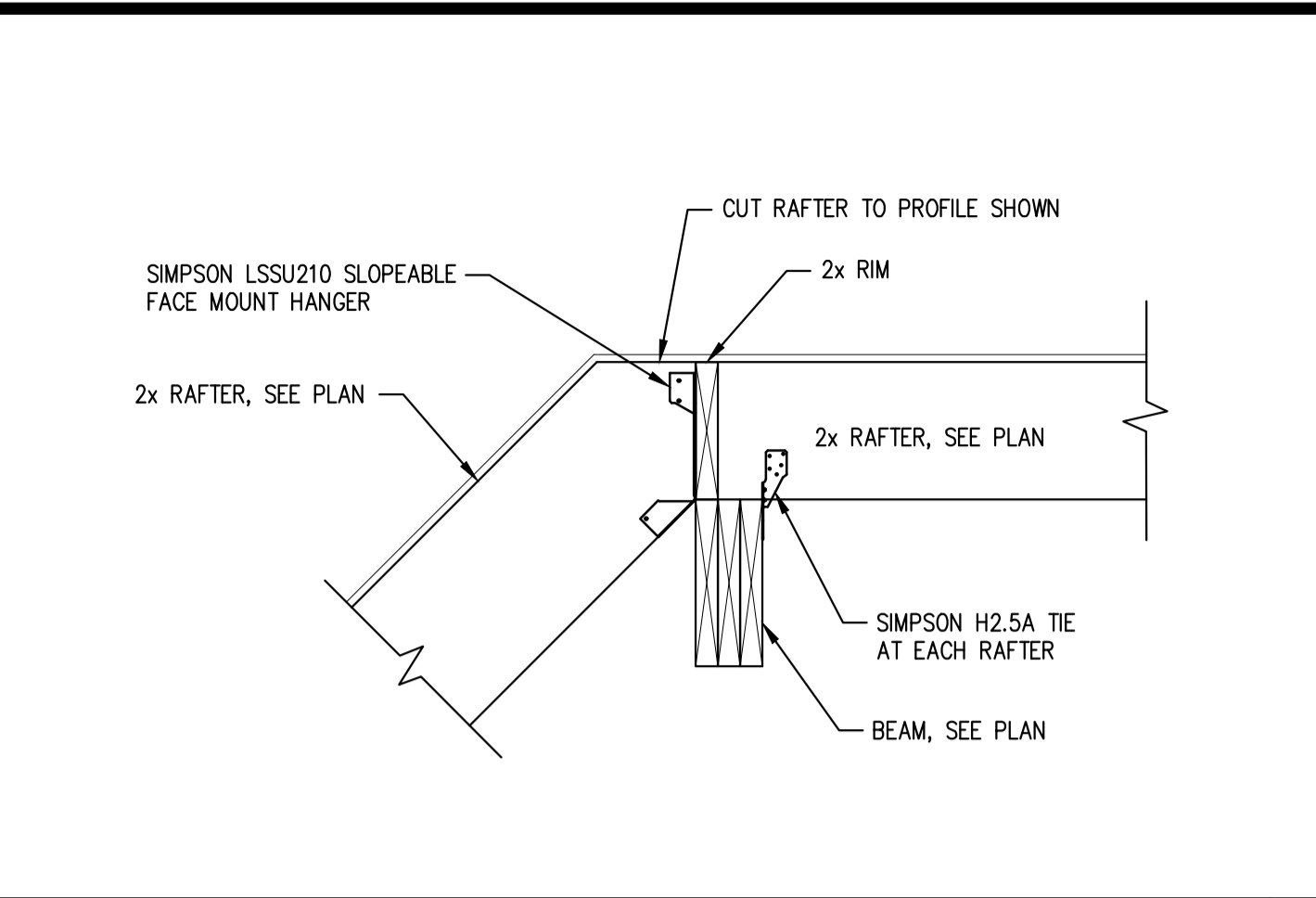
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PROJECT NUMBER: 14-121

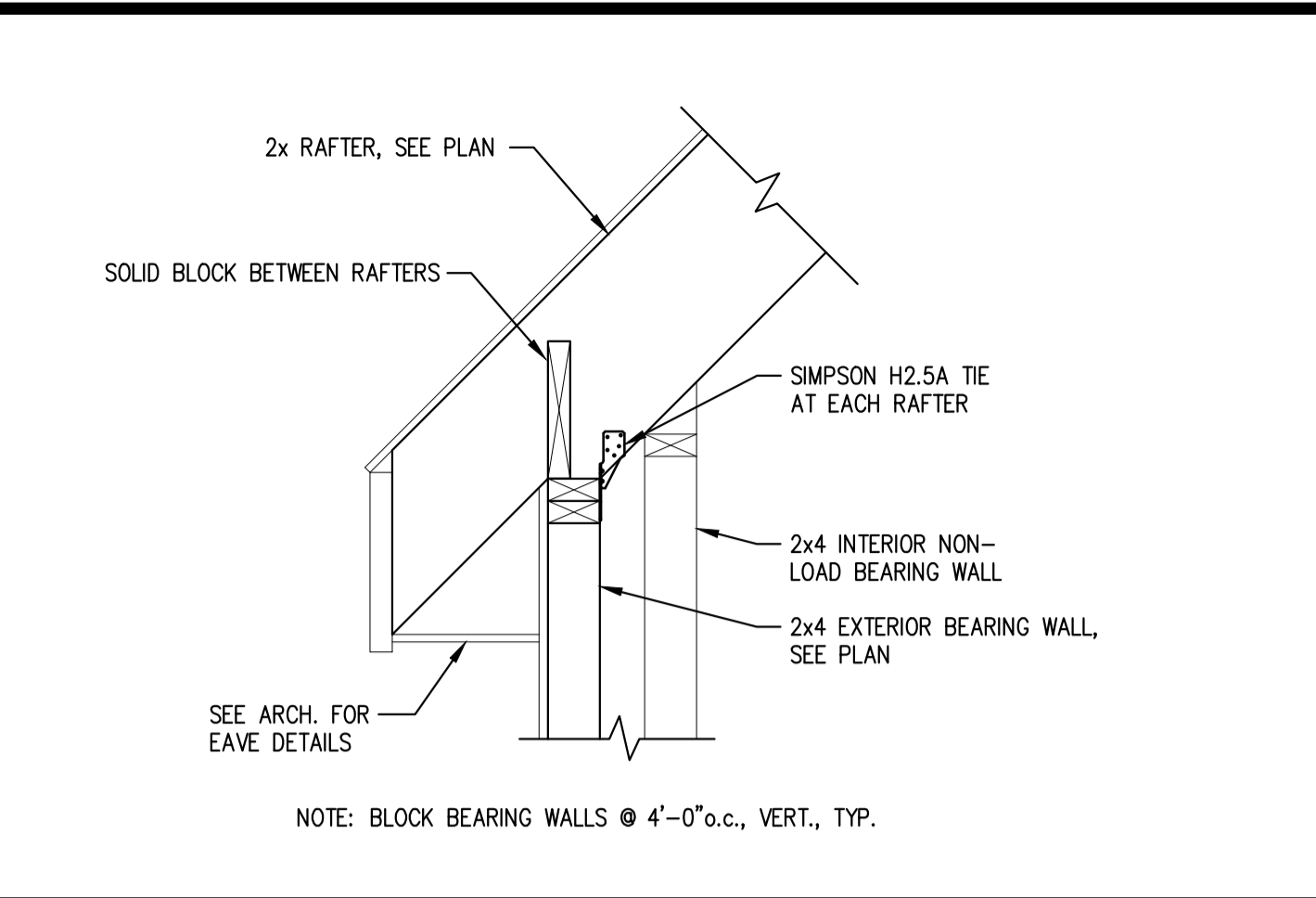
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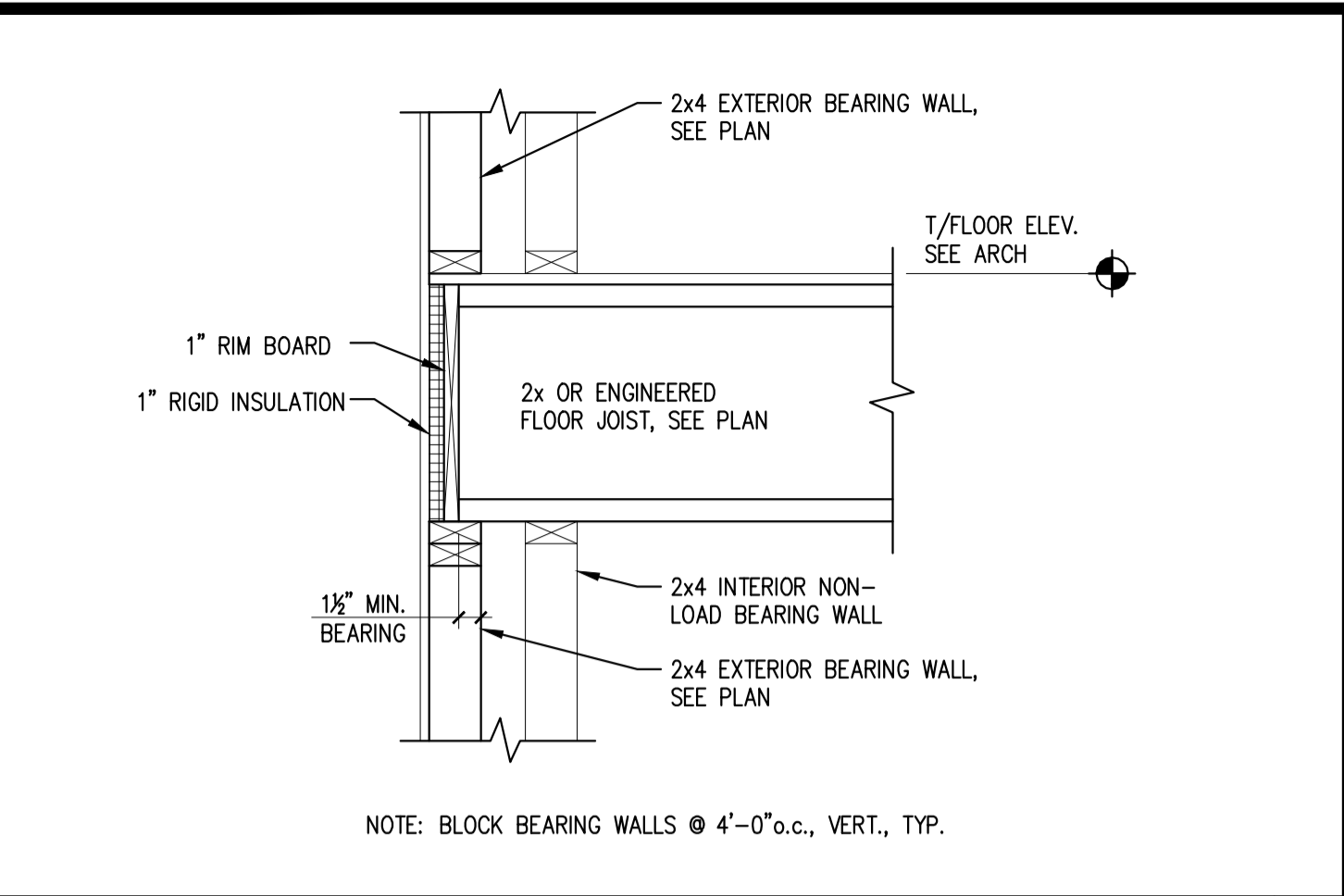
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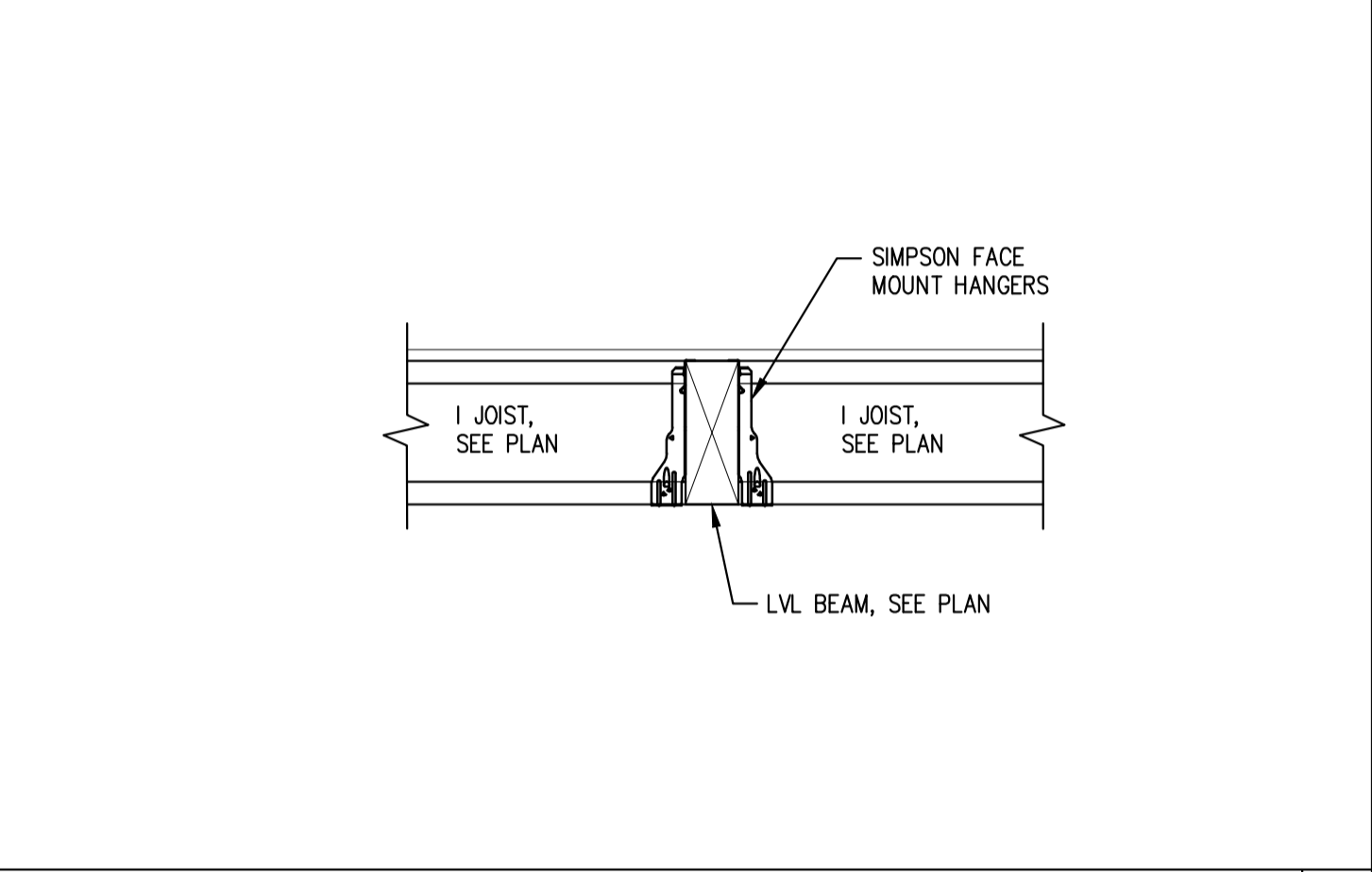
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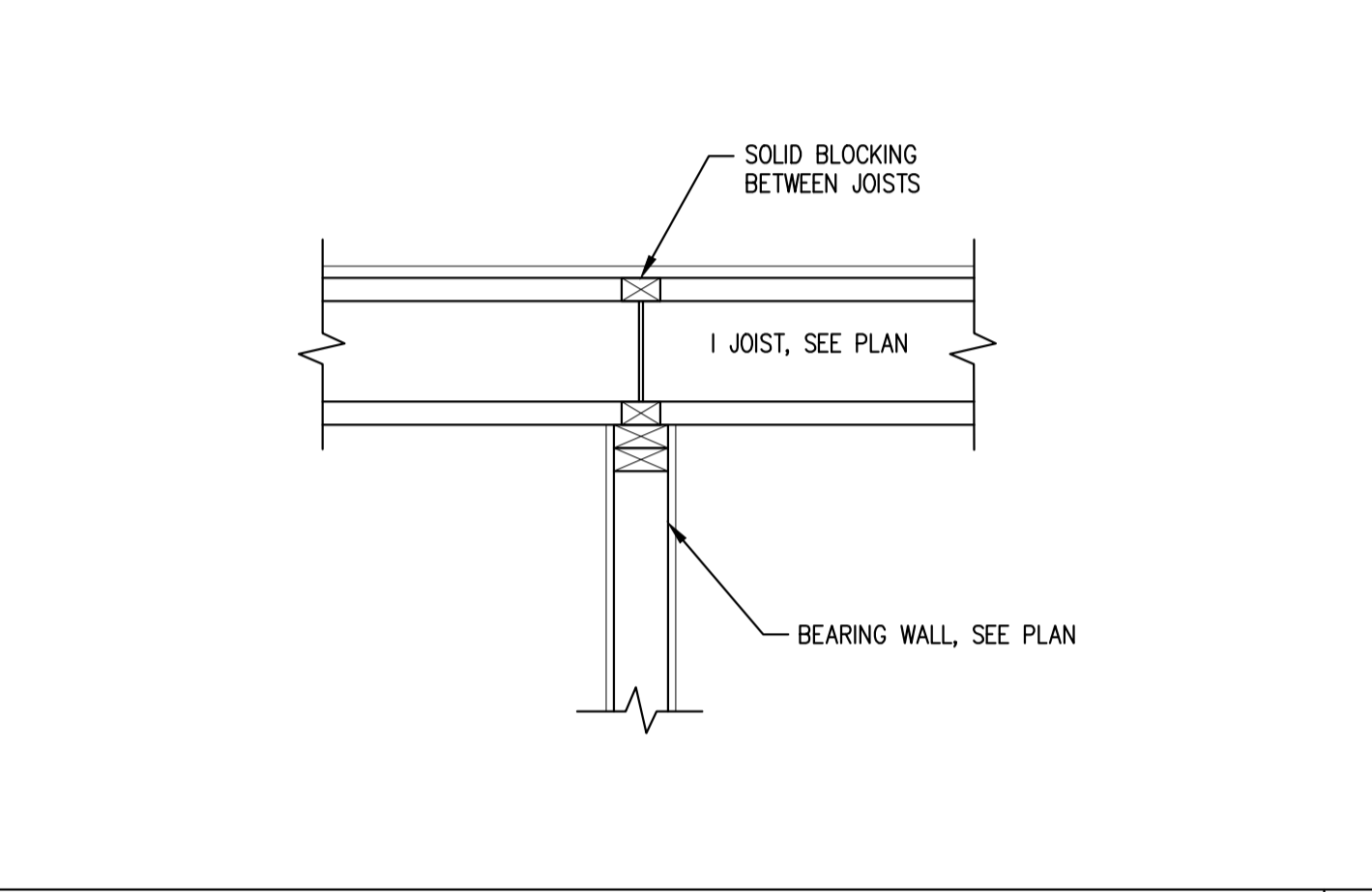
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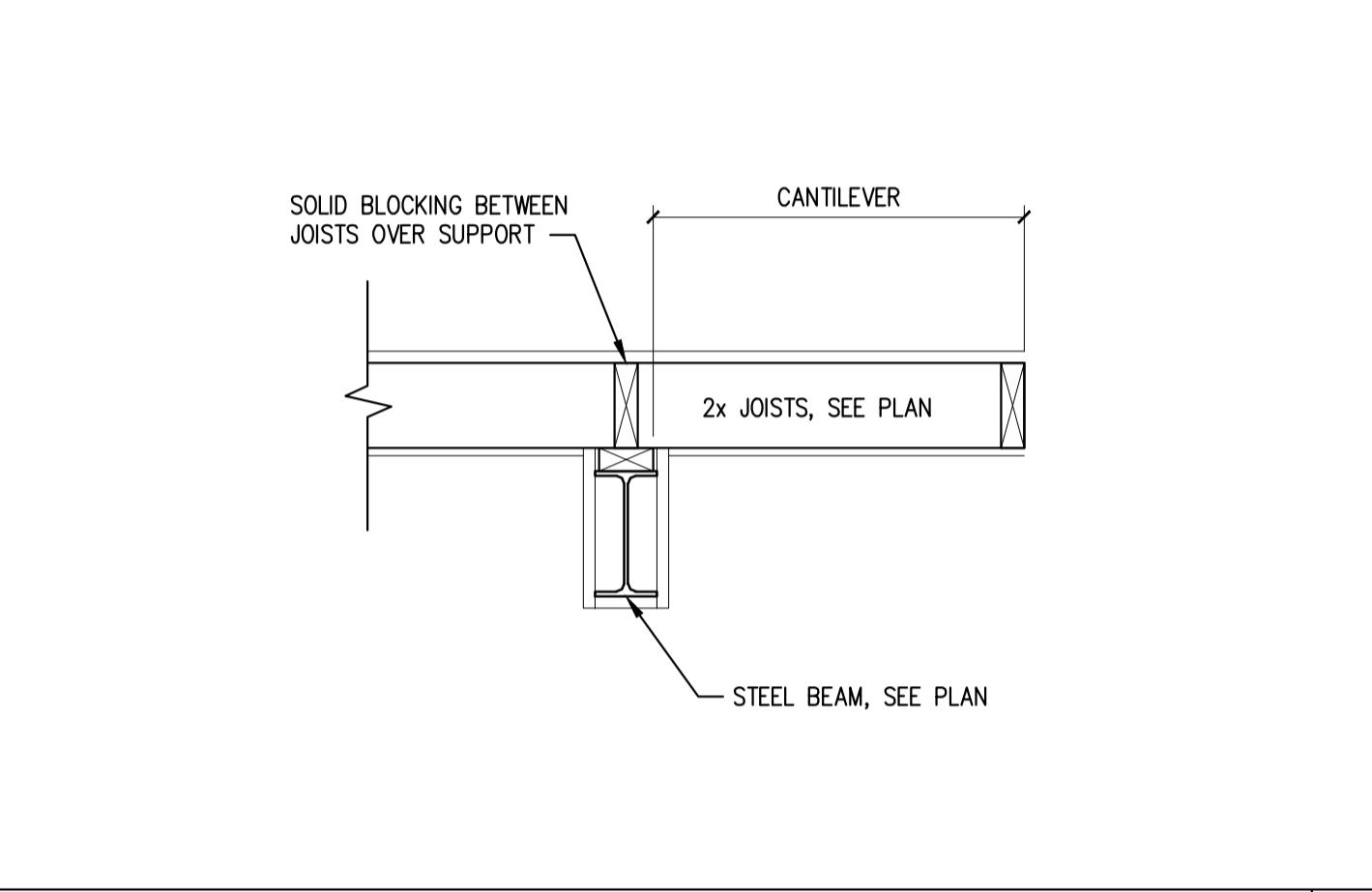
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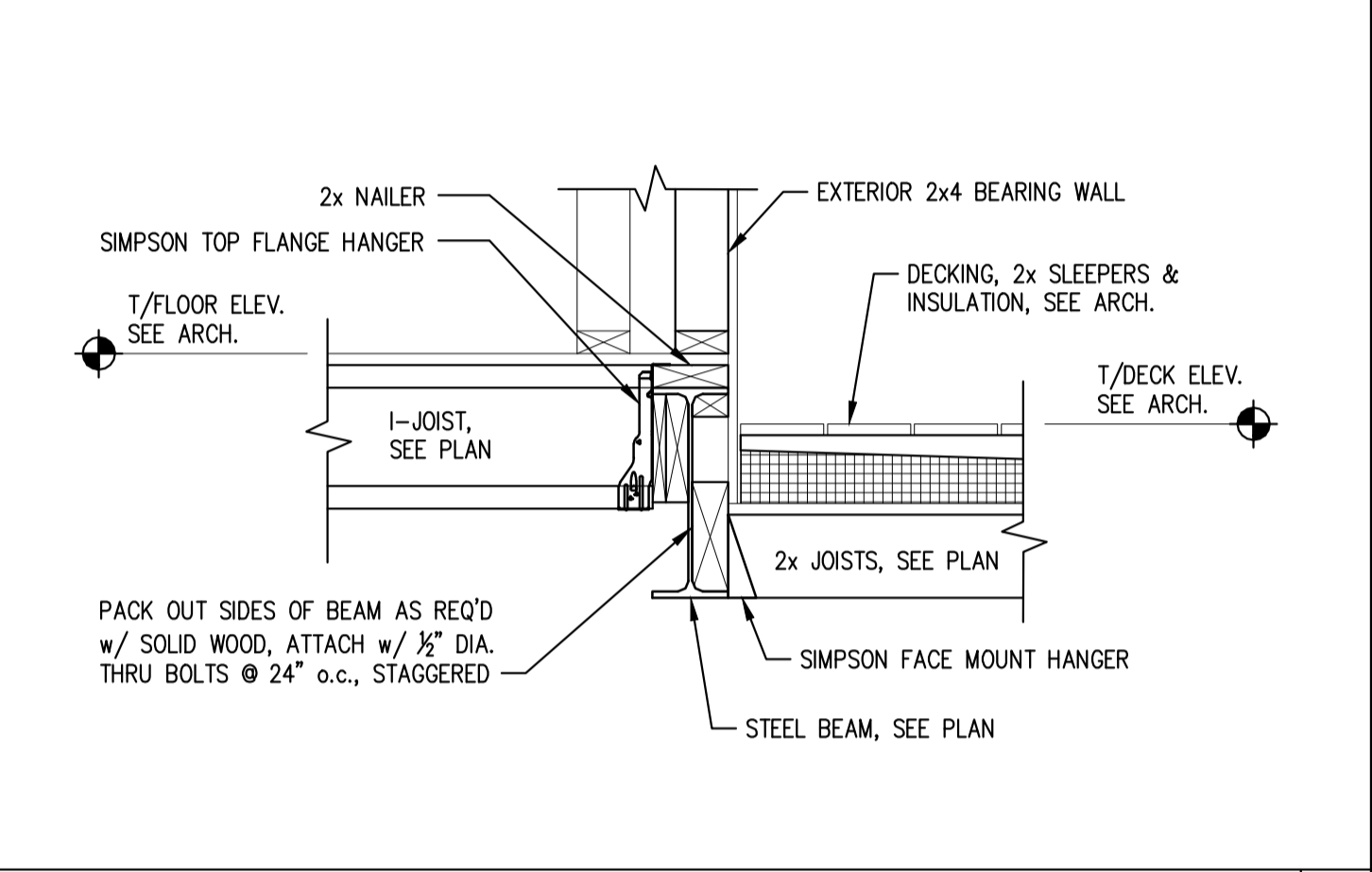
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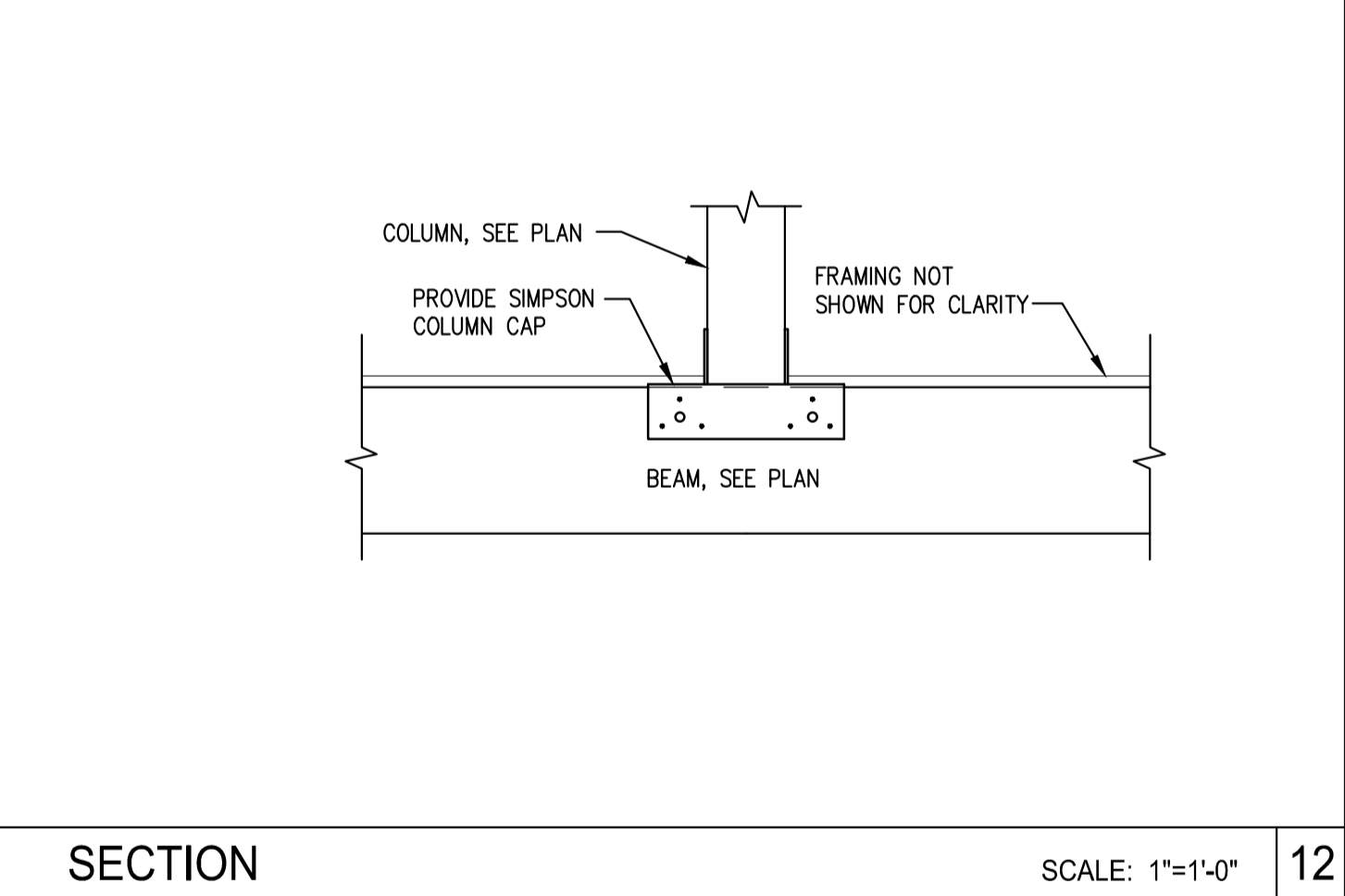
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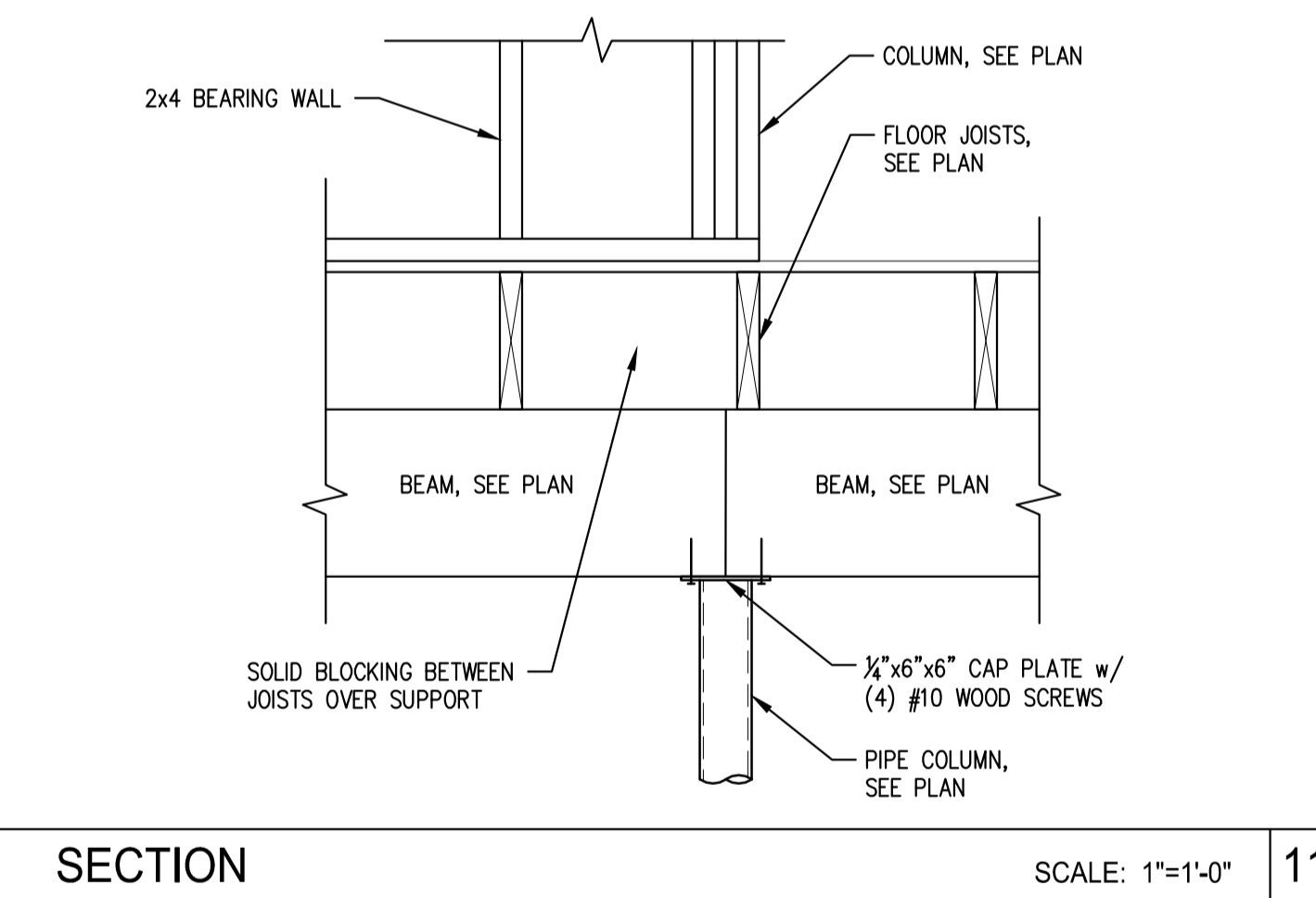
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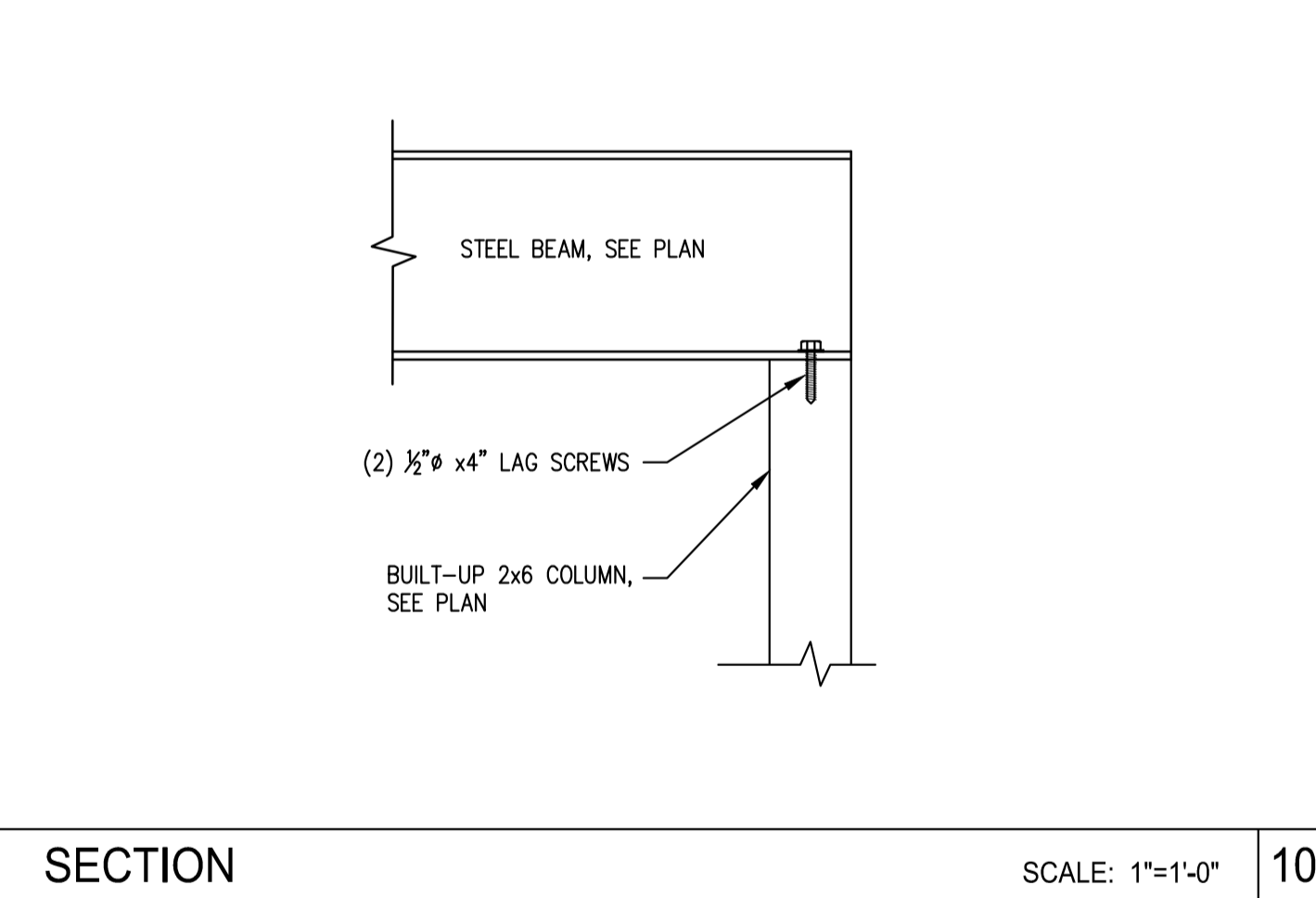
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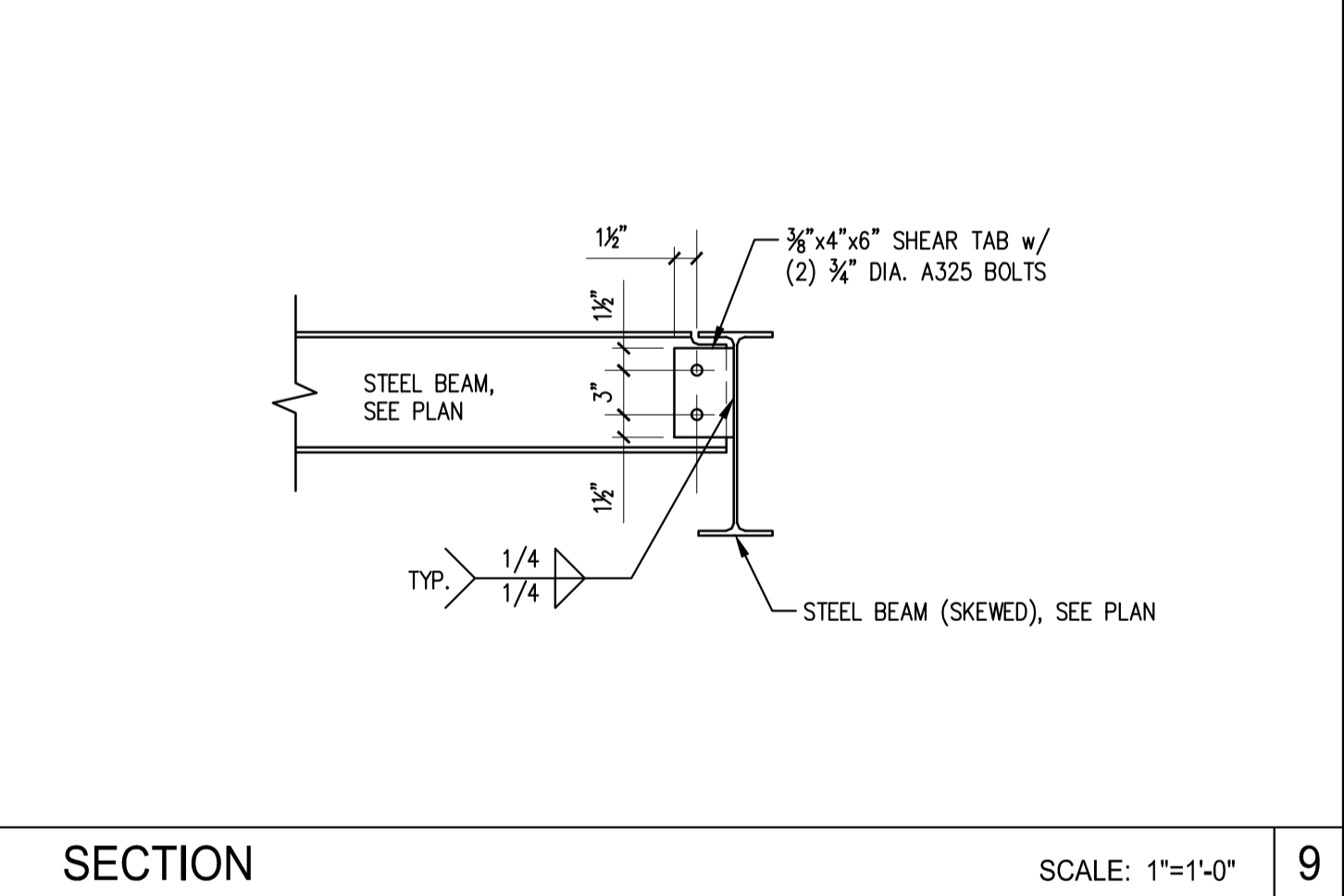
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SECTION SCALE: 1"=1'-0" 11



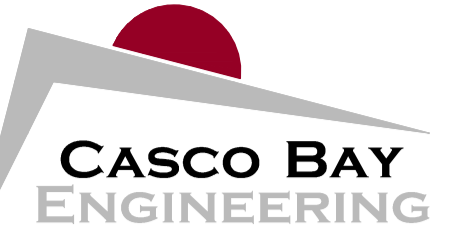
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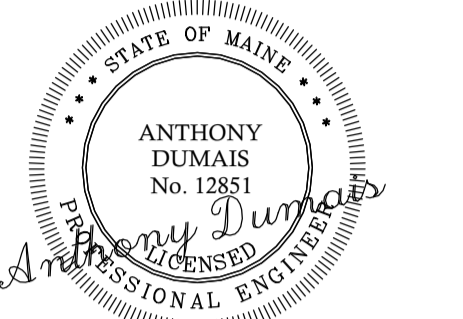
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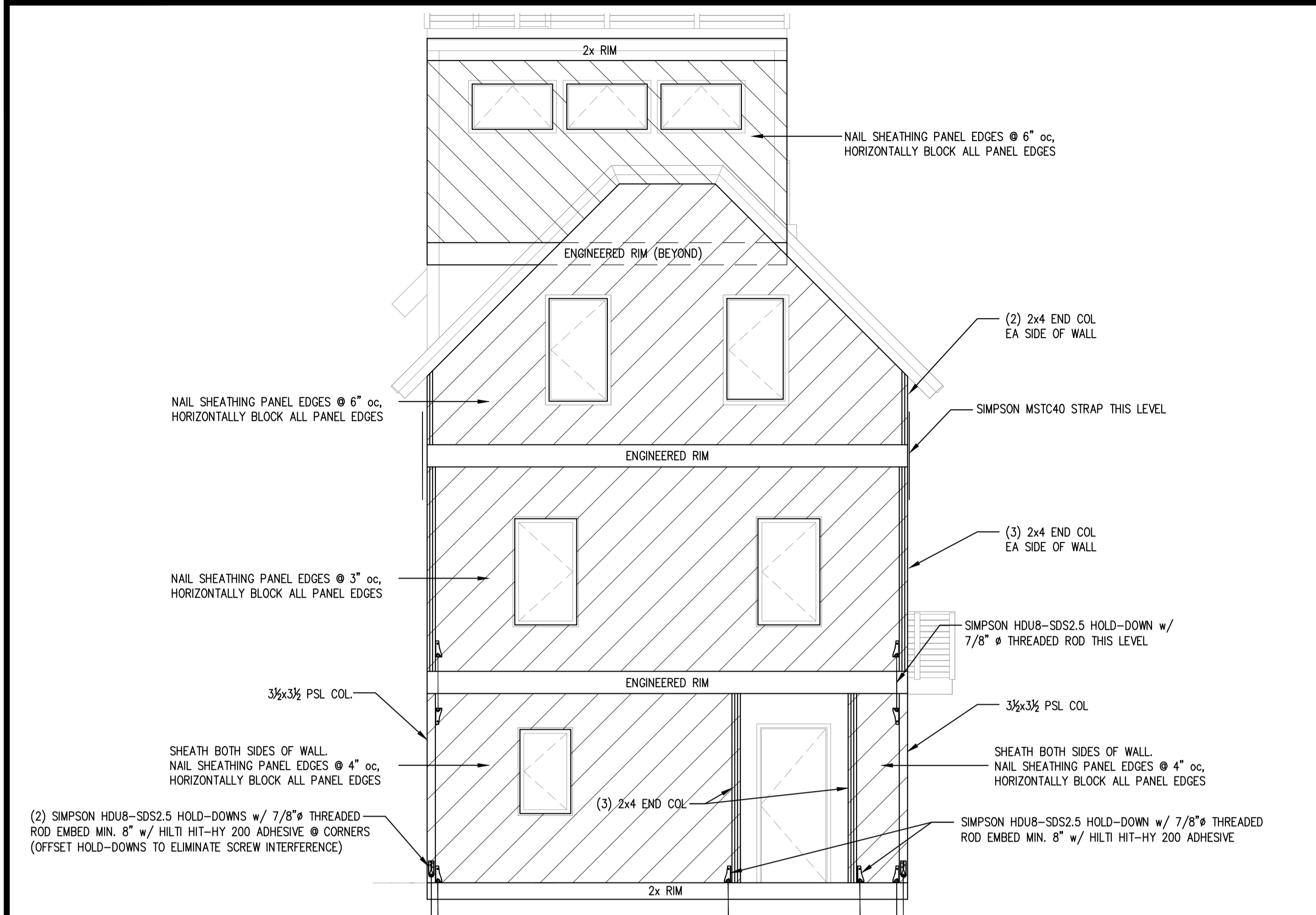
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SHEET TITLE:

SHEAR WALL ELEVATIONS

DESIGNED: TD
 DRAWN: TD
 DATE: 10-2-14
 PROJECT NUMBER: 14-121

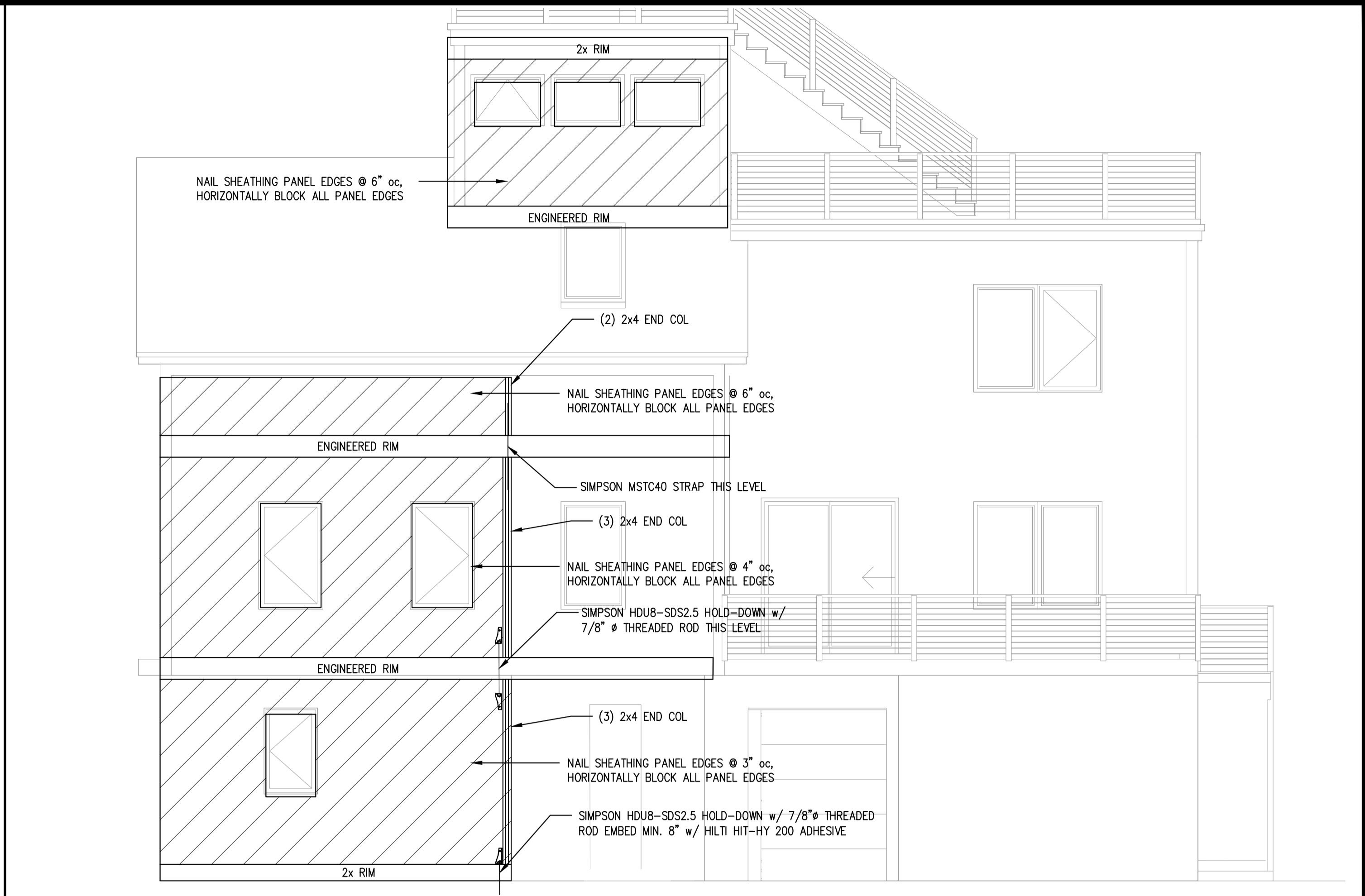
S401



WEST ELEVATION

SCALE: 1/4"=1'-0"

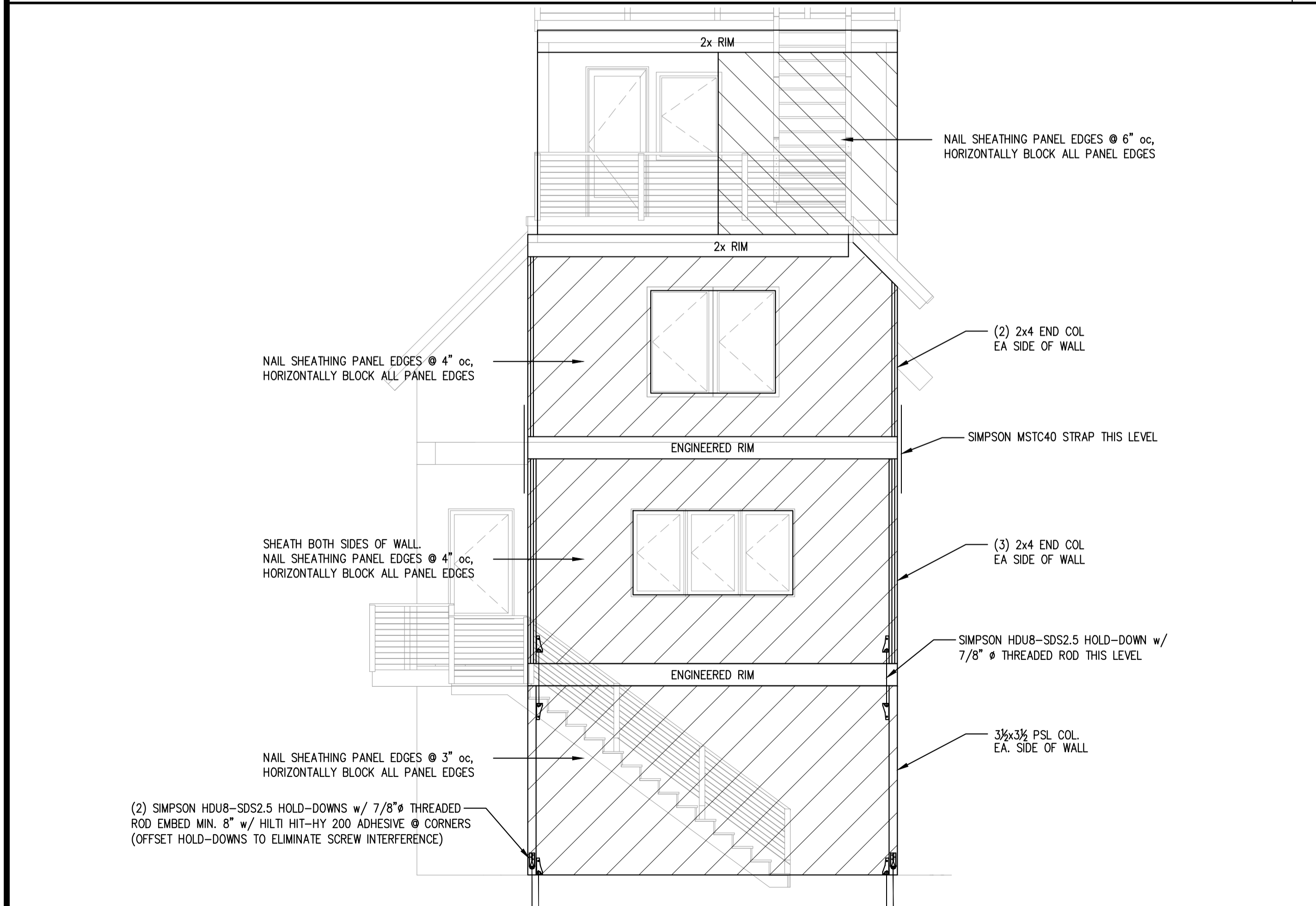
1



SOUTH ELEVATION

SCALE: 1/4"=1'-0"

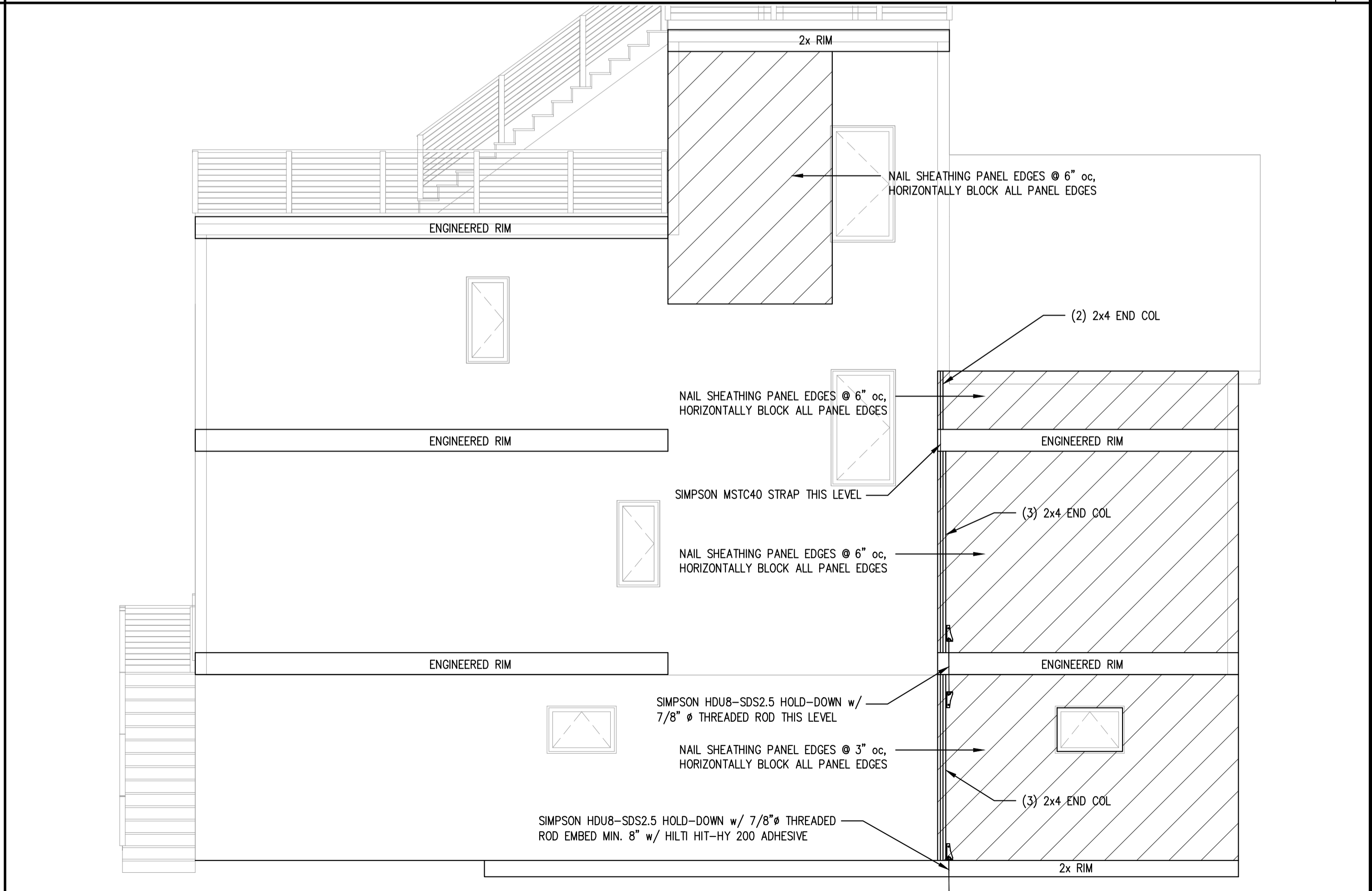
2



EAST ELEVATION

SCALE: 1/4"=1'-0"

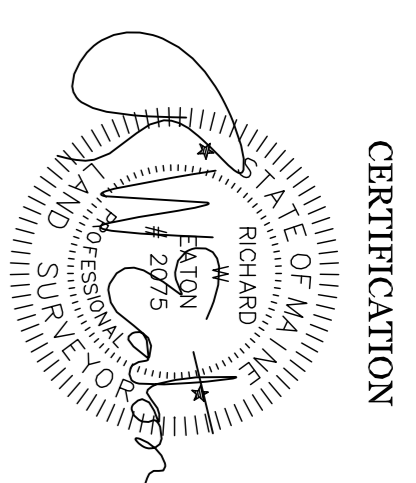
3



NORTH ELEVATION

SCALE: 1/4"=1'-0"

4



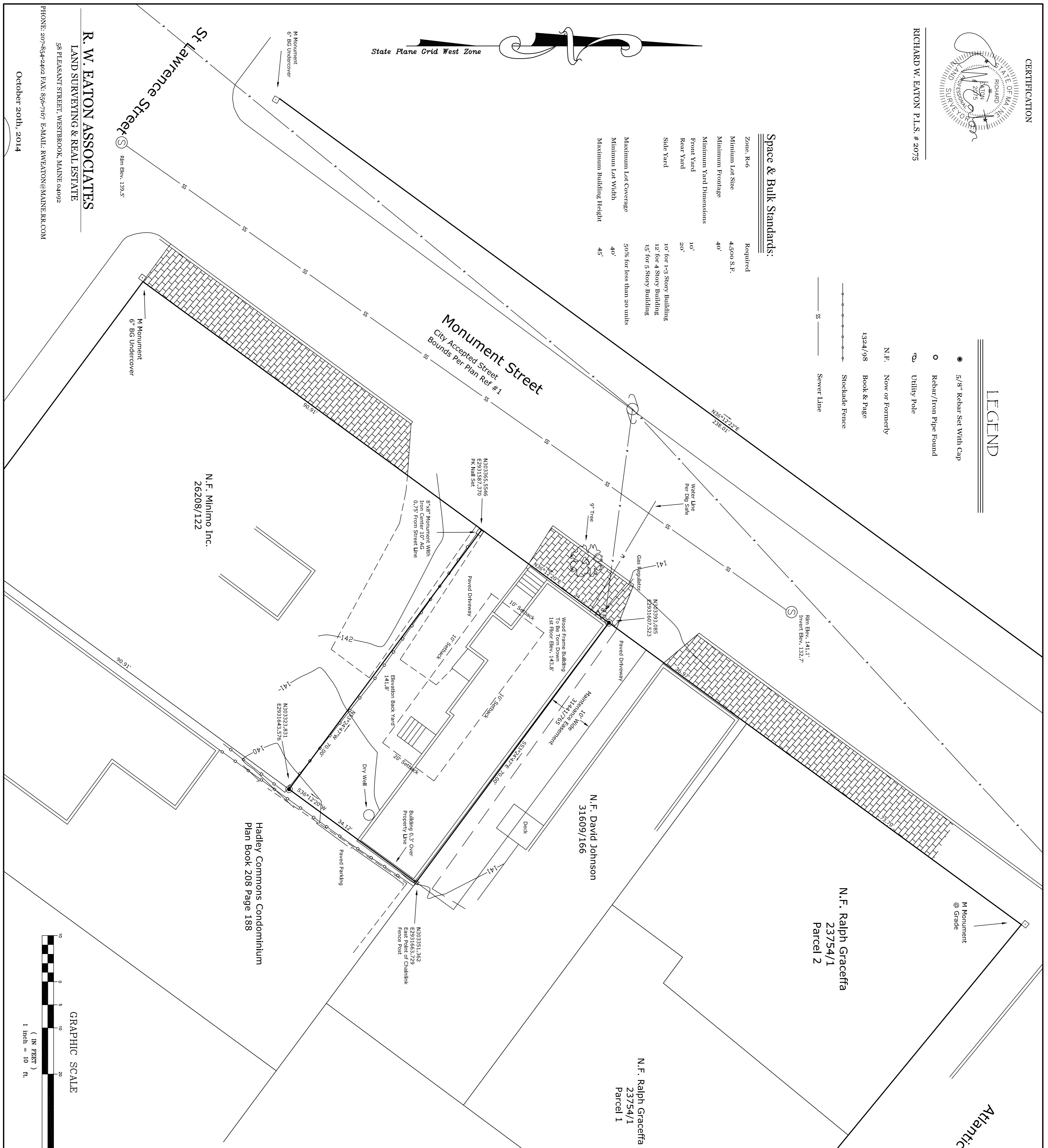
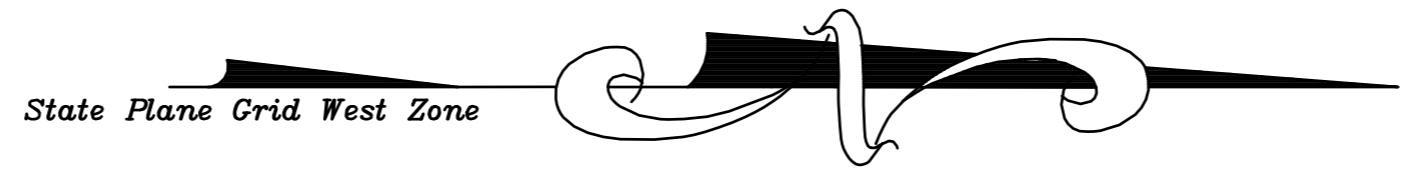
CERTIFICATION
 RICHARD W. EATON P.L.S. # 2075

LEGEND

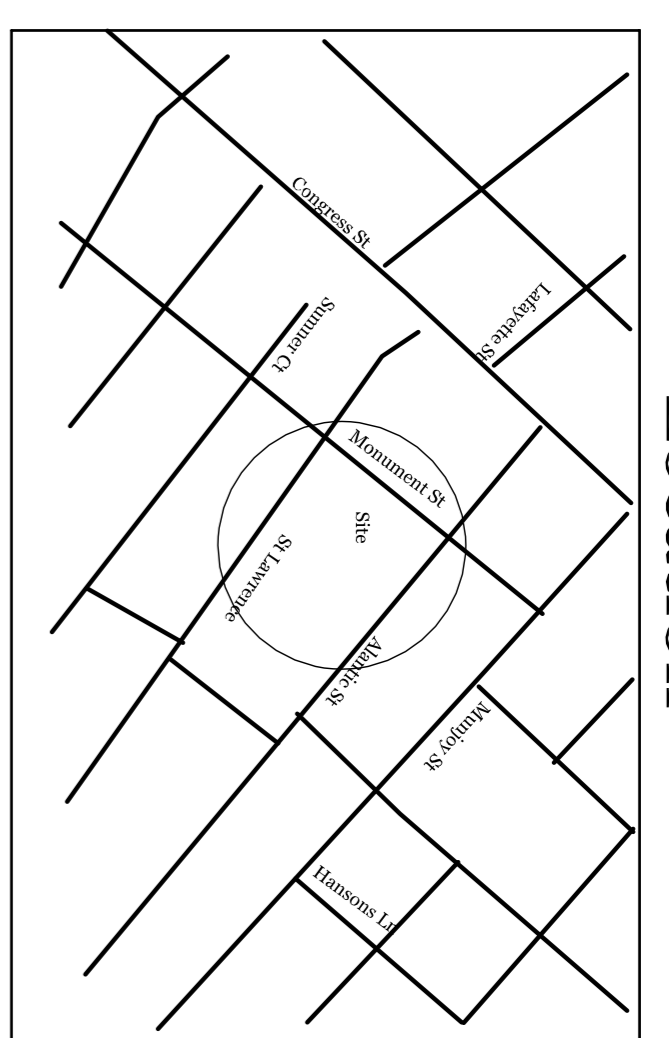
- 5/8" Rebar Set With Cap
- Rebar/Iron Pipe Found
- ⊕ Utility Pole
- N.F. Now or Formerly
- 1324/98 Book & Page
- Stockade Fence
- Sewer Line

Space & Bulk Standards:

Zone, R-6	Required
Minimum Lot Size	4,500 S.F.
Minimum Frontage	40'
Minimum Yard Dimensions	
Front Yard	10'
Rear Yard	20'
Side Yard	10' for 1-3 Story Building 12' for 4 Story Building 15' for 5 Story Building
Maximum Lot Coverage	50% for less than 20 units
Minimum Lot Width	40'
Maximum Building Height	45'



Location



PLAN REFERENCE

- 1) Condominium Plat. " Hadley Commons Condominium " 75 - 77 Lawrence for Mark & Noel Porter By Owen Haskell Inc Dated April 23, 2008 Recorded in Plan Book 208 Page 188
- 2) Street Right of Way Sheets of Monument Street Dated Nov. 1925, Sheet 118 On File at Portland Engineering Vault

Notes:

- 1) Total Area 2,388 Square Feet or 0.05 Acres
- 2) Bench Mark - PK Nail at CMP Pole #7 North Side of Congress Street Opposite Munjoy Street, Elevation 139.79' Feet City Datum Provided by D.P.W.
- 3) State Plane Coordinates Used
 Base Point Designation Description : T11-31-95, N8092482.387, E2931672.895
 S36°38'51" W 285.39' To and Control Point T112-72-110, N899353.415, E2931592.530
- 4) Firm Flood Insurance Map, Portland, Maine, Panel 14 of 17, Community Panel # 230051 0014 B Dated July 17, 1986, Zone C Area of Minimal Flooding
- 5) New Construction Will Use Existing Sewer & Water Connections

Boundary Survey

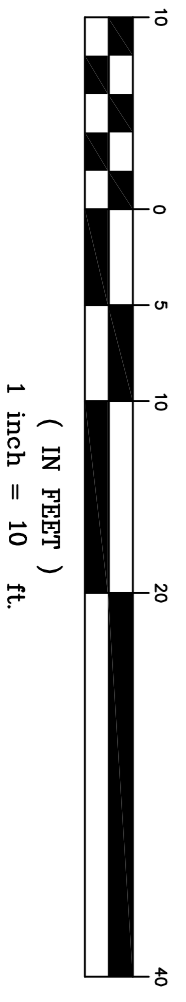
Land Located at: 30 Monument Street
 Portland, Maine 04101
 Land Owned By: Monument LLC
 Address: 100 Congress Street
 Portland, Maine 04101
 Deed Reference: Book 31356 Page 193

R. W. EATON ASSOCIATES

LAND SURVEYING & REAL ESTATE
 58 PLEASANT STREET, WESTBROOK, MAINE 04092
 PHONE: 207-854-2400 FAX: 856-7167 E-MAIL: RWEATON@MAINER.RR.COM

October 20th, 2014

GRAPHIC SCALE



SCALE: 1/10
DRAWN BY: R.W.E.
CHECKED BY: R.W.E.
CAD FILE: 510.DWG
PROJ #: 510
ORIG DATE: 10-20-14
1 REV DATE: 11-19-14
2 REV DATE: 01-05-15
3 REV DATE: 00-00-00



765

10303 (122)

Know all Men by these Presents,

That we, EDMUND L. SHAW and DOROTHY R. SHAW, both of Portland in the County of Cumberland and State of Maine,

in consideration of One Dollar (\$1.00) and other valuable consideration, Being less than One Hundred Dollars (\$100.00),

paid by AMY E. STOCKBRIDGE

the receipt whereof we do hereby acknowledge, do hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said

AMY E. STOCKBRIDGE, her heirs and assigns forever,

~~xxxx certain lot or parcel of land~~

An easement over certain land located in the City of Portland, County of Cumberland and State of Maine for men and equipment to be moved upon and placed on so much of the following described land as is necessary to maintain, restore, refurbish and otherwise work upon the northeasterly side of the house presently located at 30 Monument Street in said Portland, which property was conveyed to Adelbert G. Stockbridge by Rosa W. Sprague by Warranty Deed dated September 17, 1918 and recorded in the Cumberland County Registry of Deeds in Book 1011, Page 450 and is being conveyed by Amy E. Stockbridge to Charles A. Fortin by deed of recent date to be recorded in said Registry of Deeds. The land over which this easement extends is bounded and described as follows:

Beginning on the southeasterly side of Monument Street in said Portland at the northerly corner of land conveyed by Rosa W. Sprague to Adelbert G. Stockbridge by deed dated September 17, 1918 and recorded in said Registry of Deeds in Book 1011, Page 450; thence running southeasterly by the northeasterly line of said Stockbridge land seventy (70) feet, more or less, to the easterly corner of said Stockbridge land; thence running northeasterly parallel with the southeasterly line of Monument Street ten (10) feet to a point; thence running northwesterly parallel to and ten (10) feet distant from the northeasterly line of said Stockbridge land seventy (70) feet, more or less, to the southeasterly line of said Monument Street; thence running southwesterly by the southeasterly line of said Monument Street ten (10) feet, more or less, to the point of beginning.

Being a portion of the premises conveyed to the Grantors herein by Albert Galli by Warranty Deed dated July 18, 1961 and recorded in said Registry of Deeds in Book 2617, Page 113.

DS
RR

DS
SL



766

To have and to hold the same, together with all the privileges
and appurtenances thereunto belonging, to her the said
AMY E. STOCKBRIDGE, her

heirs and assigns forever.

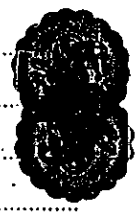
In Witness Whereof, the said EDMUND L. SHAW and DOROTHY R. SHAW,
~~being~~ ~~and~~ being husband and wife, each
~~wife~~ ~~of the said~~

joining in this deed as Grantor, and relinquishing and conveying
all right by descent and all other rights in the above described
premises, have hereunto set our hands and seals this
day of in the year of our Lord one thousand nine
hundred and seventy.

Signed, Sealed and Delivered
in presence of

Elnor B. Clark

Edmund L. Shaw
Dorothy R. Shaw



State of Maine, } ss.

September 25, 1970

CUMBERLAND

Personally appeared the above named
Edmund L. Shaw and Dorothy R. Shaw

and acknowledged the above instru-
ment to be their free act and deed.

Before me, *Elnor B. Clark*

SEP 28 1970

Justice of the Peace.
~~Notary Public.~~

REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE
Received at 10 H 7 M A M, and recorded in

BOOK *3144* PAGE *765* *Margaret E. McKen* Deputy Register

DS [Signature] DS KR