

04 1610

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>56 Atlantic St.</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>2512.50</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>16</u> Block# <u>E</u> Lot# <u>007</u>	Owner: <u>David &amp; Kellie Hochheiser</u>	Telephone: <u>207 653.2441</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>David &amp; Kellie Hochheiser</u> <u>56 Atlantic St.</u> <u>Portland, ME 04101</u>	Cost Of Work: \$ <u>8,300.00</u> Fee: \$ <u>2.00</u>
Current use: <u>1 unit of 2 unit building. (Residential)</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Residential</u> <del>Other</del>		
Project description: <u>Add a dormer to 3<sup>rd</sup> floor bed room.</u>		
Contractor's name, address & telephone: <u>Marc - Clearview Properties 797-874</u> <u>639 Riverside St. Portland, ME 04103</u>		
Who should we contact when the permit is ready: <u>David or Kellie - 653-2441</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>653-2441</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

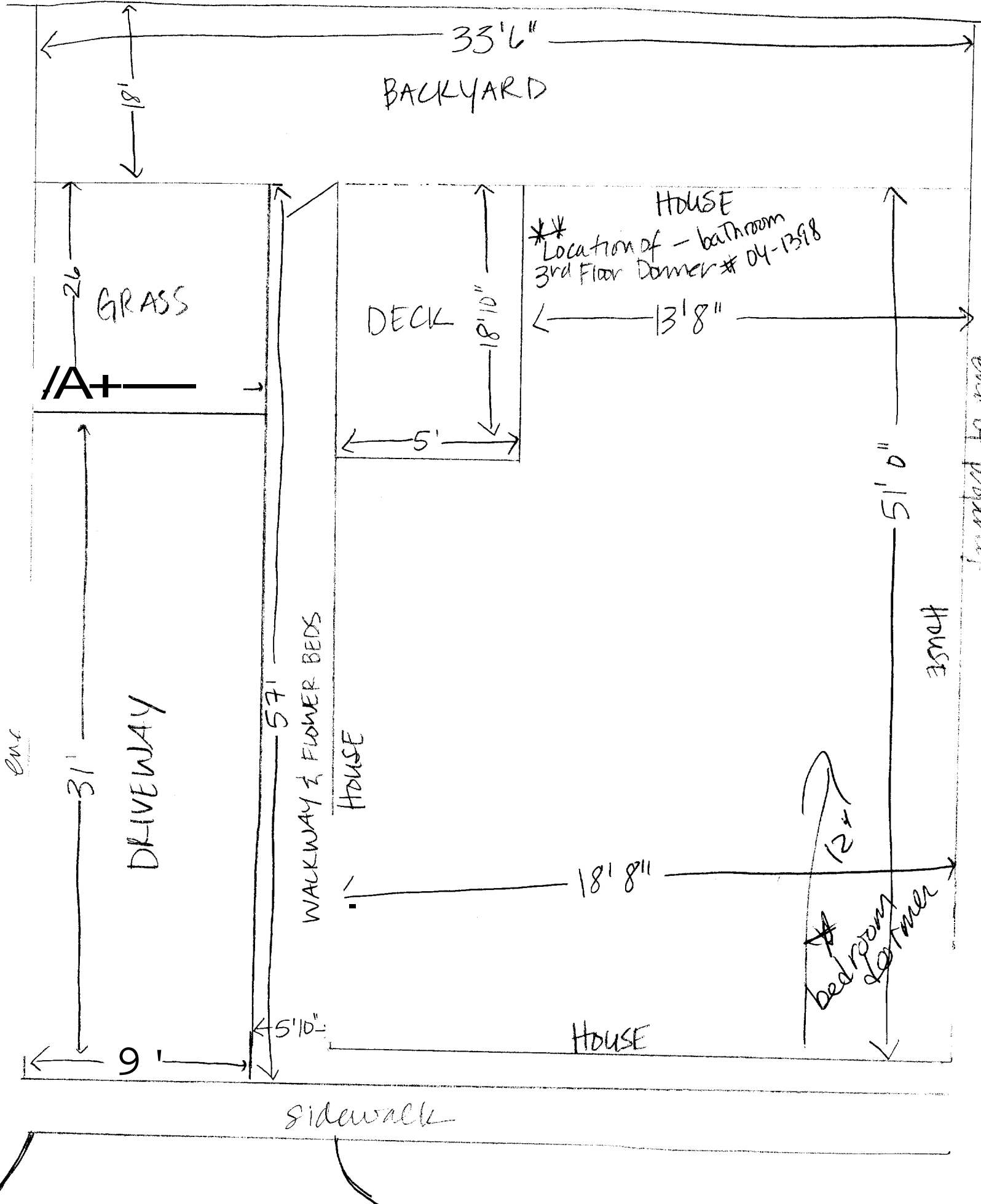
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kellie M. Hochheiser</u>	Date: <u>11/26/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

OCT 28

# PLOT PLAN FOR 56 ATLANTIC ST.



# KP Klearview Properties Inc.

639 Riverside St. Portland Me, 04103 REMODELING / HOME IMPROVEMENT  
 Phone; 797-0743 Fax; 797-2224  
 E-mail: [Klearview@aol.com](mailto:Klearview@aol.com)

*11/9/04  
 Notes per Mark  
 @ Klearview*

October 25, 2004

Installation of dormer in ~~bathroom~~ <sup>bedroom</sup> third floor  
 56 Atlantic St. Portland, Me.

Install twelve (12) foot wide dormer to one wall front right side of house in **bedroom**. Current wall is twelve (12) feet in length and currently has a **knee** wall that is two (2) feet in height with a slanted **upper** wall **the same pitch as the roof**. We are proposing to install a dormer to extend the current knee wall height to **84** inches. One vinyl window 56" x 28" will be installed in new wall.

**Construction:**

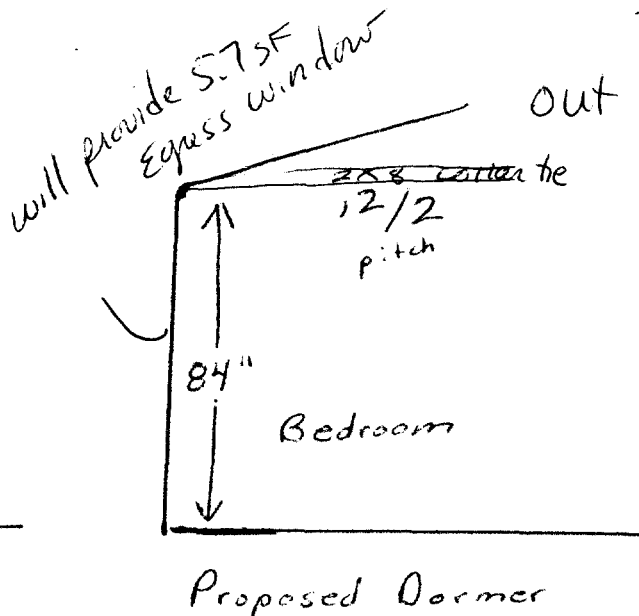
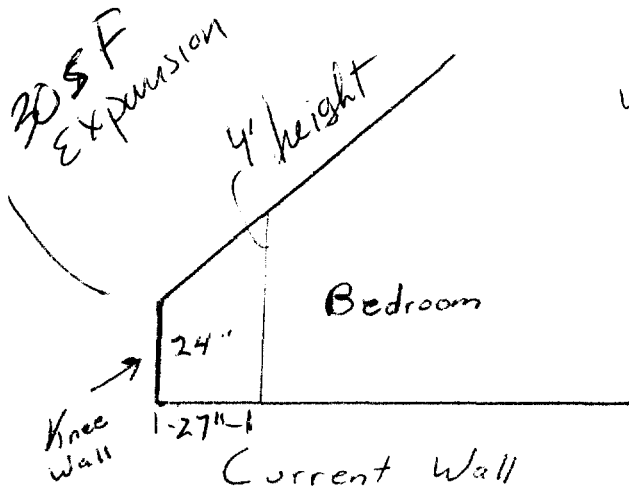
- \*2" x 4" studded walls with exterior 3/4" plywood sheathing and vinyl siding. Interior wall will be insulated and sheet rocked with 1/2" thick drywall.
- \*Roof will be 2" x 8" roof rafters with a support header installed at the peak. Roof will have exterior 3/4" plywood sheathing and rubber roof installed. Interior ceiling will be insulated and sheet rocked with 1/2" thick drywall.

*12" Ridge Beam will install Headers  
 3-2x10 Ridge supported at gable bearings*

**Notes:** No wiring or plumbing associated with this work.

300.00

*previous permits  
 Total 36 SF expansion  
 + 30  
 66 SF*



*out of a possible  
 500 SF =  
 66%*

$1/4" = 1'$