

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 071490

Please Read Application And Notes, If Any, Attached

This is to certify that COOSE CHRISTOPHER & SA SILV ITS/propert own

has permission to add dormer to attic, add egre to 3rd floor interior renovation and floor

AT 85 ST LAWRENCE ST 016 D012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Expired

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1490	Issue Date:	CBL: 016 D012001
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Location of Construction: 85 ST LAWRENCE ST	Owner Name: COOSE CHRISTOPHER & LISA S	Owner Address: 87 ST LAWRENCE ST # 1	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-6

Past Use: 3 unit residential w/ office - 4 (units)	Proposed Use: 4 unit residential w/ office 4 (units) - add dormer to attic, add egress to 3rd floor, interior renovations 2nd floor <i>not part of permit</i>	Permit Fee:	Cost of Work: \$9,000.00	CEO District: 1
Proposed Project Description: add dormer to attic, add egress to 3rd floor, interior renovations 2nd floor (21' shed) <i>not part of permit</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 12/07/2007	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>Using section 14-11204 for dormer using 75% of allowable sq'ft</i></p> <p>Date: 12/12/07 <i>ABM</i></p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date:</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p><i>ABM</i></p> <p>Date:</p>
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Expired

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>87 St. Lawrence St.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>16</u> Block# <u>D</u> Lot# <u>12</u> <u>16 D 12</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Christopher Coose</u> Address <u>87 St. Lawrence St</u> City, State & Zip <u>Portland 04101</u>	Telephone: <u>780-8999</u> <u>office</u> <u>831-1792 cell</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: <u>\$9,000.00</u> C of O Fee: \$ Total Fee: \$
Current legal use (i.e. single family) <u>3 Family w office (4 units)</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>Yes</u> If yes, please name Project description <u>(1) Add dormer to 3rd floor attic bedrooms, making 1 large room w/ bath (2) Add egress for 3rd floor (3) Remove wall in 2nd floor living area.</u>		
Contractor's name: <u>By owner</u>		
Address:		
City, State & Zip		Telephone:
Who should we contact when the permit is ready:		Telephone:
Mailing address:		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 12/3/07

This is not a permit; you may not commence ANY work until the permit is issued

From: <ccoose@maine.rr.com>
To: <amachado@portlandmaine.gov>
Date: 12/18/2007 3:35:03 PM
Subject: Building permit change request

Dear Ann,

As per your suggestion from last week conferencing I would ask that you remove Section #2 (egress change/addition) from the recent 3 part building permit application I recently submitted for 87 St. Lawrence St.

Please continue to review parts 1 (3rd floor dormer) and 3 (interior changes on the 2nd floor) of apartment #3 for approval and permitting. I shall review the ordinance and material you have given me and create a new plan for egress and make it a seperate permit.

Sincerely,
Chris Coose

CC: <ccoose@maine.rr.com>

DEC 19 2007

2792

not meet setbacks but land use met

Section 14-436(b)

1st Floor Footprint = 2250 sq ft

80% = 1800

adding 84 sq ft w/dormer

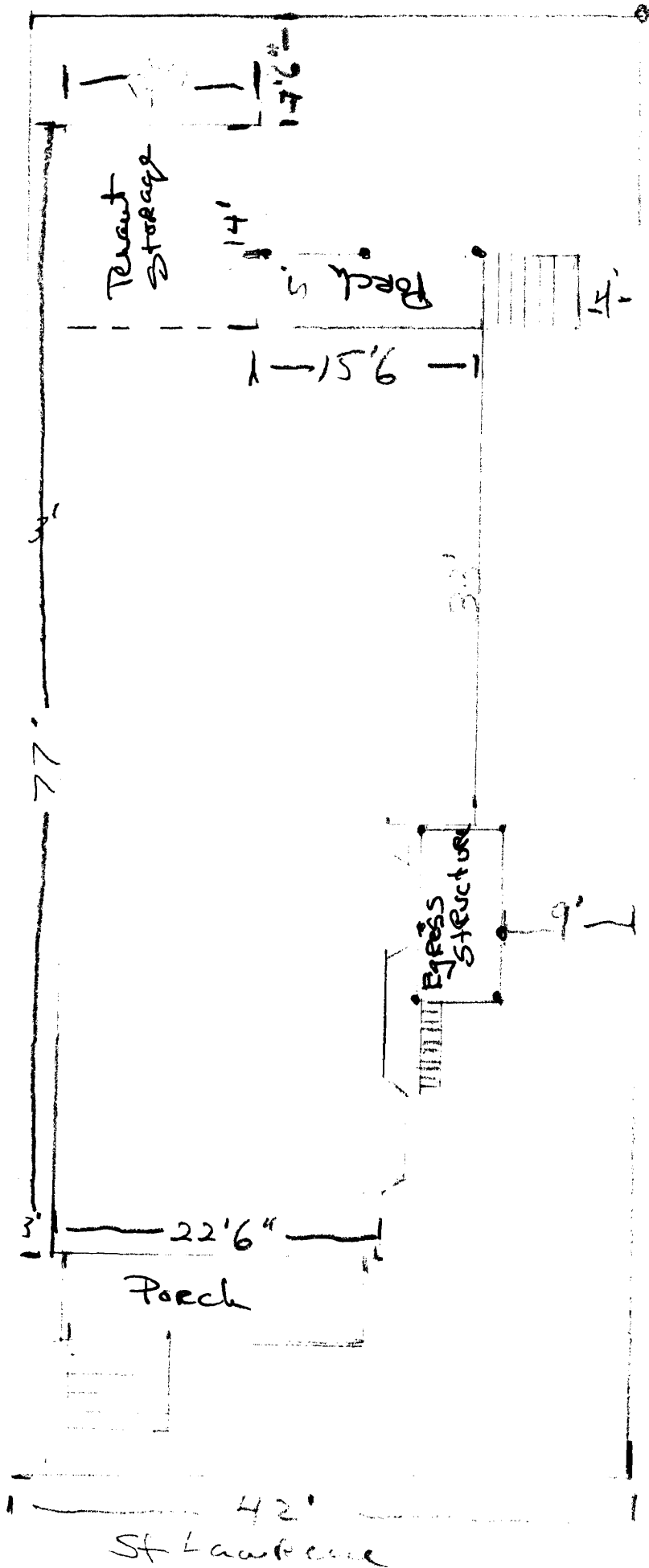
5% of allowed increase

Pilot Plan for
87 St Lawrence St
Chart # 16 Block # D Lot # 4071

lot size = 4071

lot coverage - 50% = 2035.5 sq ft

existing footprint 2250 sq ft



Sidewalk
Cure

Monument St

Permit Application.

Christopher Coen owner, builder, designer

87 St Lawrence St.

Portland ME 04101

780-8999 office

831-1892 cell

3 Proposed Elements of Construction + Change
to Owner's Apartment #2 at above address.

Chart #16 Block #D Lot # 12-4071

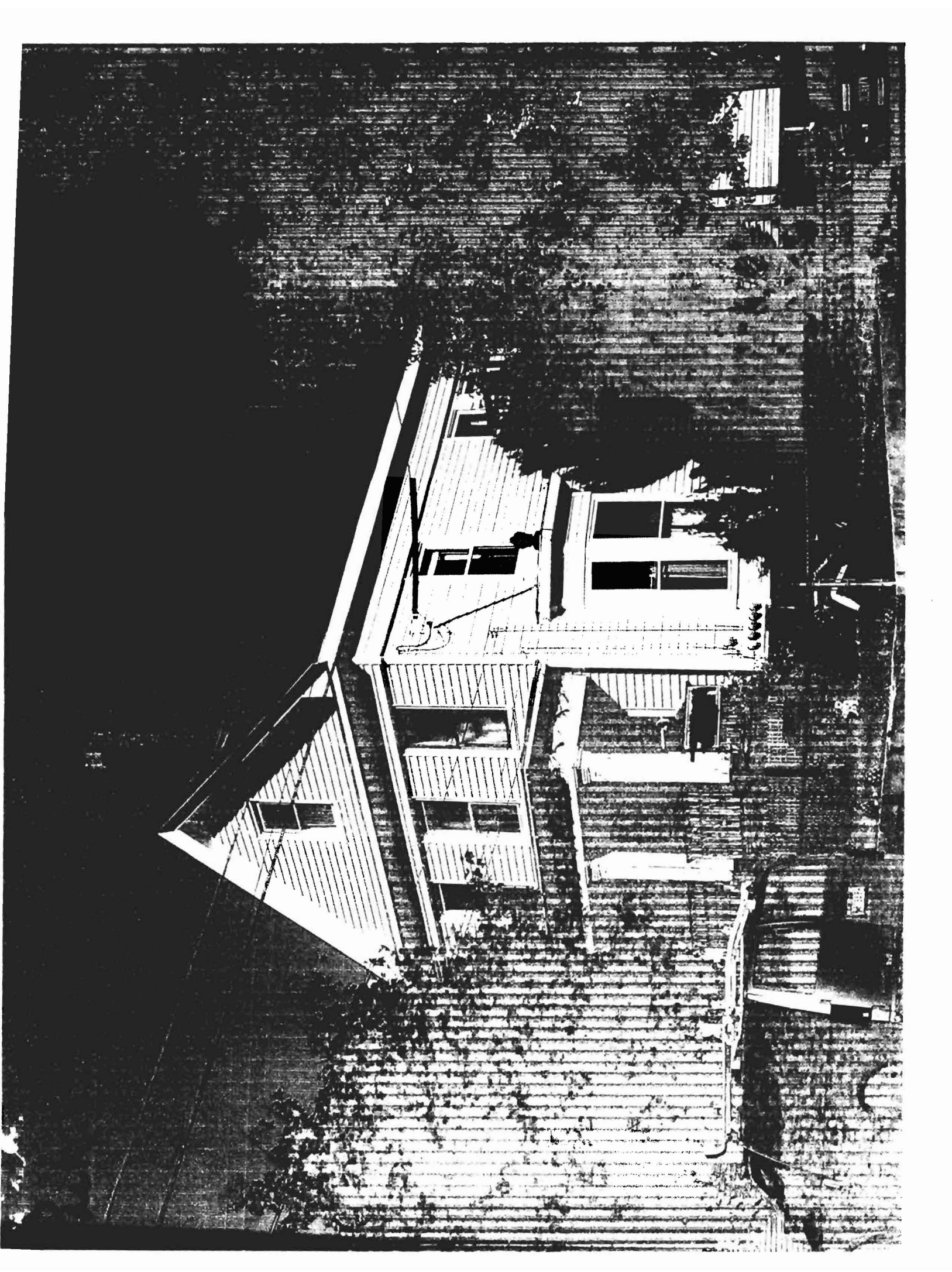
4 Unit Building. Ground to Ridge is 36'3"
No change to house footprint or height.

- #1 - Add Shed Dormer to S. Facing Roof
between Chimneys - 21' across,
From Ridge to Plumb wall on existing
3x5 Plate. See Pack #1 Photos #1 + 2
- Add 2x8" to existing Rafters for strength
+ common dimension for insulation + finish
 - Add Bath w/ Shower, Lav and toilet.
 - Replace window in existing N. Dormer
 - Create new egress by adding door to
E. gable end. Pack 1 Drawing #1

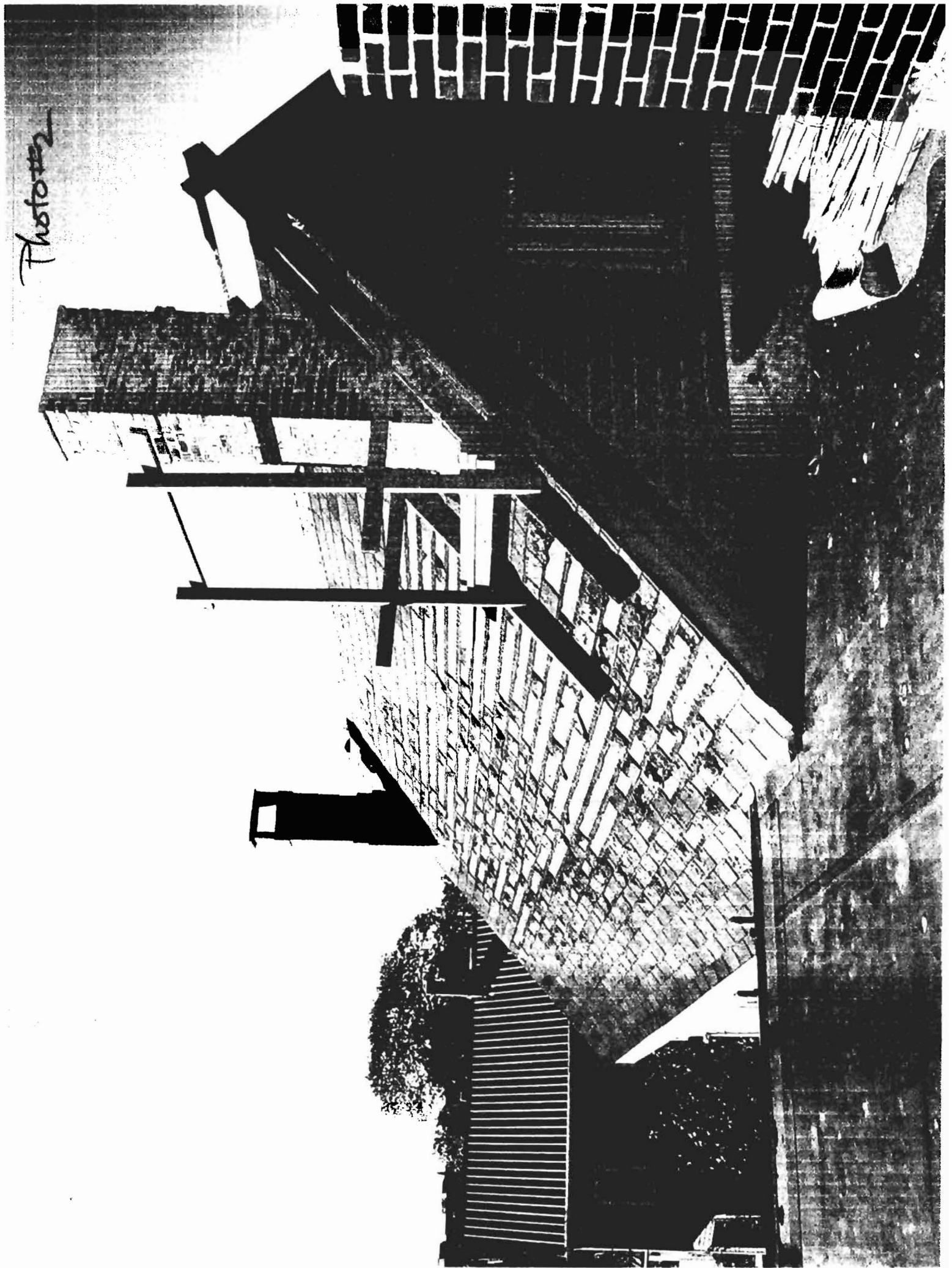
#2 Add Egress

- Replace E. gable end window w/ door
- Add Stairway to Porch/egress system on
East End of house



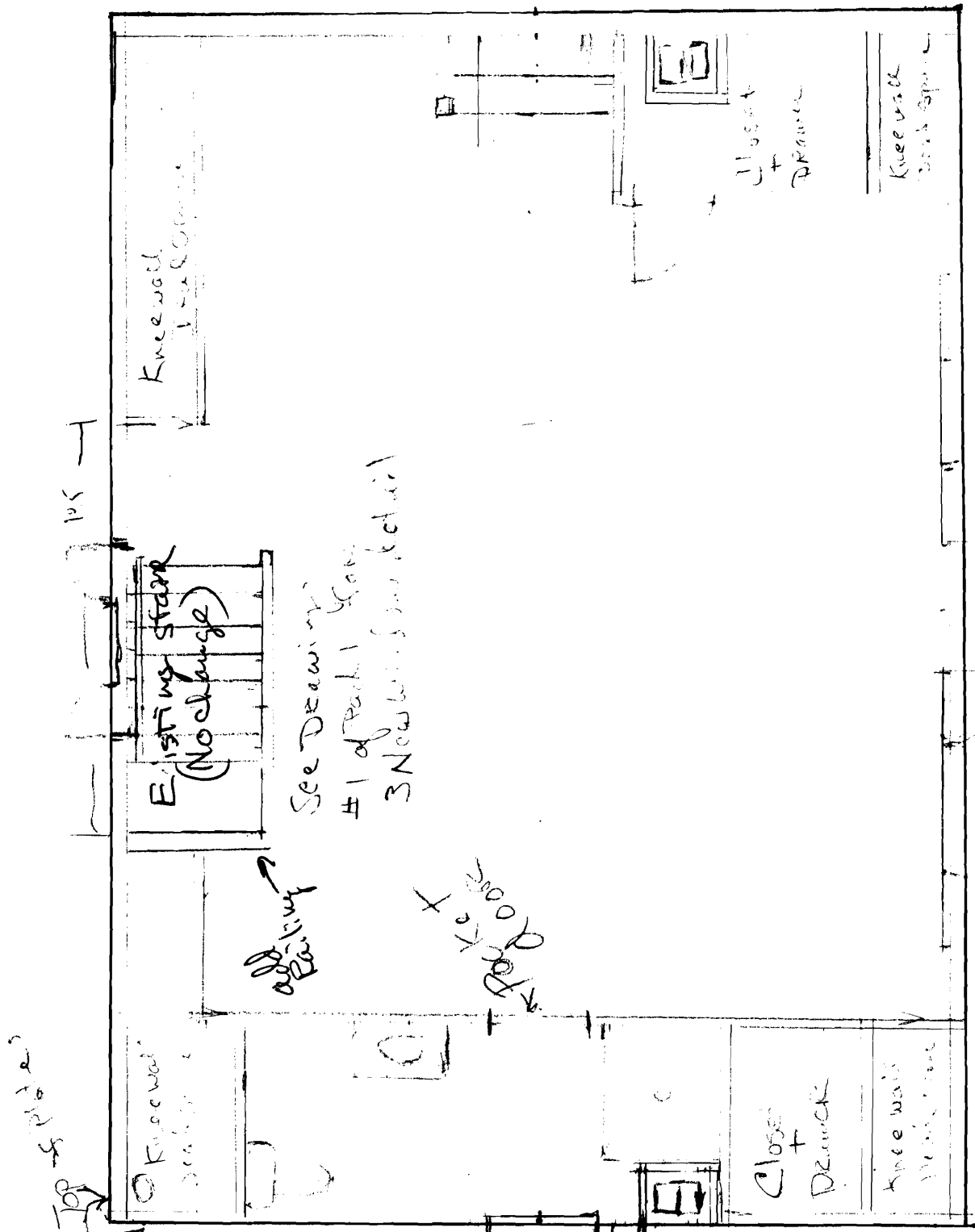


Photostat



3rd Floor Bedroom + Bath Floor Plan

22' 2"



Exterior Gable
and walls to be
fired out 2" for
Insulation

Window
32" x 48"

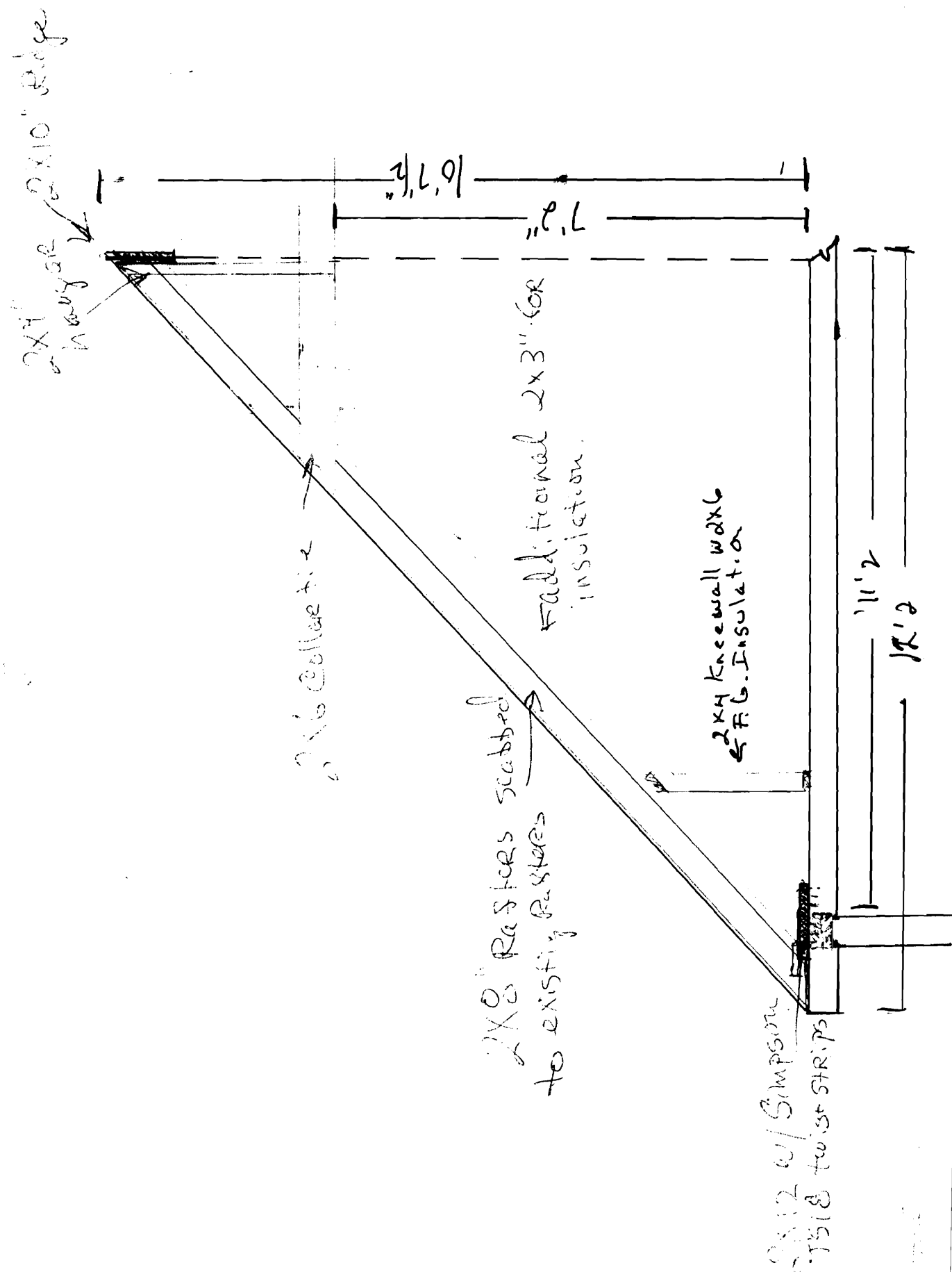
existing ~~is~~ ~~to~~ ~~be~~ ~~replaced~~
22' 2" x 8" = 14.17

14.17 x 31 = 439.37
+ 10.5 x 4 = 42
existing 481.37
adding 21x4 = 84
565.37

31' 0"

Roof Framing Detail Where Existing Rafters on all remaining
 on both sides of SFoof. see 3rd Floor Bed + Bath Floor Plan.
 "Knee wall headspace":

1/2"-1'



2x4 Heavy Joist 2x10 Ridge

2x4 collar tie

2x8 Rafter scabbed to existing rafters

Additional 2x3\"/>

2x4 Knee wall w/ 2x6 F.G. Insulation

2x12 w/ Simpson T518 twist strips

7'6\"/>

7'2\"/>

11'2\"/>

12'2\"/>

1/2"-1' Roof Framing Detail where New Shed Joist Meets Old Overlap
Roof Framing

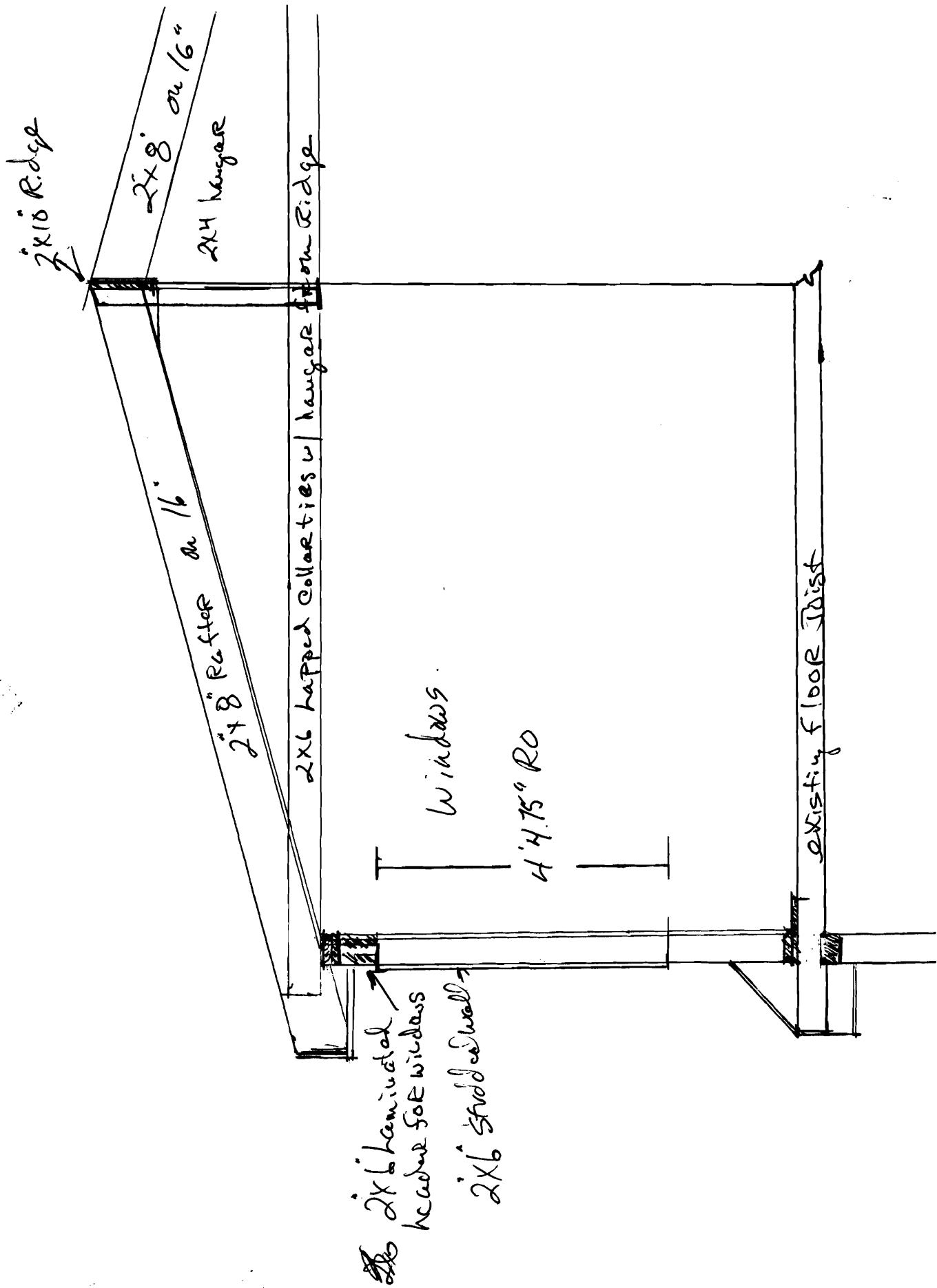
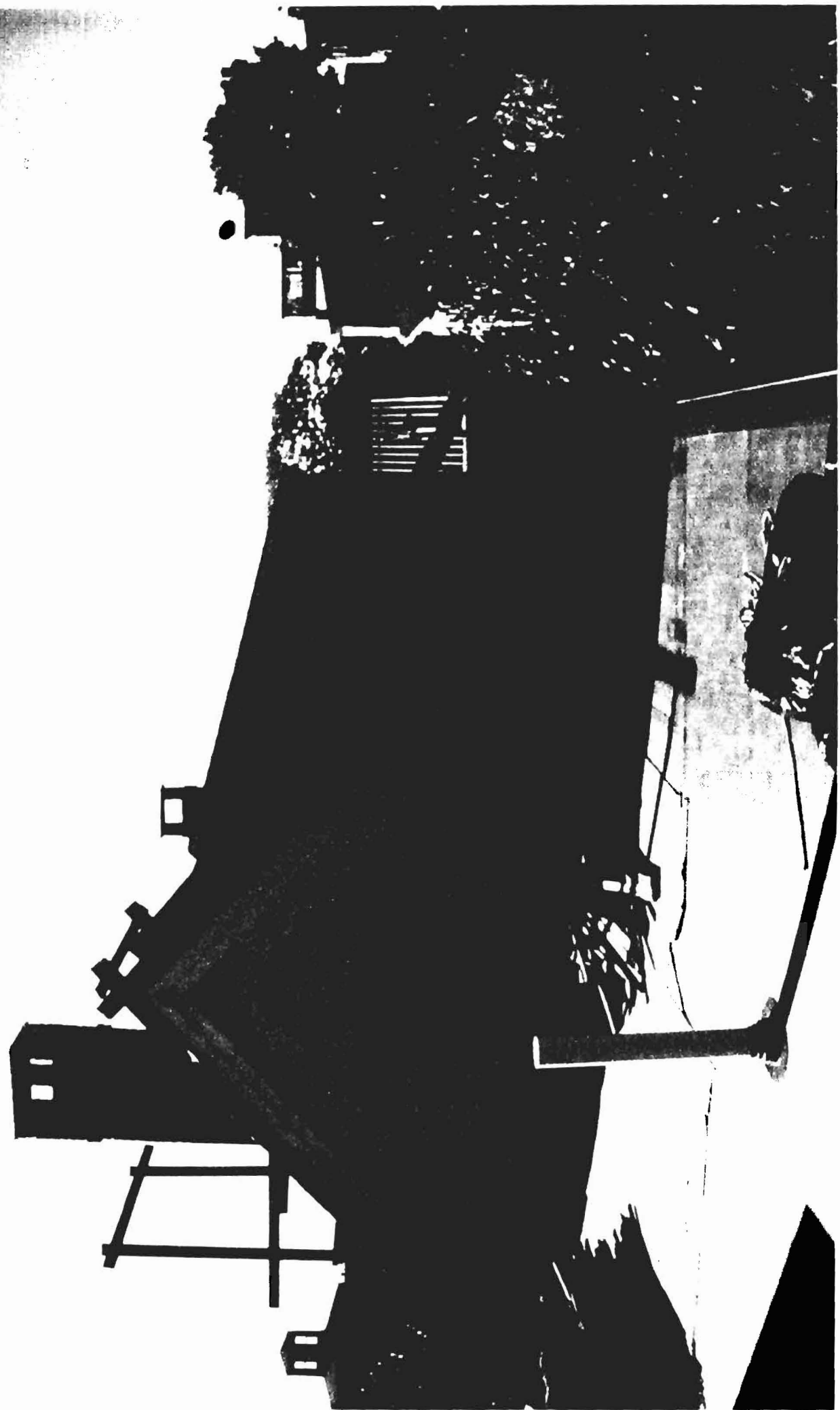
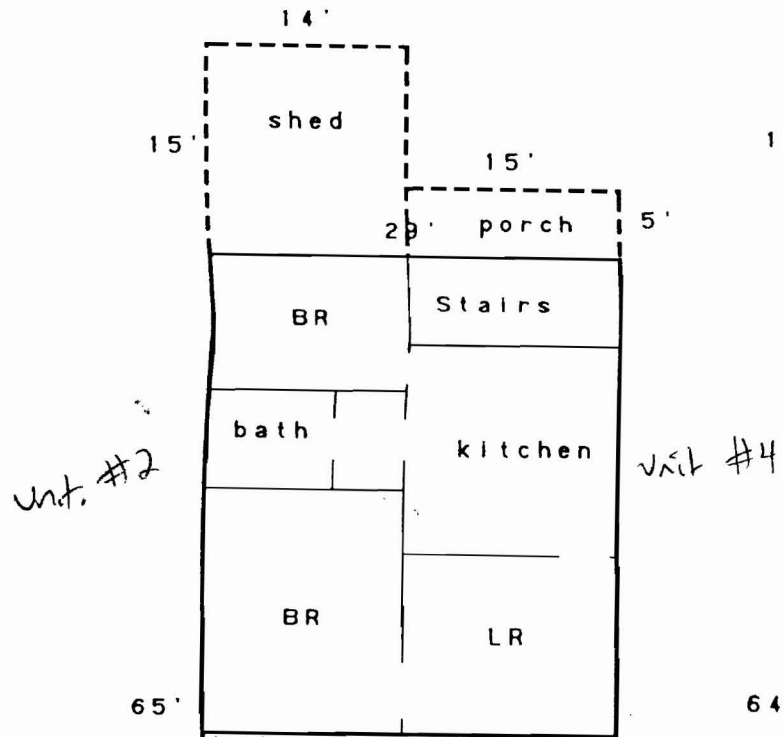


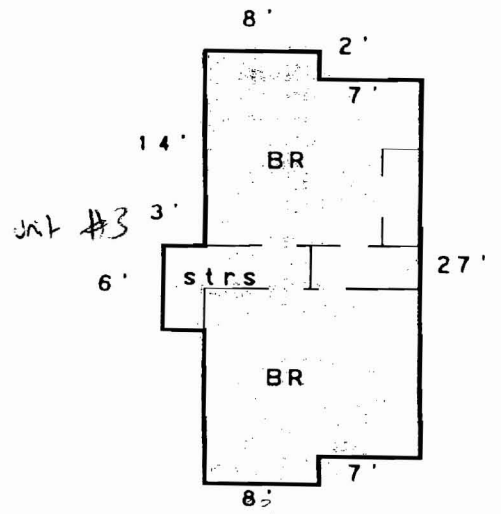
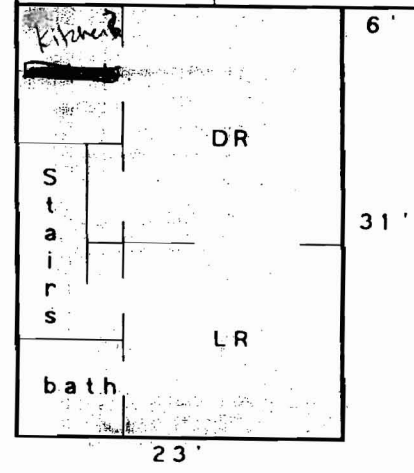
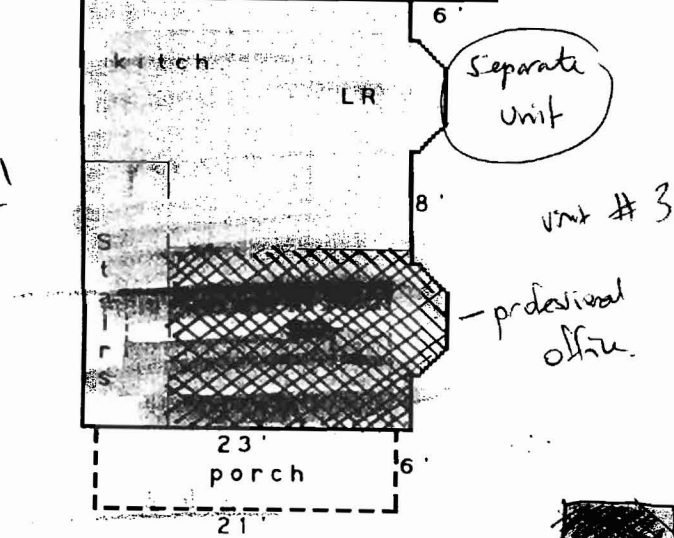
Photo #3



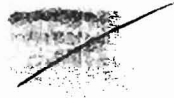
Dec. 2007. - Existence



(no home occupation)
in unit #1
unit #1 -



Proposed office



Owner's residence

April 1997
professional off.

first

second

third

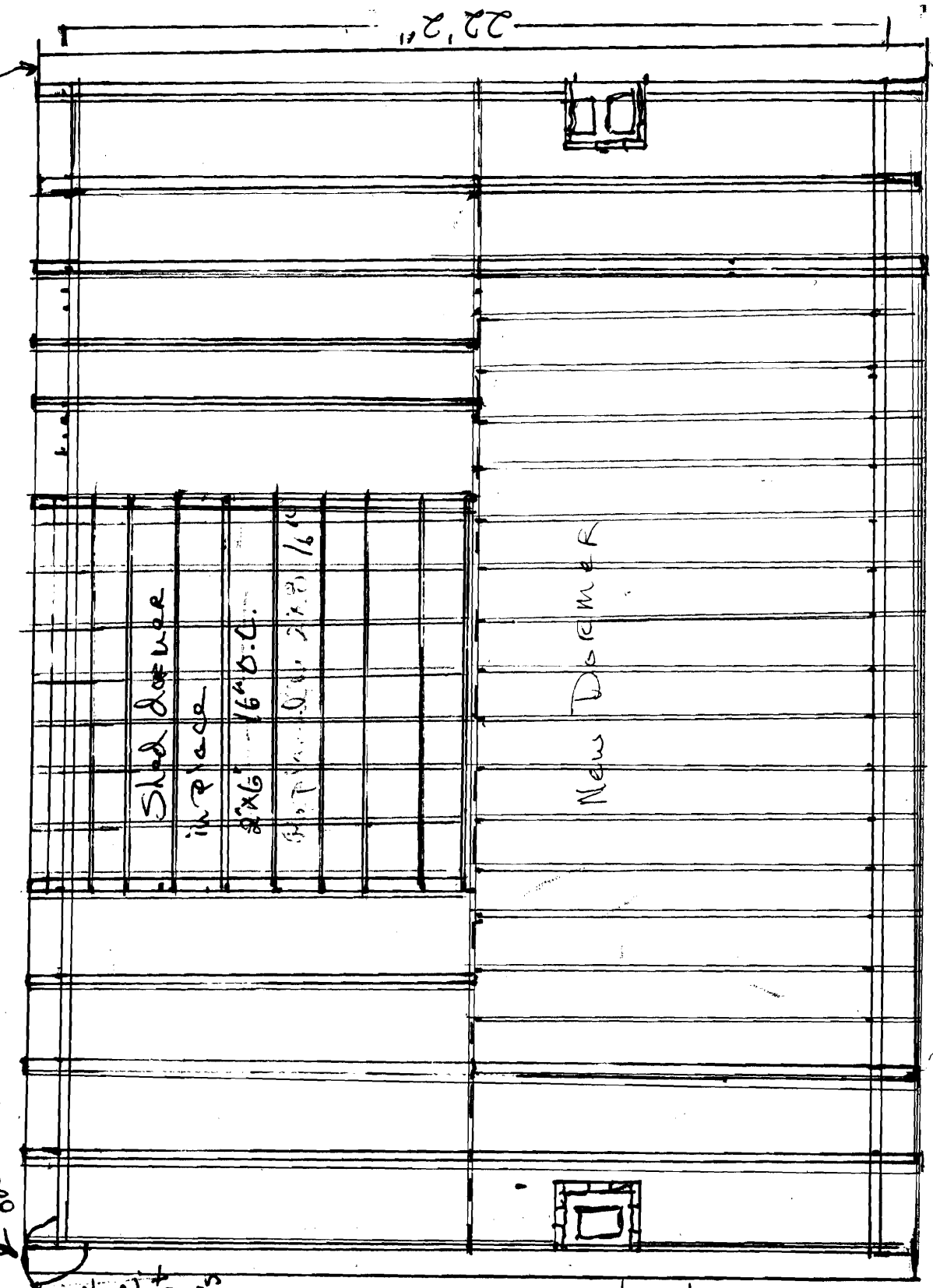
NO. 1 RAINING

Scale 1/4" = 1'-0"
Black indicates original frame
Blue indicates new raining

Drawing #3

Rake overhang

Rake overhang



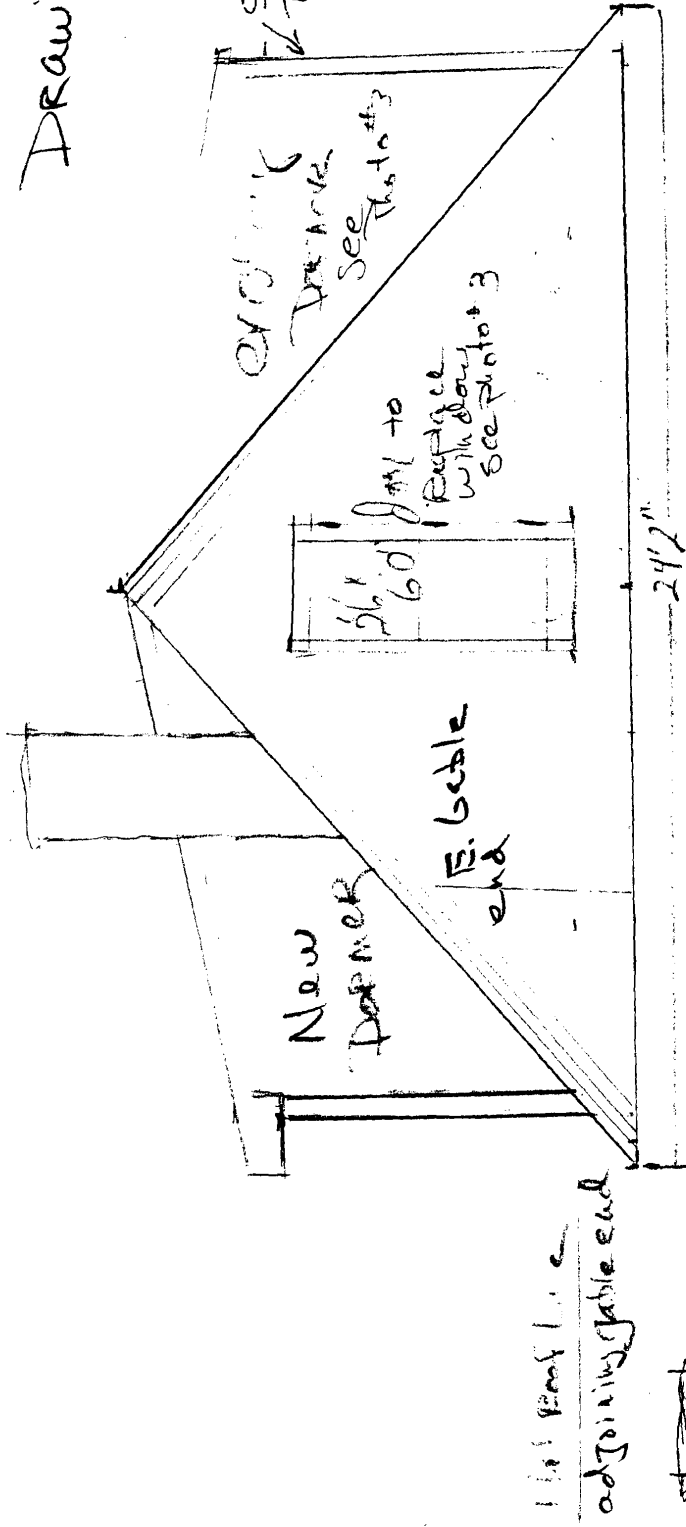
Buildingline

- Original Rafters are 3" X 6" on approx 32" O.C.
- Original Rafters left in place shall be laminated w/ 2" X 8's
- Ridge shall be 2" X 10.
- New DORMER 2x 6" O.C. RAFTERS
- Existing No. Shed DORMER will have Rafters Replaced in conventional style as shown.
- All Rafters to be Tied w 2x6 w/ 2x4 hanger from Ridge.

31' 1"

22' 2"

Drawing # 1



Silverline Series 7553
 Triple Vent Casement
 Windows
 C-3 6152
 R.O. 62 1/4" X 53 5/16"

- Silverline Series 7571
 Combination Casement Window
 R.O. 82 1/16" X 53 5/16"
 2-CPC 8252
- Dormer Wall Frame
 2x6 16 OC
- Dormer Roof Frame
 2x10 16 OC
- Dormer Siding
 Vinyl Sided
- Dormer Roof
 Sheetrock 5/8"
 Plywood
- Dormer Finishes
 In covered with
 Filled & white
 covered
 Vinyl Sided

33'
 21'