

CHART	LETTER	BLOCK	LOT	UNIT NO.	CARD NUMBER	NUMBER	STREET NAME	DEED BOOK	DEED PAGE	DEED DATE	CLASS	STREET CODE	STREET NO.	LAND USE	ROUTE
016	-	E	003	001	010901	74	Atlantic St				101	0073	0072	14	99

OWNER & MAILING ADDRESS

11 WESCOTT DIANA H &  
 12 JAMES H JTS  
 13 171 HURRICANE RD  
 14 FALMOUTH MAINE 04105

LEGAL DESCRIPTION

16-E-3  
 ATLANTIC ST 72-74  
 6197 SQ FT

LIVING UNITS	ZONE	NC	NEIGHBORHOOD	PARTIAL	ACCOUNT NO.	FRAME NUMBER	PLANNING DISTRICT
004	R-6	[ ]	101		M16170	120	14

LAND DATA & COMPUTATIONS

DELETED	0 NONE	N	ACTUAL FRONTAGE	EFFECTIVE FRONTAGE	EFFECTIVE DEPTH	ACTUAL UNIT PRICE	DEPTH FACTOR	EFFECTIVE UNIT PRICE	INFLUENCE FACTOR	LAND VALUE
10	0	N	6197	6197	0.00	21.10	[ ]	21.10	[ ]	130000
11	LOT	L								
12	1 Regular Lot	L								
13	2 Apartment Site	L								
14	SQUARE FEET	S								
15	1 Primary Site	S								
16	2 Secondary Site	S								
17	3 Undeveloped	S								
18	4 Residual	S								
19	5 Waterfront	S								
20	ACREAGE	A								
21	1 Primary Site	A								
22	2 Secondary Site	A								
23	3 Undeveloped	A								
24	4 Marshland	A								
25	5 W. Waterfront	A								
26	0 TOTAL	S								

MEMORANDUM

ENTRANCE CODES	INFO CODES
0 Entrance and Signature Gained	1 Owner
1 Entrance Gained	2 Tenant
2 Not Applicable, Unimproved Parcel	3 Other
3 Entrance and Information Refused	
4 Entrance Refused, Information at Door	
5 Currently Unoccupied	
6 Estimated for Miscellaneous Reasons (See Memorandum)	
7 Occupant Not at Home	

SIGNATURE BY OWNER OR AGENT BELOW INDICATES DATA ON THIS FORM WAS COLLECTED IN YOUR PRESENCE. IT DOES NOT MEAN THAT YOU HAVE VERIFIED THE INFORMATION HEREON.

SIGNATURE: \_\_\_\_\_ DATE INSPECTED: 2-2-90 COLLECTOR: [Signature]

PROPERTY FACTORS

1	2	3	4	5	6	7	8
TOPOGRAPHY	UTILITIES	STREET/ROAD	TRAFFIC				
1	1	1	1				
2	2	2	2				
3	3	3	3				
4	4	4	4				
5	5	5	5				
6	6	6	6				
7	7	7	7				
8	8	8	8				

VALUE SUMMARY

PREVIOUS ASSESSMENT

LAND	BUILDING	TOTAL
14400	49310	63710
EXEMPT	EXEMPT	EXEMPT

DELETE 805-333  
 V VACANT  DWELLING  OTHER

1.0 1.5 2.0 2.5 3.0  
 STORY HEIGHT

EXTERIOR WALLS  
 1 FRAME 4 BLOCK 7 STONE  
 2 BRICK 5 STUCCO 8 ASBESTOS  
 3 WMS & FRAME 6 ALUM./VINYL 9 CONCRETE

STYLE  
 1 RAISED RANCH 7 CONDO 13 MANSSION  
 2 SPLIT LEVEL 8 CONTEMP 14 GAMBREL  
 3 RANCH 9 TOWNHOUSE/ROW 15 GARRISON  
 4 CARE 10 COTTAGE 16 OTHER  
 5 OLD STYLE 11 BUNGALOW  
 6 COLONIAL 12 DUPLEX *MANISSARD*

AGE  
 EST *290* REMODELED 19 *19*

LIVING ACCOMMODATIONS  
 TOTAL 16 BED ROOMS 08 FAMILY ROOMS 0  
 FULL BATHS 2 ADULT TOILET 0  
 NO. KITCHEN 1 YES 511 NO. BATH 1 YES  
 REMODELED 2 NO 2 NO

BASEMENT PART  
 1 NONE 2 CRAWL 3 PART 4 FULL

HEATING  
 1 NONE 2 BASIC 3 CENTRAL AIR COND.  
 HEATING FUEL TYPE  
 1 NONE 2 GAS 3 ELECT 4 OIL 5 COAL 6 SOLAR

INTERIOR CONDITION  
 1 NONE 2 UNFIN 3 PT FIN 4 FULL FIN 5 FULL FIN/WH  
 1 BETTER 2 SAME 3 POORER

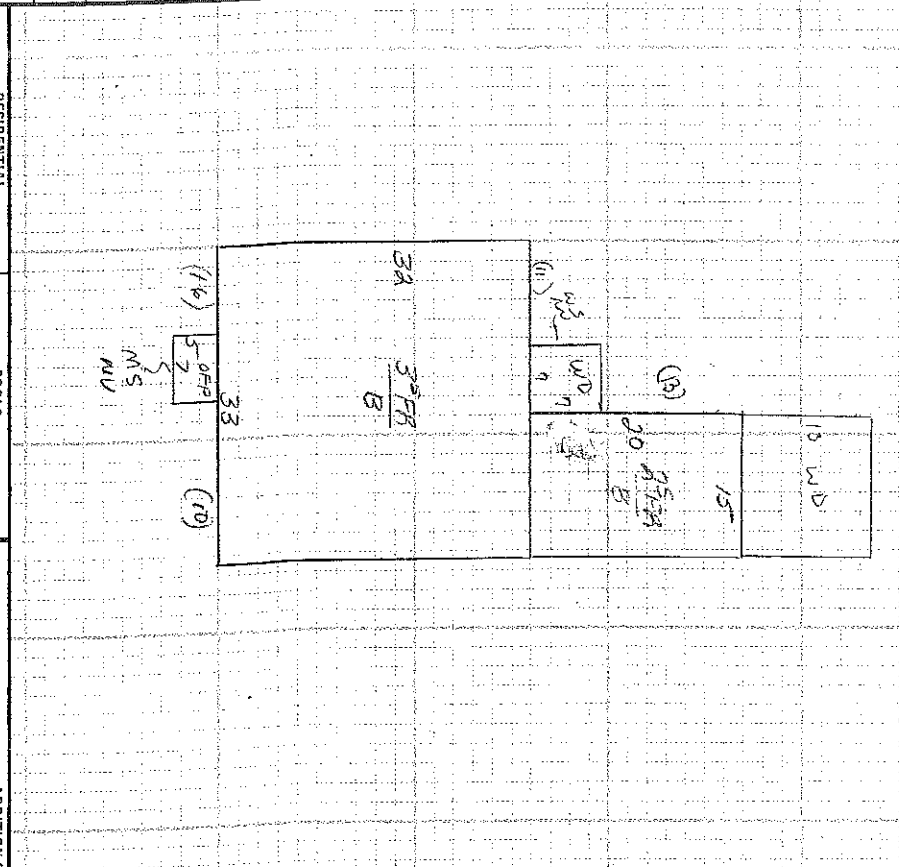
PHYSICAL CONDITION  
 1 EX 2 GO 3 AV 4 FR 5 PR 6 VP 7 UN  
 SF/LA

OTHER FEATURES  
 1 BRICK TRIM  
 2 STONE TRIM  
 3 REC ROOM  
 4 FIN. BSMT LIVING AREA  
 5 WB FP: STACKS OPENINGS  
 6 METAL FP: STACKS OPENINGS  
 7 WOOD COAL BURNING  
 8 BSMT GARAGE NO. OF CARS  
 9 UNFINISHED AREA (-) %  
 10 UNHEATED AREA (-) %

GROUND FLOOR AREA  
 GRADE FACTOR AA A B C D E F  
 COST & DESIGN FACTOR *H 0.6%*

MARKET ADJUSTMENT  
 EX VG GD *AV* FR PR VP UN

*Mulla Catered Asphlt Shingles*



NOTES	NUMBER	DATE	AMOUNT	DESCRIPTION
	471			
	472			
	473			
	474			
BUILDING PERMIT RECORD				
	461			
	462			
	463			
	464			
	465			

ADDITIONS	ADD CODE	LWR	1ST	2ND	3RD	AREA
599 DELETE 801-808	AD0					
	601		31			
	602	50	10	10		
	603			31		
	604		11			
	605					
	606					
	607					
	608					

RESIDENTIAL	POOLS	ADDITION CODES	DWELLING COMPUTATIONS
RC1 Carport RC2 Canopy RC3 Frame/8 Detached Garage RC4 Brick/Stone Detached Garage RC5 Metal Shed	RP1 Plastic Liner RP2 Prefabricated Vinyl RP3 Reinforced Concrete RP4 Fiberglass RP5 Gunite	10 1s Frame 11 OPF 12 EFP 13 Frame Garage 14 Frame Utility 15 Frame Bay 16 Frame OH 17 1/2s Frame 18 Unfin. Attic 19 Fin. Attic 20 1s Mas 21 OMP 22 EMP 23 Mas. Garage 24 Mas. Utility 25 Mas. Bay 26 Stone Patio 27 Mas. Stoop 28 Wood Deck 29 Unfin. Bsmt. 30 Conc. Patio 31 Misc. Value	BASE PRICE BASEMENT HEATING PLUMBING ATTIC ADDITIONS SUB TOTAL X GRADE FACTOR X C & D FACTOR = BASE VALUE X MARKET ADJ. = TRUE VALUE

OTHER BUILDINGS & YARD IMPROVEMENTS	BASE VALUE	MA	MOD CODES	TRUE VALUE
799 DELETE 801-810				
800				
801				
802				
803				
804				
810				

TYPE CODE	QTY	YR	SIZE	G	COND	RATE	BASE VALUE	MA	MOD CODES	TRUE VALUE
800										
801										
802										
803										
804										
810										

1 SEE DETAILED CARD  
 2 SEE DETAILED REPORT  
 TOTAL GROSS VALUE