

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | | | |
|----------------------|--|------------------------------|------------------------------|----------------------------|
| PERMIT ISSUED | | Permit No: 02-0838 | Issue Date: A 2002 | CBL: 016 E007001 |
|----------------------|--|------------------------------|------------------------------|----------------------------|

| | | | |
|--|---|--|--------------------------------|
| Location of Construction: 56 Atlantic St | Owner Name: Shawn Becker | Owner Address: 56 Atlantic St | Phone: (207)730-1004 |
| Business Name: | Contractor Name: Timothy Taylor | Contractor Address: 2B Fulton Street Newburyport | Phone: 6036821882 |
| Lessee/Buyer's Name | Phone: | Permit Type: Additions - Dwellings | Zone: R-6 |

| | | | | | |
|--------------------------------|------------------------------------|--------------------------------|-------------------------------------|---------------------------|-----------------------|
| Past Use: Two family | Proposed Use: Two Family | Permit Fee: \$149.00 | Cost of Work: \$18,000.00 | CEO District: 1 | Zone: 2513# |
|--------------------------------|------------------------------------|--------------------------------|-------------------------------------|---------------------------|-----------------------|

| | | |
|--|--|---|
| Proposed Project Description: Addition of 10' Dormer to Third Floor Living Space | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i> | INSPECTION: Use Group: R-3 Type: SB BOCA 99 Signature: <i>[Signature]</i> |
| | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | |
| | Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied | |
| | Signature: | Date: |

| | | | |
|--------------------------------|--|------------------------|--|
| Permit Taken By: gad | Date Applied For: 07/29/2002 | Zoning Approval | |
|--------------------------------|--|------------------------|--|

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|--|---|---|---|
| 1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. | Special Zone or Reviews <input type="checkbox"/> Shoreland <i>ok per HA-A30</i> <input type="checkbox"/> Wetland <i>to remain</i> <input type="checkbox"/> Flood Zone <i>2 D.U.</i> <input type="checkbox"/> Subdivision <i>no new kitchen facilities</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM Date: <i>8/1/02</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i> |
|--|---|---|---|

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

02-0838


All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|--|---|---|
| Location/Address of Construction: *56 Atlantic St | | |
| Total Square Footage of Proposed Structure | Square Footage of Lot | |
| Tax Assessor's Chart, Block & Lot Chart# Block# Lot# * 016 E 007 | Owner: Shawn Becker | Telephone: (207) 730-1004 |
| Lessee/Buyer's Name (If Applicable) | Applicant name, address & telephone: Timothy Taylor 28 Fulton St Newburyport MA 01950 603 682 1882 | Cost Of Work: \$ 18,000 Fee: \$ 149.00 |
| Current use: residential 2 family add 2 skylights | | |
| If the location is currently vacant, what was prior use: _____ | | |
| Approximately how long has it been vacant: _____ | | |
| Proposed use: residential | | |
| Project description: add 10' dormer to 3rd floor living space w/ two double hung windows, remove interior brick chimney, no longer in use | | |
| Contractor's name, address & telephone: Timothy Taylor - 28 Fulton St Newburyport MA 01950 | | |
| Who should we contact when the permit is ready: Timothy Taylor | | (603) 682 1882 |
| Mailing address: 28 Fulton St Newburyport MA 01950 | | |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: | | |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|---------------|
| Signature of applicant:  | Date: 7/29/02 |
|---|---------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Application ID Number: 2-0838

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 56 Atlantic St

Approval Date: 08/01/2002

Open Date: 07/31/2002

DE to Issue Permit Name: Marge Schmuckal Date: 08/01/2002

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Create Date: 07/30/2002 By: gad Update Date: 08/01/2002 By: mes

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT PERMIT

Permit Number: 020838

This is to certify that Shawn Becker/Timothy Taylor

has permission to Addition of 10' Dormer to Third Floor Living Space

AT 56 Atlantic St Call 016 E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

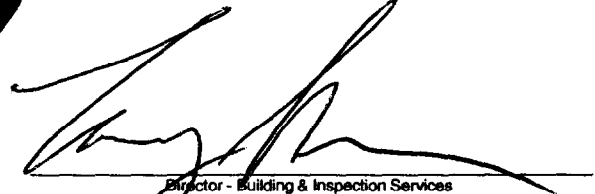
Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

| | | | | | | | |
|--------|----------|------|-----|-------------|--------------|--------------|------------|
| Delete | Schedule | Add | End | Images | Print Permit | Print C of O | Print Insp |
| Prmt | Text93 | 2576 | | Constr Type | New | Num1 | 2 |

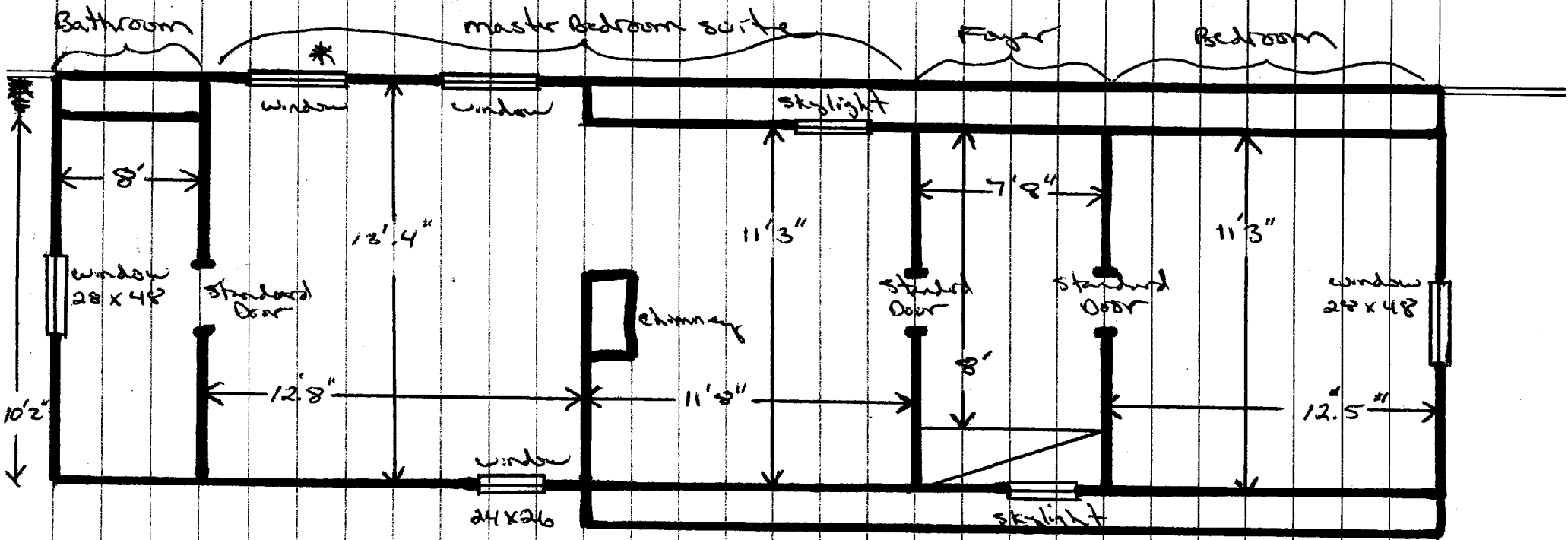
| | | | | | |
|------------|-------------|--------------------------|-----------------------|----------------|-------------|
| Permit Nbr | 02-0838 | Location of Construction | 56 Atlantic St | Appl. Date | |
| Status | Hold | Permit Type | Additions - Dwellings | Issue Date | |
| CBL | 016 E007001 | Territory Nbr | 1 | Estimated Cost | \$18,000.00 |
| | | | | Date Closed | |

| | | | | |
|--------------|---------|-----|--------|------|
| Comment Date | Comment | Add | Delete | Save |
|--------------|---------|-----|--------|------|

| | |
|------------|---|
| 08/02/2002 | Need Stair /Egress window/ Floor plan info, Called Owner will fax |
|------------|---|

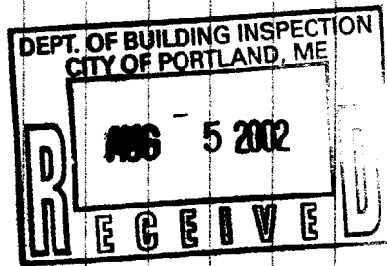
| | | | | |
|------|-----|----------------|--|-----------|
| Name | mjn | Follow Up Date | | Completed |
|------|-----|----------------|--|-----------|

| | | | | | | | |
|-----------|-----|------------|------------|-------|-----|---------|-------|
| CreatedBy | gad | CreateDate | 07/30/2002 | ModBy | mjn | ModDate | 08/02 |
|-----------|-----|------------|------------|-------|-----|---------|-------|



* Header is 7'2" from first step on staircase

Sean Roy-Becker
 56 Atlantic St
 Portland
 207-730-1004



Permit # 020838

016 E 009

* The windows in the master bedroom suite don't have measurements because their not in. they can be what ever size they need to be for code.

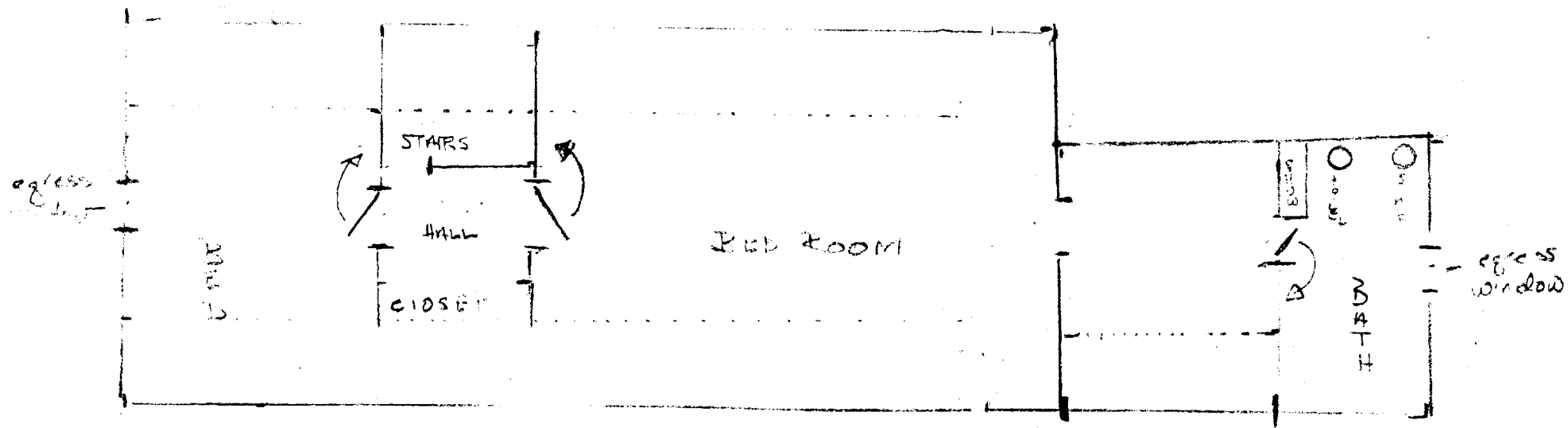
SO ATLANTIC

3rd FLOOR PLAN

1/8" = 1'

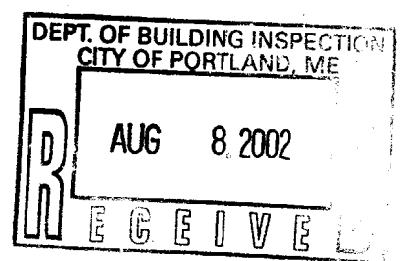
min headroom from ~~top~~ of ~~B~~ stair is 7'2". Handrails will be installed at 36". Stair case is 32" wide

NO SCOTCH WOOD



..... = knee wall
all doors 2'6" x 6'6"

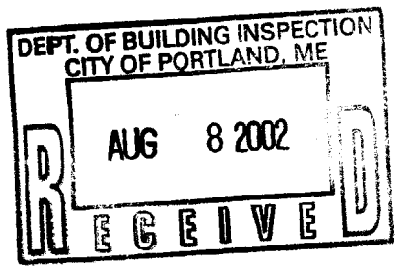
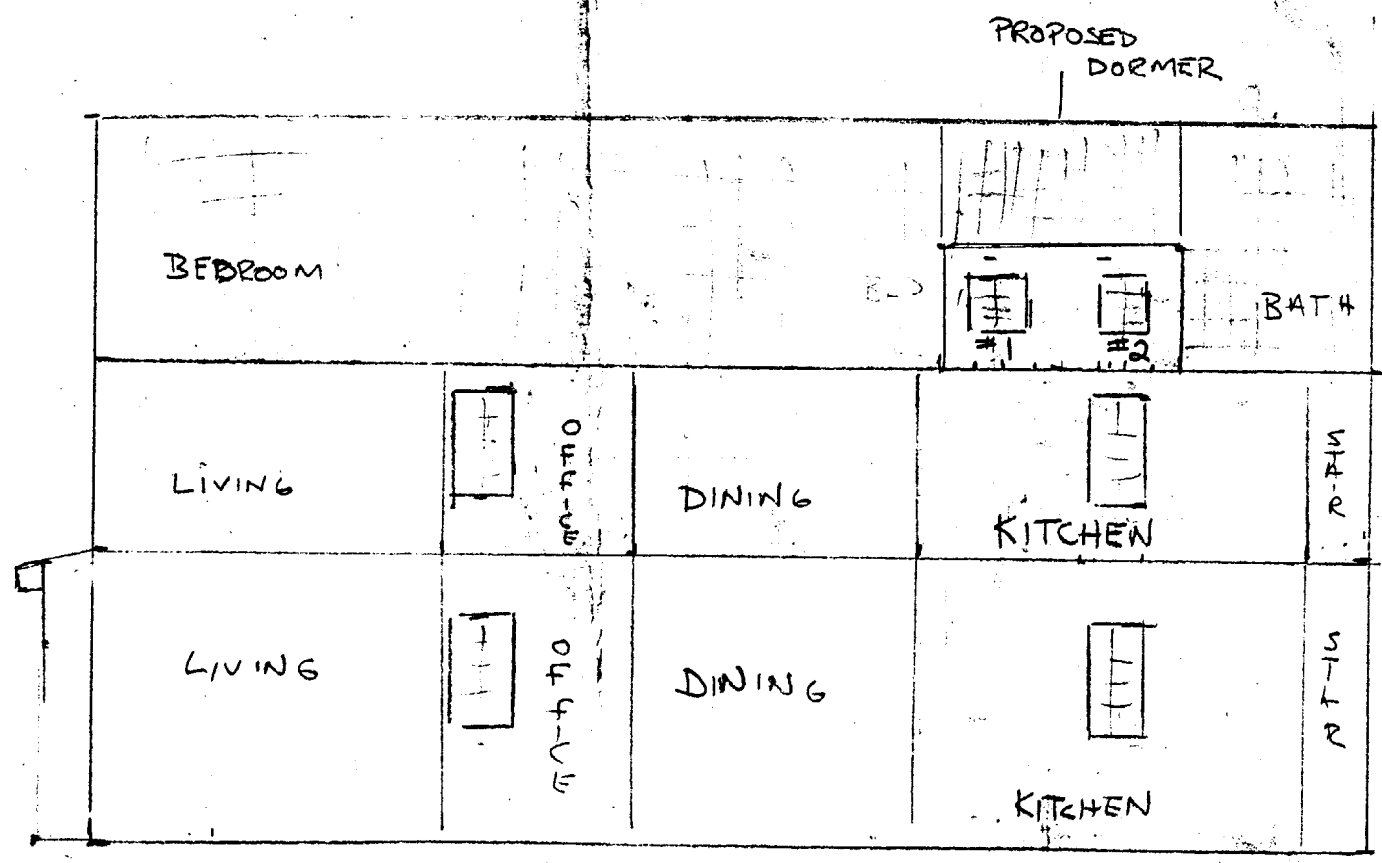
LOCATION of proposed dormer



— framing schedule for dormer
r roof - 2x10 rafters 16" o.c
walls - 2x4 16" o.c

— window schedule

#1; #2 - ANDERSON TW26410 w/unobstructed insulated glass of 26" x 25" ¹⁵/₁₆

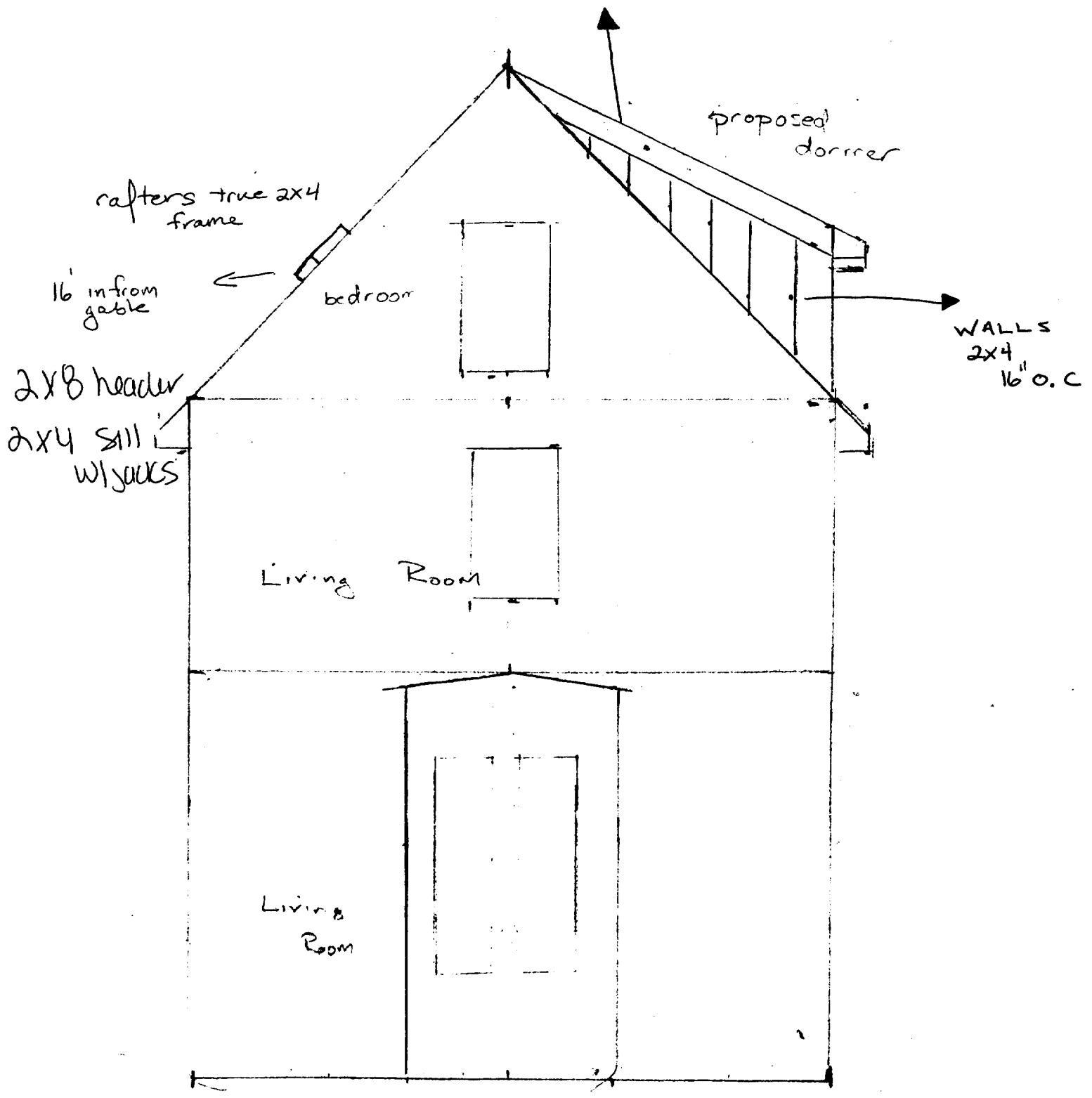


1/8" = 1'

①

* 56 Atlantic St

2x10 rafters 16" o.c.



1/4" = 1'

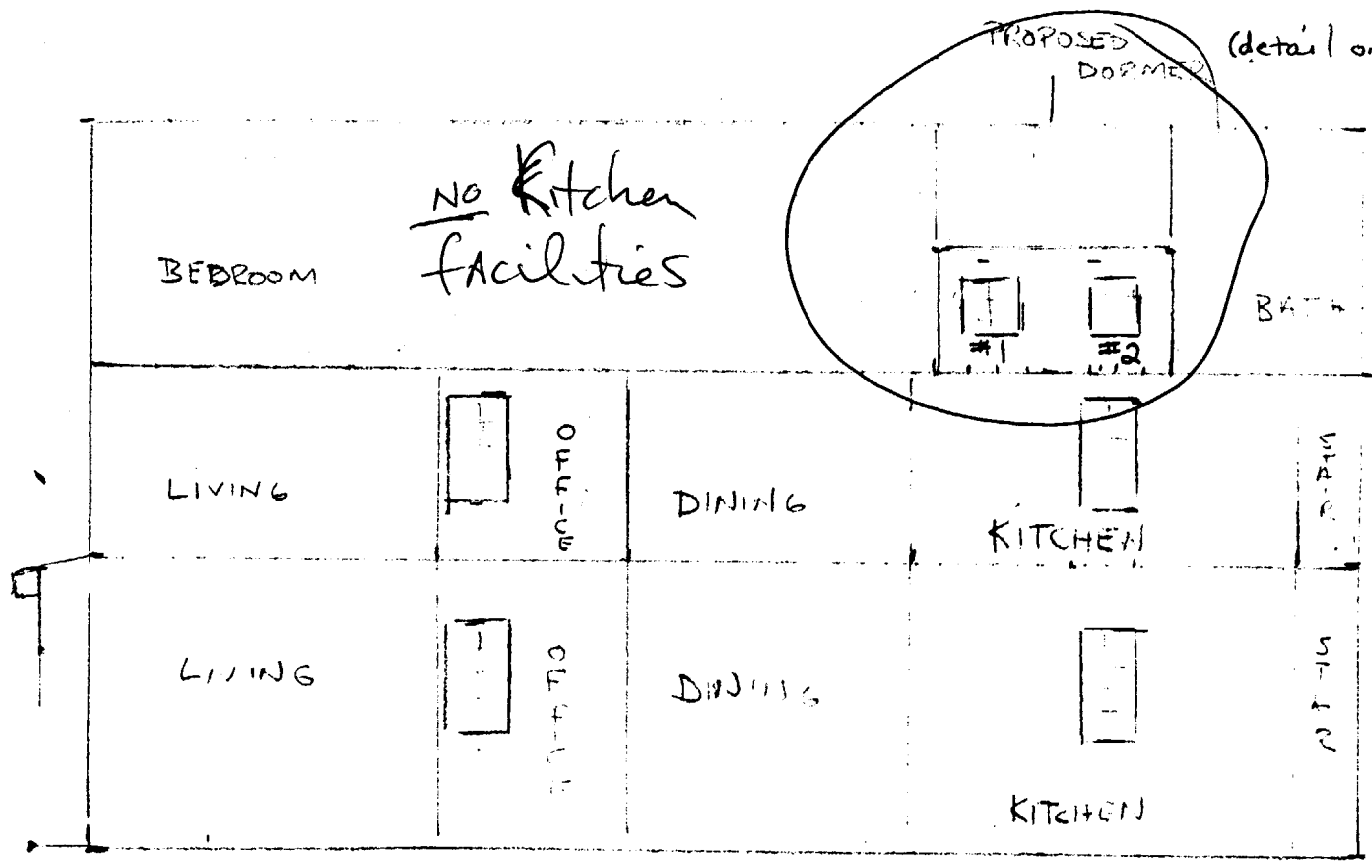
2

#56 Atlantic St

— framing schedule for dormer
 r roof - 2x10 rafters 16" o.c
 walls - 2x4 16" o.c

— window schedule

#1; #2 - 30" x 37" RO. DOUBLE HUNG INSULATED GLASS



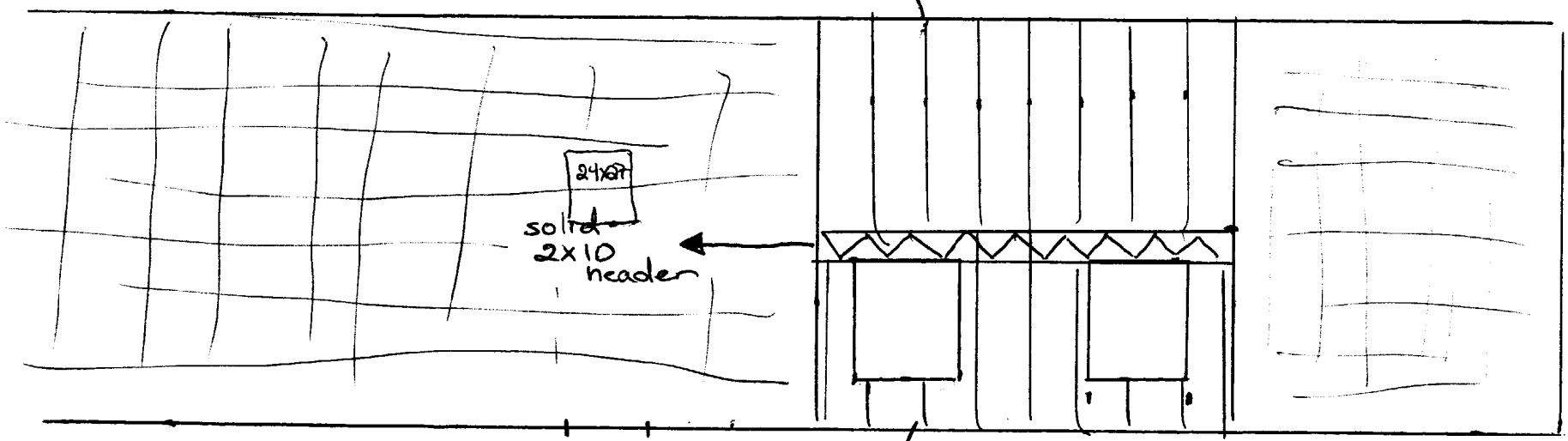
(detail on pg 3)

of plan 4-436
 USS Plan 5860000000
 11-11

12

2x10 rafters 16" o.c

Rafters are true 2x4' style we will have 2x8 header w/ 2x4' sill w blocks



2nd
Floor

walls framed
2x4 16" o.c.

1/4" = 1'

4

ATLANTIC ST

