

*(Entry Way)*  
*Revision*  
**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 4-6-03

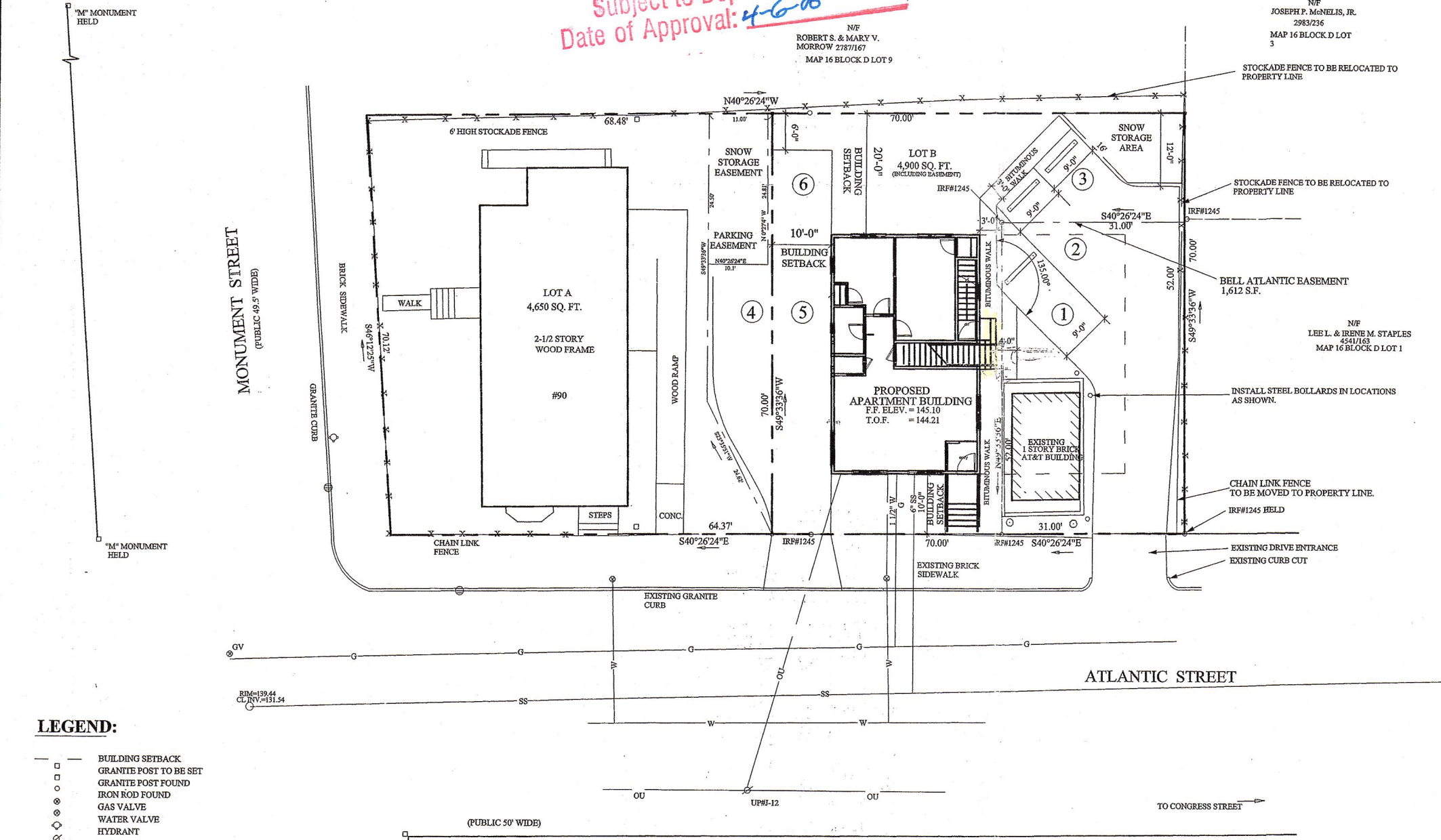
WE, THE PLANNING BOARD OF THE CITY OF PORTLAND, MAINE HEREBY CERTIFY OUR APPROVAL OF THIS PLAN

DATE: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Prepared for:**  
 Edward and Karen Walsh  
 147 Deepwood Drive  
 Portland, Maine

**Civil Engineer:**  
 Stephen W. Tibbetts P.E.  
 Consulting Civil Engineer  
 108 Maine Street  
 Brunswick, Maine 04011  
 phone: 207.725.2667

**Surveyor:**  
 Owen Haskell, Inc.  
 16 Casco Road  
 Portland, Maine 04101  
 phone: 207.774.0424



**NOTES:**

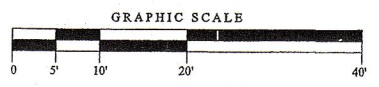
- OWNER OF RECORD: EDWARD WALSH  
C.C.R.D. BOOK 7946, PAGE 283
- BEARINGS ARE BASED ON OBSERVED MAGNETIC NORTH DATED JULY 1998 PER PLAN REFERENCE 1.
- MONUMENT: NORTHEAST CORNER OF NORTH STREET AND CONGRESS STREET ELEVATION 146.69 CITY DATUM.
- PARCEL IS SHOWN AS LOTS 6 & 8 BLOCK D ON TAX MAP 16.
- ZONING: R-6 ZONE

	REQUIRED	PROPOSED
LOT WIDTH	50 FT.	70 FT.
FRONTAGE	40 FT.	70 FT.
MINIMUM FRONT YARD SETBACK:	10 FT.	10 FT.
MINIMUM SIDE YARD SETBACK:	10 FT.	Left - 10 FT. Right - 35 FT.
MINIMUM REAR YARD SETBACK:	20 FT.	20 FT.
MINIMUM LOT AREA:	4,500 SQ. FT.	4,900 SQ. FT. <i>Including Easement</i>

- BUILDING TO CONSIST OF 3, 2BR UNITS.
- SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS, INCLUDING LOTS OF FORTY (40) ACRES OR MORE, WITHIN ANY FIVE-YEAR PERIOD WHETHER ACCOMPLISHED BY SALE, LEASE, DEVELOPMENT, BUILDINGS OR OTHERWISE AND AS FURTHER DEFINED IN 30-A M.R.S.A. SECTION 4401. THE TERM SUBDIVISION SHALL ALSO INCLUDE THE DIVISION OF A NEW STRUCTURE OR STRUCTURES ON A TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD AND THE DIVISION OF AN EXISTING STRUCTURE OR STRUCTURES PREVIOUSLY USED FOR COMMERCIAL OR INDUSTRIAL USE INTO THREE (3) OR MORE DWELLING UNITS WITHIN A FIVE-YEAR PERIOD. THE AREA INCLUDED IN THE EXPANSION OF AN EXISTING STRUCTURE IS DEEMED TO BE A NEW STRUCTURE FOR THE PURPOSES OF THIS PARAGRAPH. A DWELLING UNIT SHALL INCLUDE ANY PART OF A STRUCTURE WHICH, THROUGH SALE OR LEASE, IS INTENDED FOR HUMAN HABITATION, INCLUDING SINGLE-FAMILY AND MULTIFAMILY HOUSING CONDOMINIUMS, TIME-SHARE UNITS AND APARTMENTS.

**LEGEND:**

- BUILDING SETBACK
- GRANITE POST TO BE SET
- GRANITE POST FOUND
- IRON ROD FOUND
- GAS VALVE
- WATER VALVE
- HYDRANT
- UTILITY POLE
- MANHOLE
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- CURB
- OVERHEAD UTILITIES
- WATER LINE
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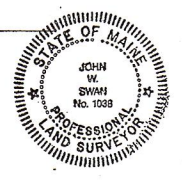


**PLAN REFERENCE:**

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- STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY ON ATLANTIC STREET, PORTLAND, MAINE FOR EDWARD & KAREN WALSH BY OWEN HASKELL, INC. DATED JUNE 3, 1999, REVISED 6-18-99.

**CERTIFICATION:**

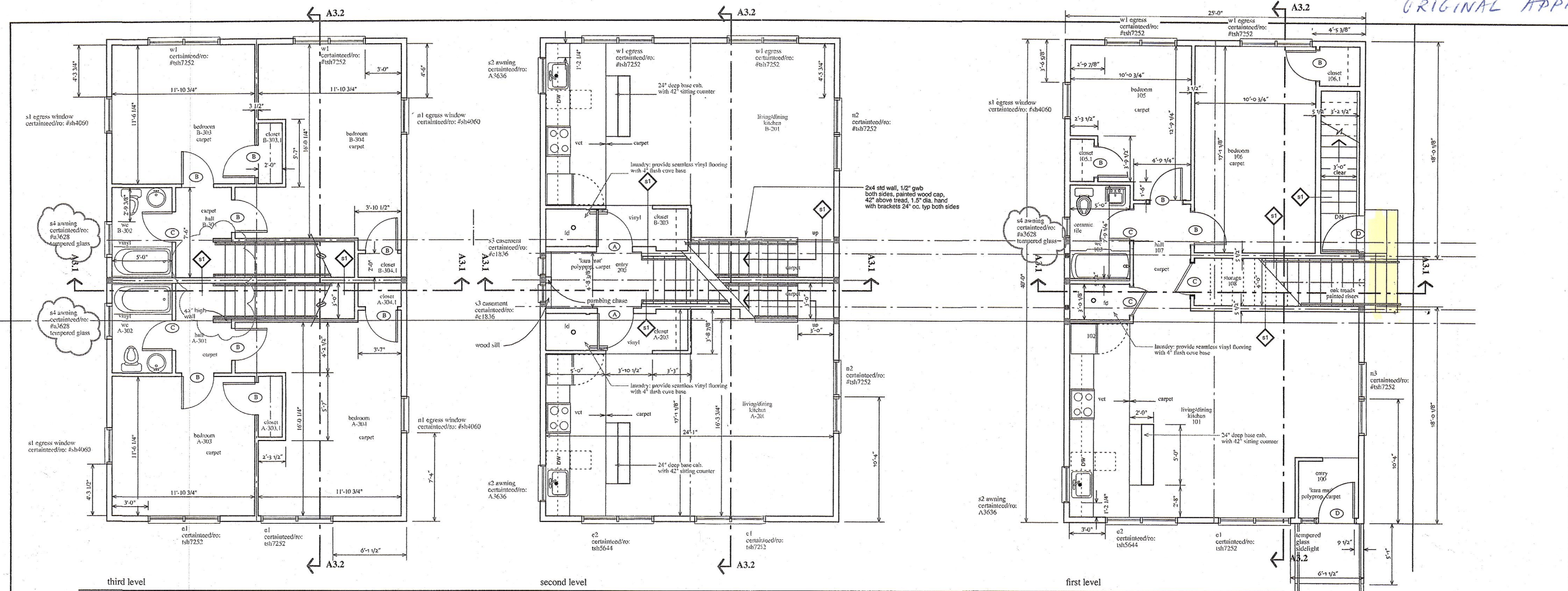
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 NO NEW DEED DESCRIPTION; NO REPORT  
 10-07-03  
 DATE \_\_\_\_\_  
 JOHN W. SWAN, PLS NO. 1038



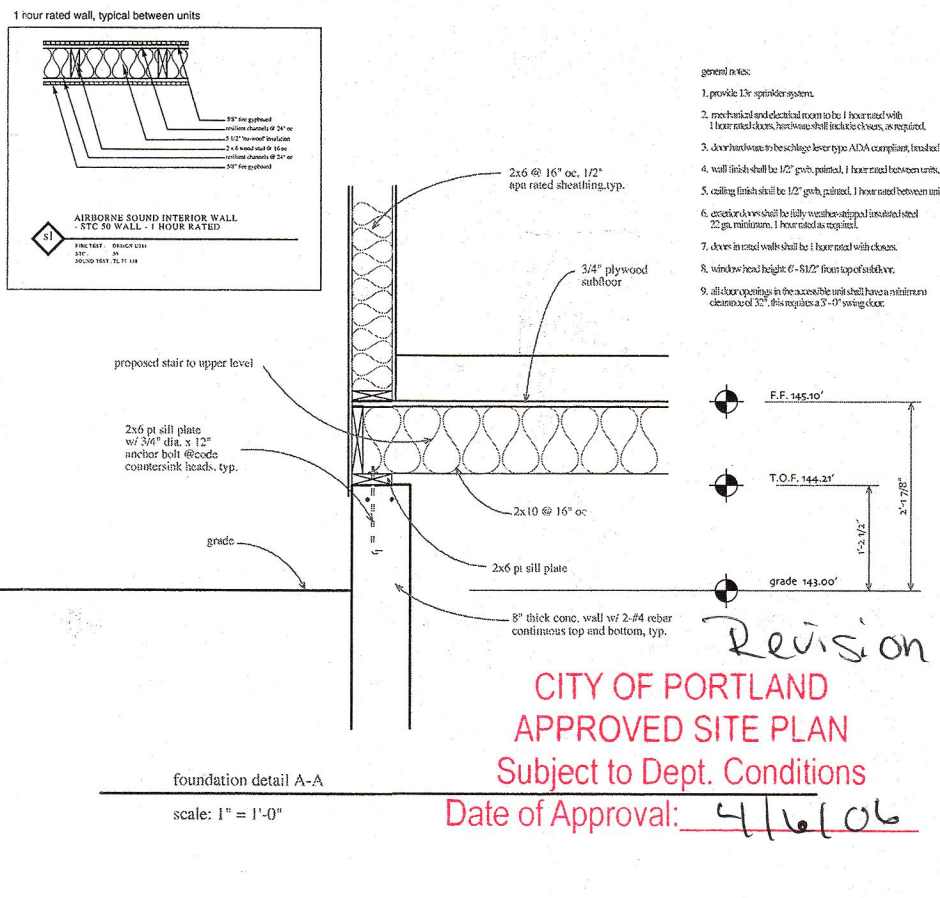
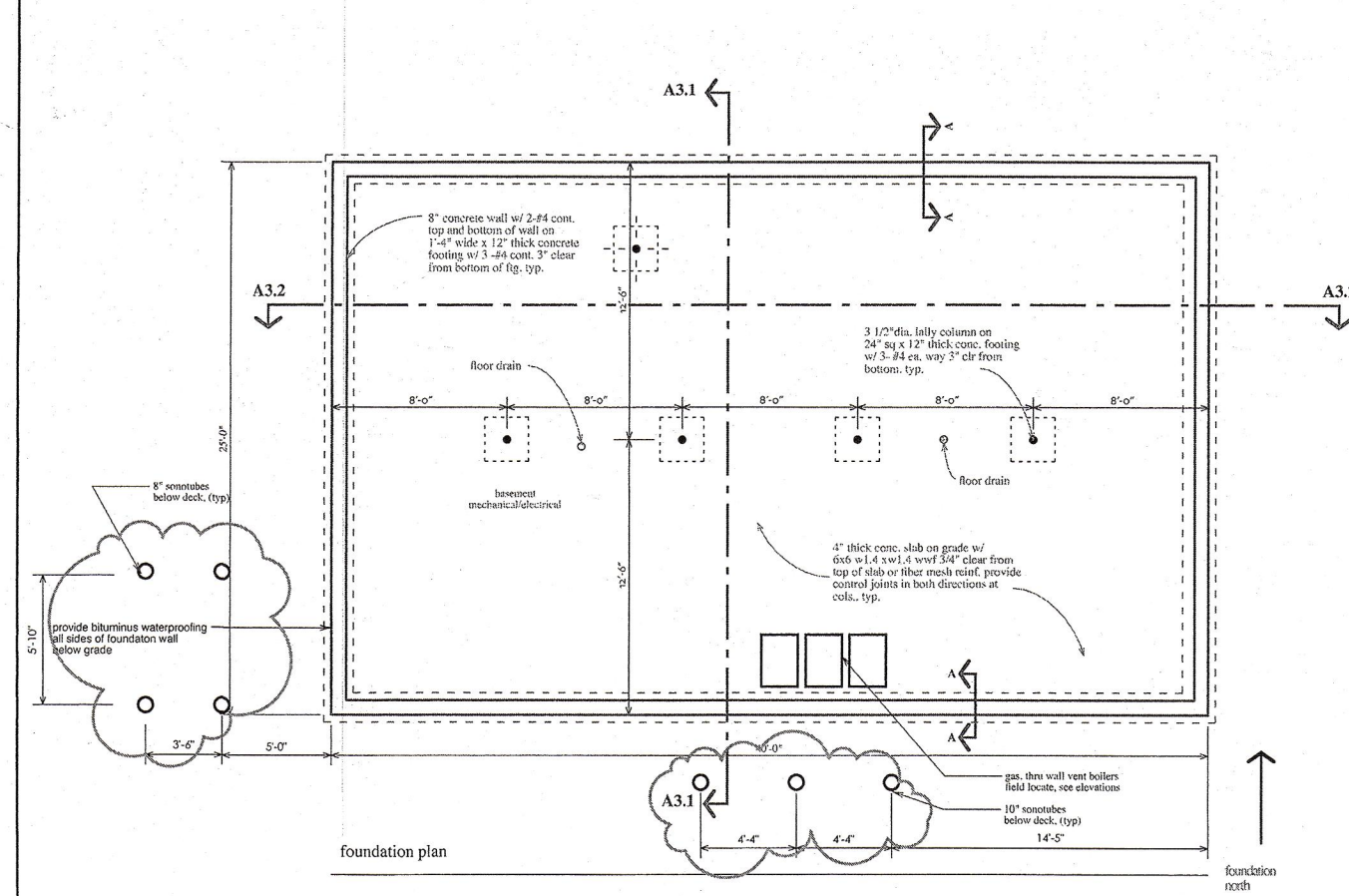
**RECORDING PLAT**

No.	Date	Revision

Job # 99103 P  
 Date: SEPT. 22 2003  
 Scale: 1"=10'  
 Drawn: swt  
 Checked: swt  
 Dwg. No.  
**R-1**



ORIGINAL APPROVED



- general notes:
1. provide 1 1/2" spinners system.
  2. mechanical and electrical room to be 1 hour rated with 1 hour rated doors, hardware shall include chokes, as required.
  3. door hardware to be schedule lever type ADA compliant, finished in stainless steel.
  4. wall finish shall be 1/2" gwb, painted, 1 hour rated between units, as required.
  5. ceiling finish shall be 1/2" gwb, painted, 1 hour rated between units as required.
  6. exterior windows shall be fully weather-stopped insulated steel 20 gpa minimum, 1 hour rated as required.
  7. doors in rated walls shall be 1 hour rated with chokes.
  8. window head height: 6'-8 1/2" from top of subfloor.
  9. all clear openings in the accessible unit shall have minimum clearance of 32". this requires a 5'-0" swing clear.

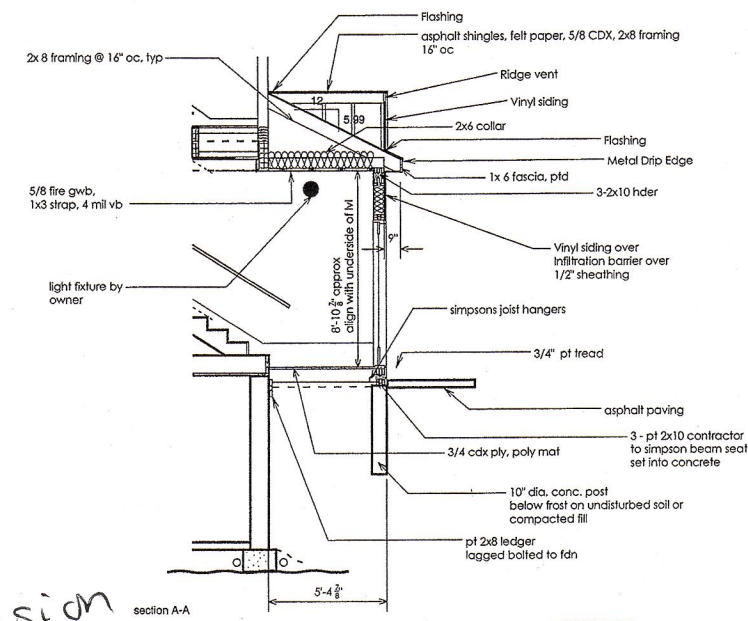
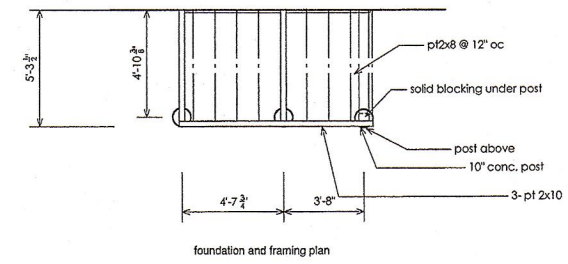
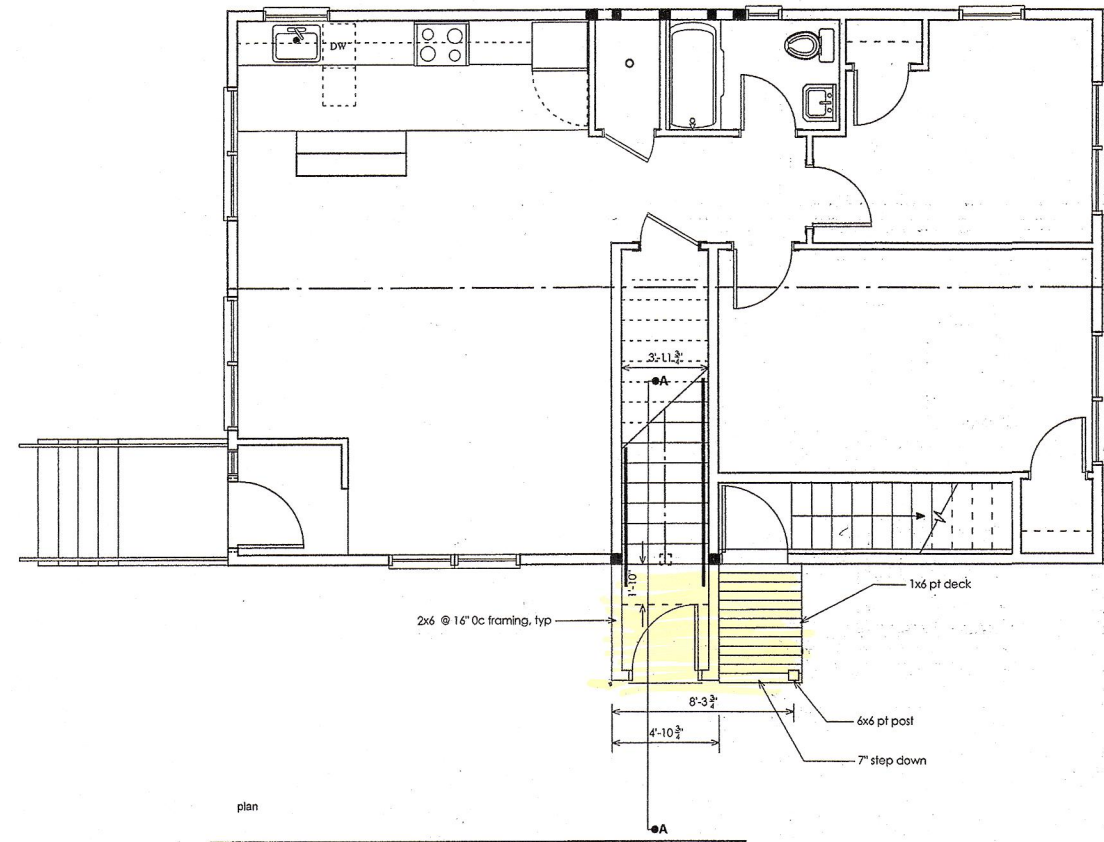
- finish notes:
1. see floor plan:
    - kitchen, laundry: resilient flooring - armstrong imperial texture standard or equal - minimum 22"x22"x18"
    - vinyl base, polyurethane or equal with color to match 4"x18" core base, multi finish
    - hallways: 1/4" ceramic tile, note floor finish adjacent to shower
    - living room, hallway, bathroom: hand-scraped 2 1/2" or better, clear finish (no paint)
  2. A and B finish:
    - kitchen, bathroom, laundry: monogram vinyl floor vinyl
    - living room, hallway, bedrooms, main hallway: 20 mil rubber, with pet staining, moisture, fire, and shock resistance or better, note
    - entry hall 2 1/2" hand-scraped (max. lac)
- window notes:
1. windows shall be certified white vinyl windows with insulating glass and screens.
  2. all bedrooms shall have an egress window (open to patio).
- electrical notes:
1. all electrical work to comply with all applicable codes.
  2. load and unbalanced loads shall be provided in all units as permitted.
  3. range hoods and dryers shall be vented to the exterior.
  4. electric meter for the A and B units shall be provided with an emergency light with battery back-up.
  5. all receptacles in wet areas shall be GFI type as per code.
  6. all lighting in public areas shall be on timer.
- plumbing notes:
1. all plumbing is to comply with all applicable codes.
  2. provide floor drains in the laundry rooms, first level unit bathroom and in minimum of 2 in the bedrooms.

DOOR SCHEDULE

door type	size	count	hldw	function	rolling	room name/remarks
A	3'0" x 6'8"	2			1 hr	solid core birch - entry door
B	2'8" x 6'8"	12				solid core birch
C	2'6" x 6'8"	4				solid core birch
D	3'0" x 6'8"	2				insulated fiberglass entry door

Revision  
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 Date of Approval: 4/16/06

PROPOSED CHANGE



PROPOSED CHANGE

Revision

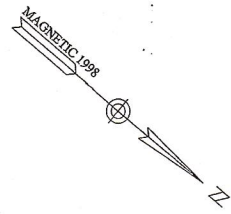
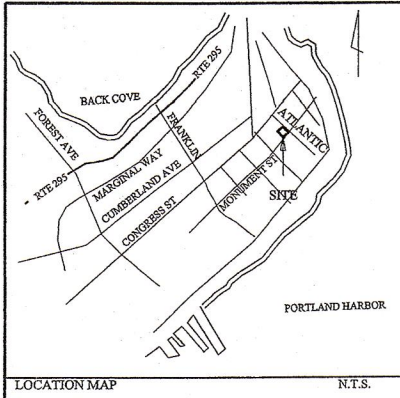
CITY OF PORTLAND  
 APPROVED SITE PLAN  
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 Date of Approval: 4/6/06

atlantic street apartments  
 atlantic street  
 portland maine

enclosed entry plan  
 07 march 2005  
 1/4" = 1' - 0"

REVISED  
 A 1.1

james sterling architect  
 142 high street  
 portland, maine



LOCATION MAP N.T.S.

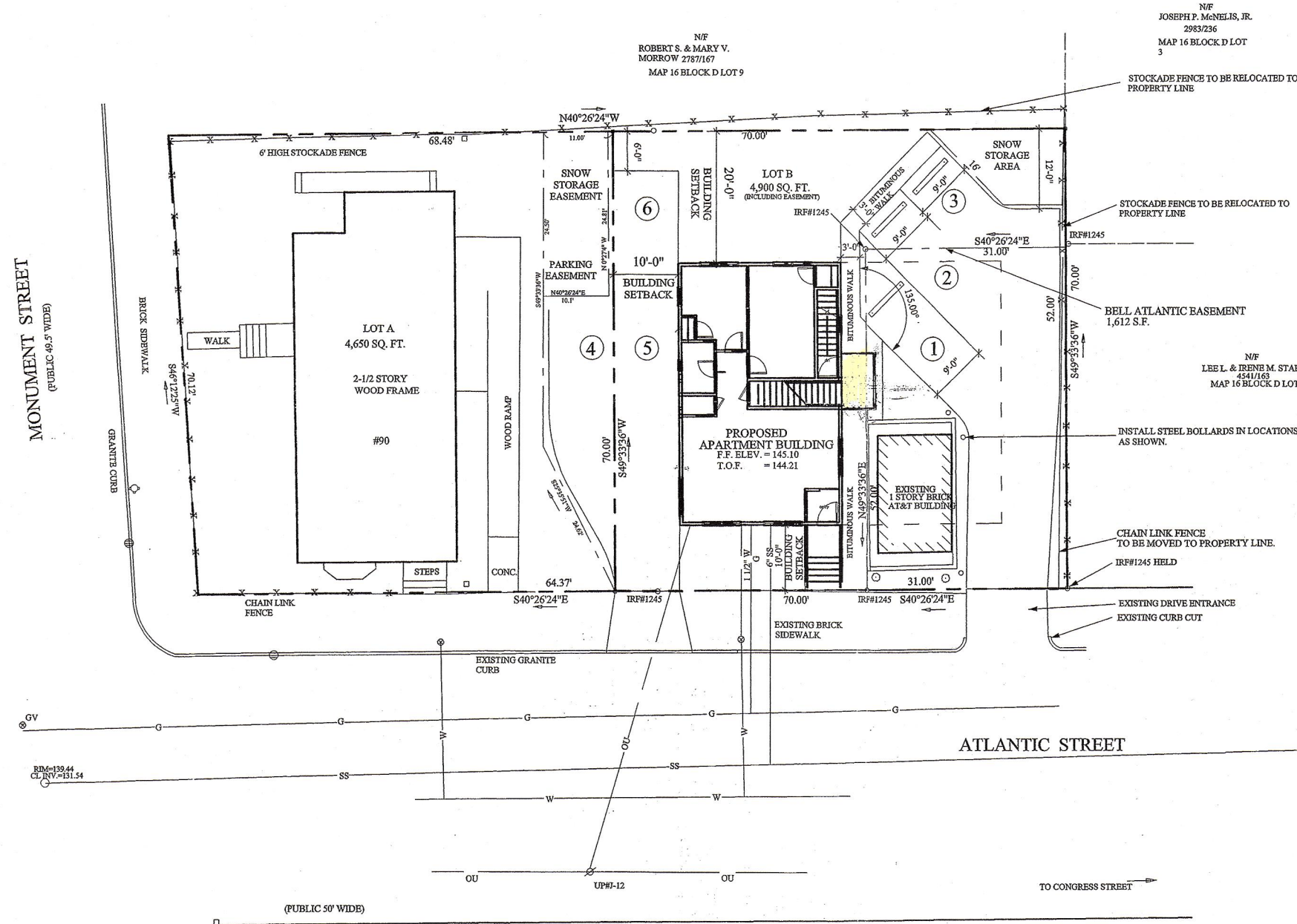
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DATE: [Signature]

Prepared for: Edward and Karen Walsh 147 Deepwood Drive Portland, Maine

Civil Engineer: Stephen W. Tibbetts P.E. Consulting Civil Engineer 108 Maine Street Brunswick, Maine 04011 phone: 207.725.2667

Surveyor: Owen Haskell, Inc. 16 Casco Road Portland, Maine 04101 phone: 207.774.0424



NOTES:

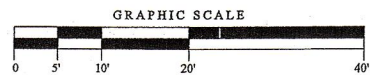
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4. PARCEL IS SHOWN AS LOTS 6 & 8 BLOCK D ON TAX MAP 16.
5. ZONING: R-6 ZONE
6. BUILDING TO CONSIST OF 3, 2BR UNITS.
7. SUBDIVISION SHALL MEAN THE DIVISION OF A LOT, TRACT OR PARCEL OF LAND INTO THREE (3) OR MORE LOTS...

Table with 3 columns: LOT WIDTH, FRONTAGE, MINIMUM FRONT YARD SETBACK, MINIMUM SIDE YARD SETBACK, MINIMUM REAR YARD SETBACK, MINIMUM LOT AREA. Rows for REQUIRED and PROPOSED values.

Atlantic Street Apartments 94 Atlantic Street Portland, Maine

LEGEND:

- BUILDING SETBACK, GRANITE POST TO BE SET, GRANITE POST FOUND, IRON ROD FOUND, GAS VALVE, WATER VALVE, HYDRANT, UTILITY POLE, MANHOLE, CATCH BASIN, FENCE, CURB, OVERHEAD UTILITIES, WATER LINE, GAS LINE

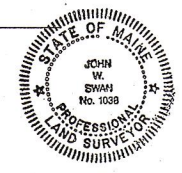


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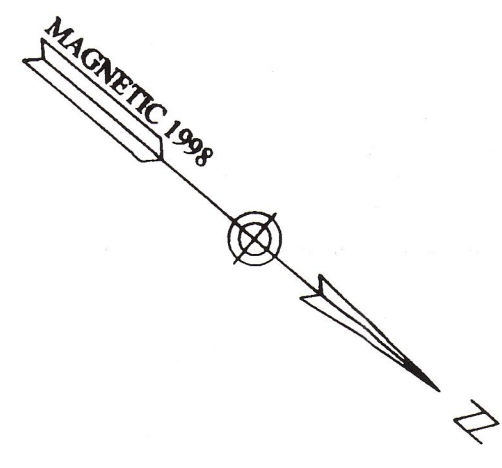
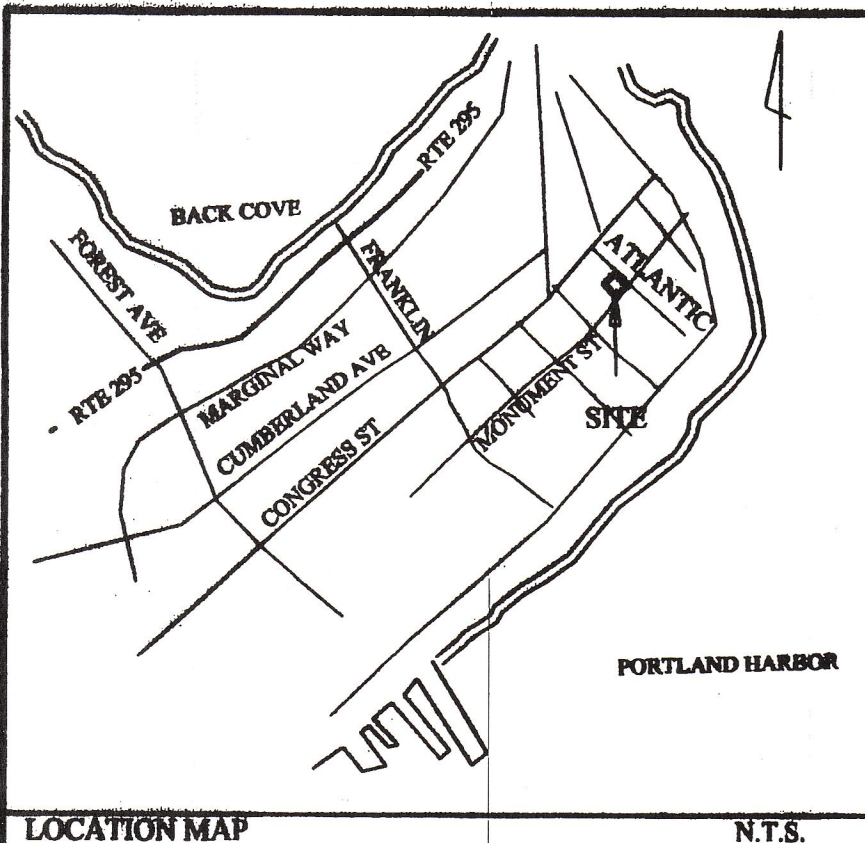
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Revision CITY OF PORTLAND APPROVED SITE PLAN Subject to Dept. Conditions Date of Approval: 4/6/06

RECORDING PLAT

Table with columns: No., Date, Revision. Includes Job # 99103 P, Date: SEPT. 22 2003, Scale: 1"=10', and a large R-1 stamp.



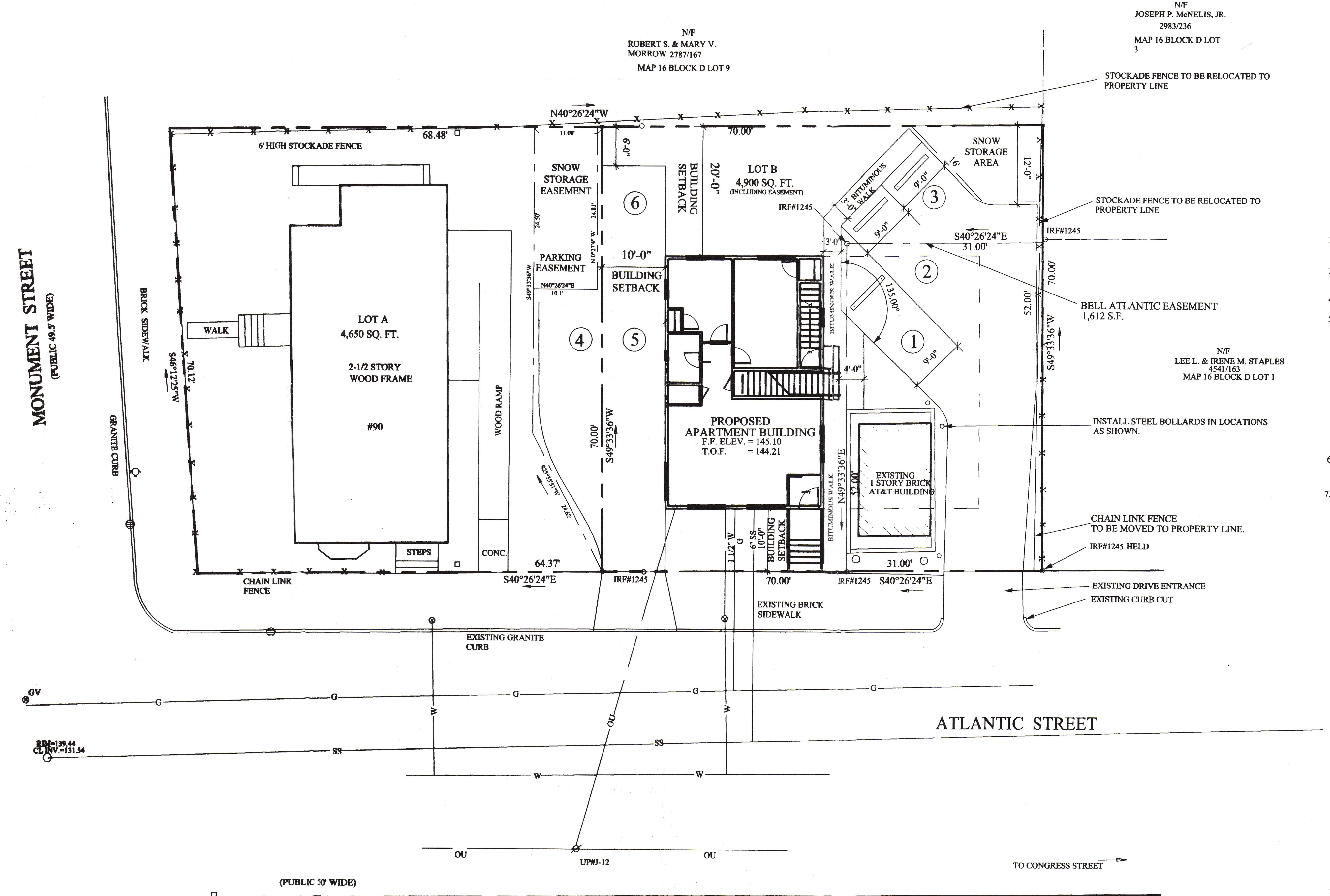
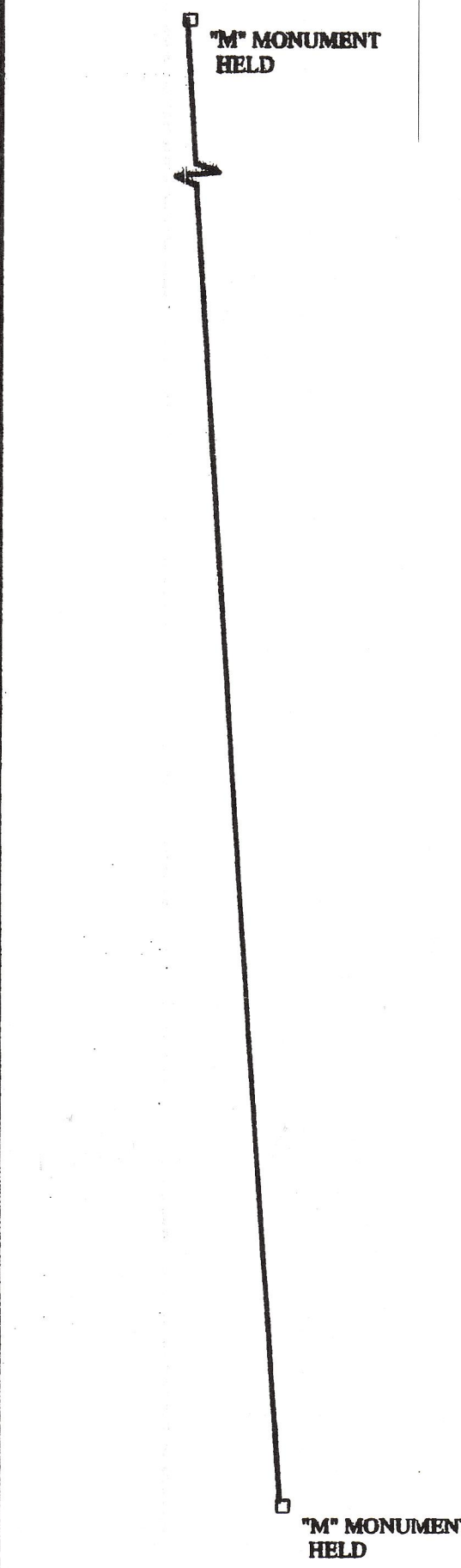
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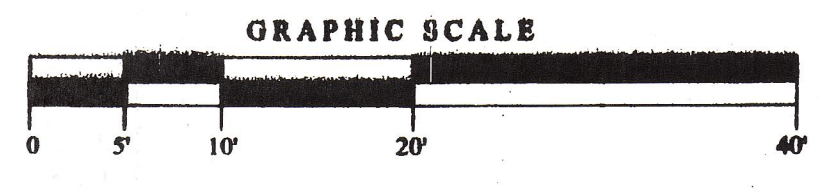


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  - ZONING: R-6 ZONE
- |                             | REQUIRED      | PROPOSED   |
|-----------------------------|---------------|--|
| LOT WIDTH                   | 50 FT.        | 70 FT.   |
| FRONTAGE                    | 40 FT.        | 70 FT.   |
| MINIMUM FRONT YARD SETBACK: | 10 FT.        | 10 FT.   |
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# Atlantic Street Apartments

94 Atlantic Street  
Portland, Maine

- LEGEND:**
- BUILDING SETBACK
  - GRANITE POST TO BE SET
  - GRANITE POST FOUND
  - IRON ROD FOUND
  - GAS VALVE
  - WATER VALVE
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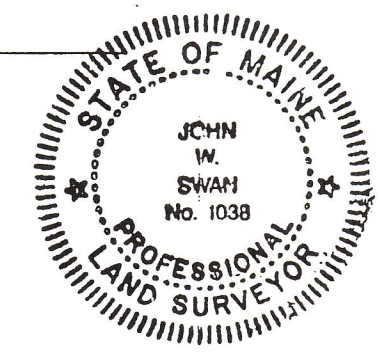
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 NO NEW DEED DESCRIPTION; NO REPORT  
 10-07-03  
 DATE JOHN W. SWAN, PLS NO. 1038

*ORC Copy*  
 CITY OF PORTLAND  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 1-23-03

State of Maine, Cumberland SS.  
 Registry of Deeds  
 Received October 13, 2005  
 at 2:12 P.M. and recorded in  
 Plan Book 205 Page 622  
 Attest: *John B. O'Brien*  
 Register

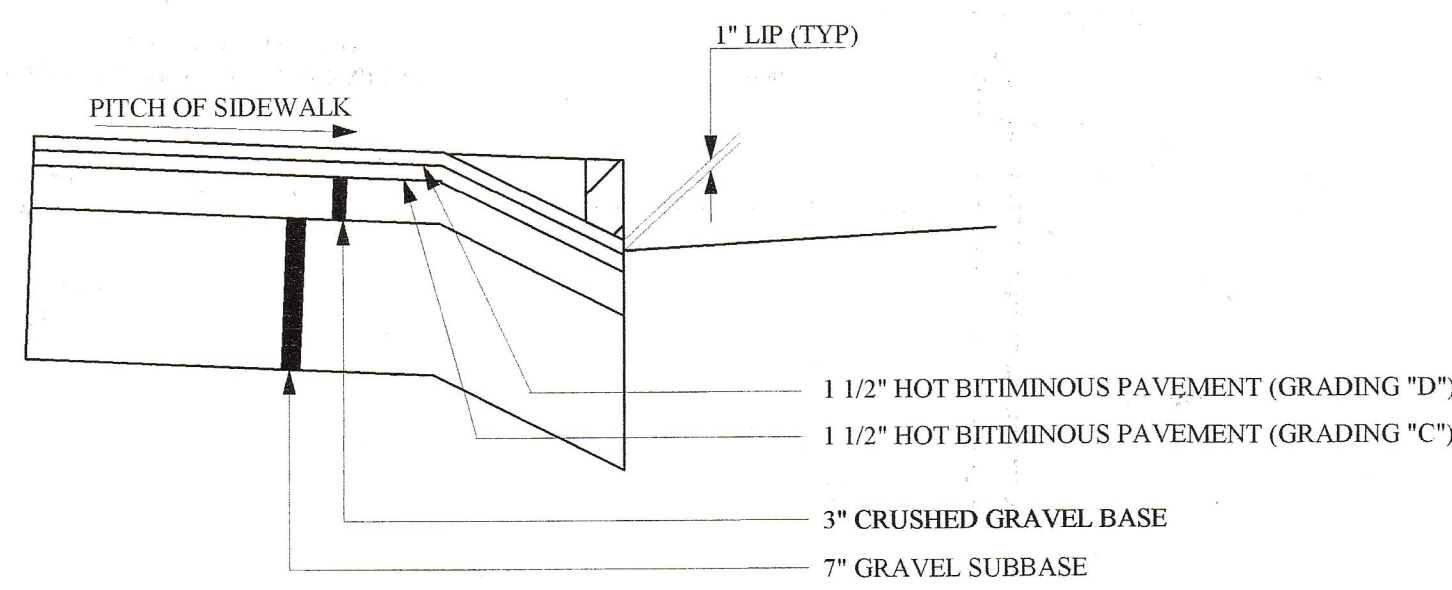


**RECORDING PLAT**

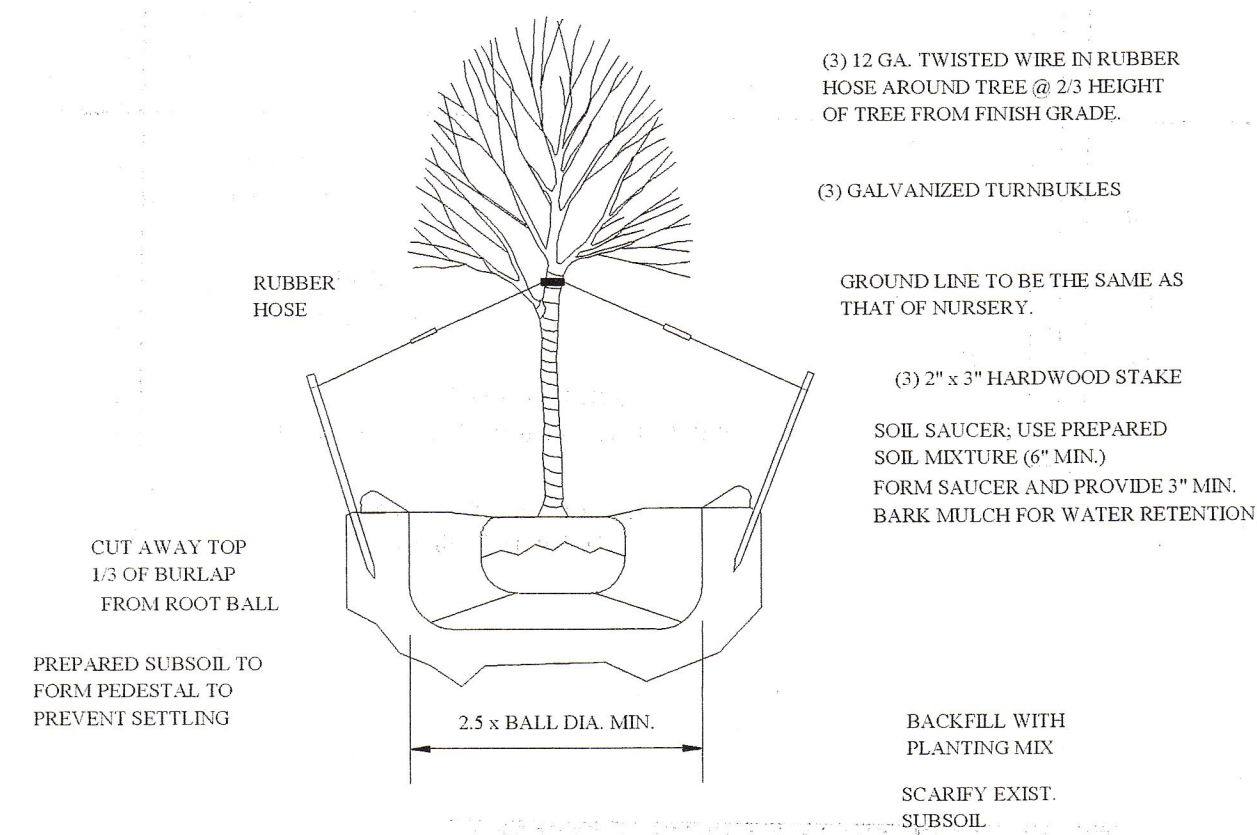
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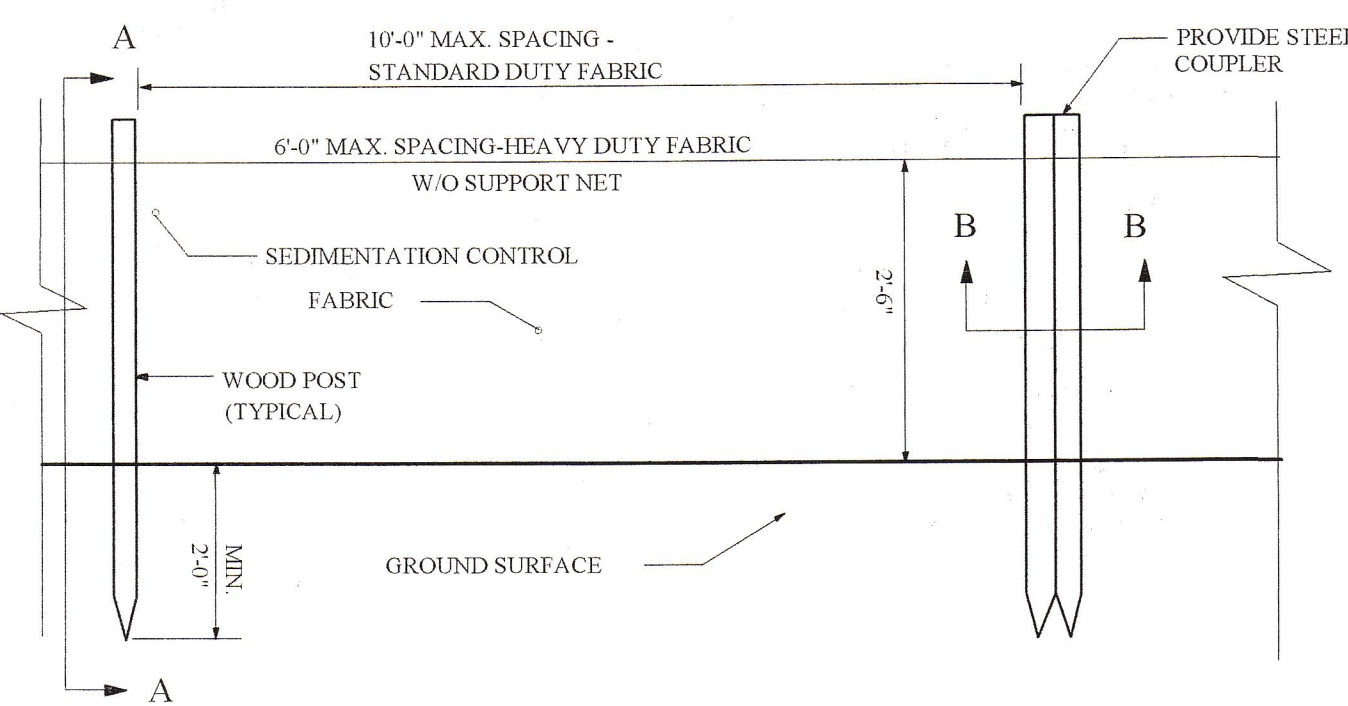
# R-1



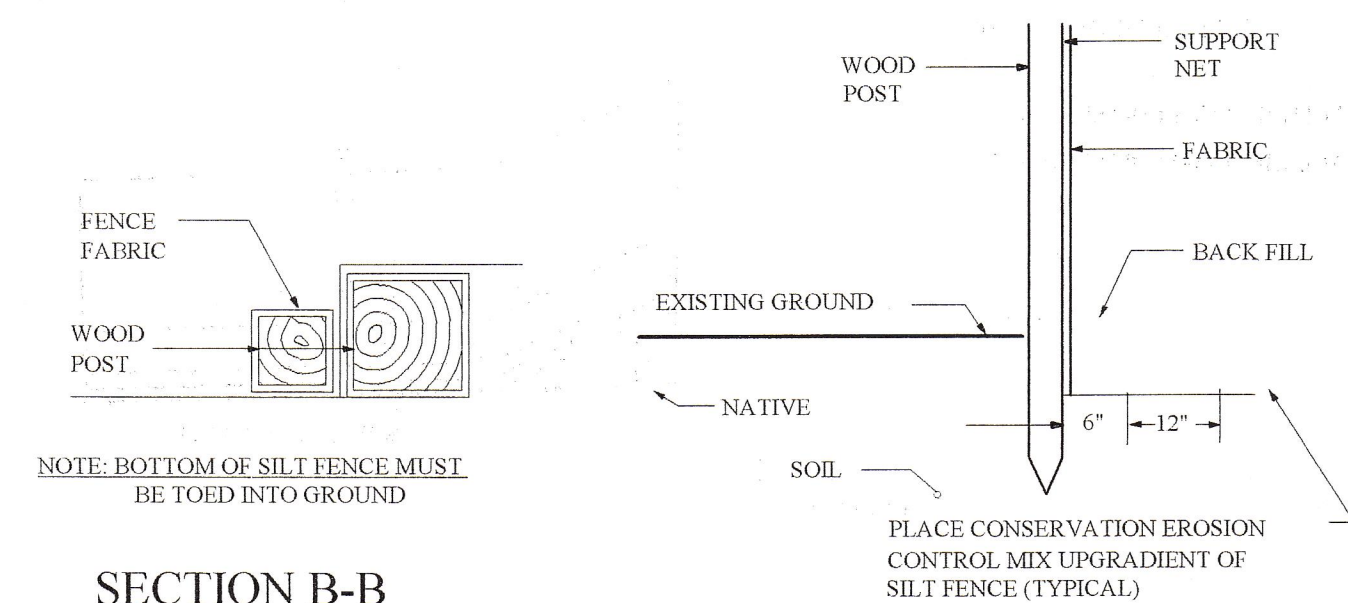
**TYPICAL DRIVEWAY CROSS SECTION**



**TREE PLANTING DETAIL**



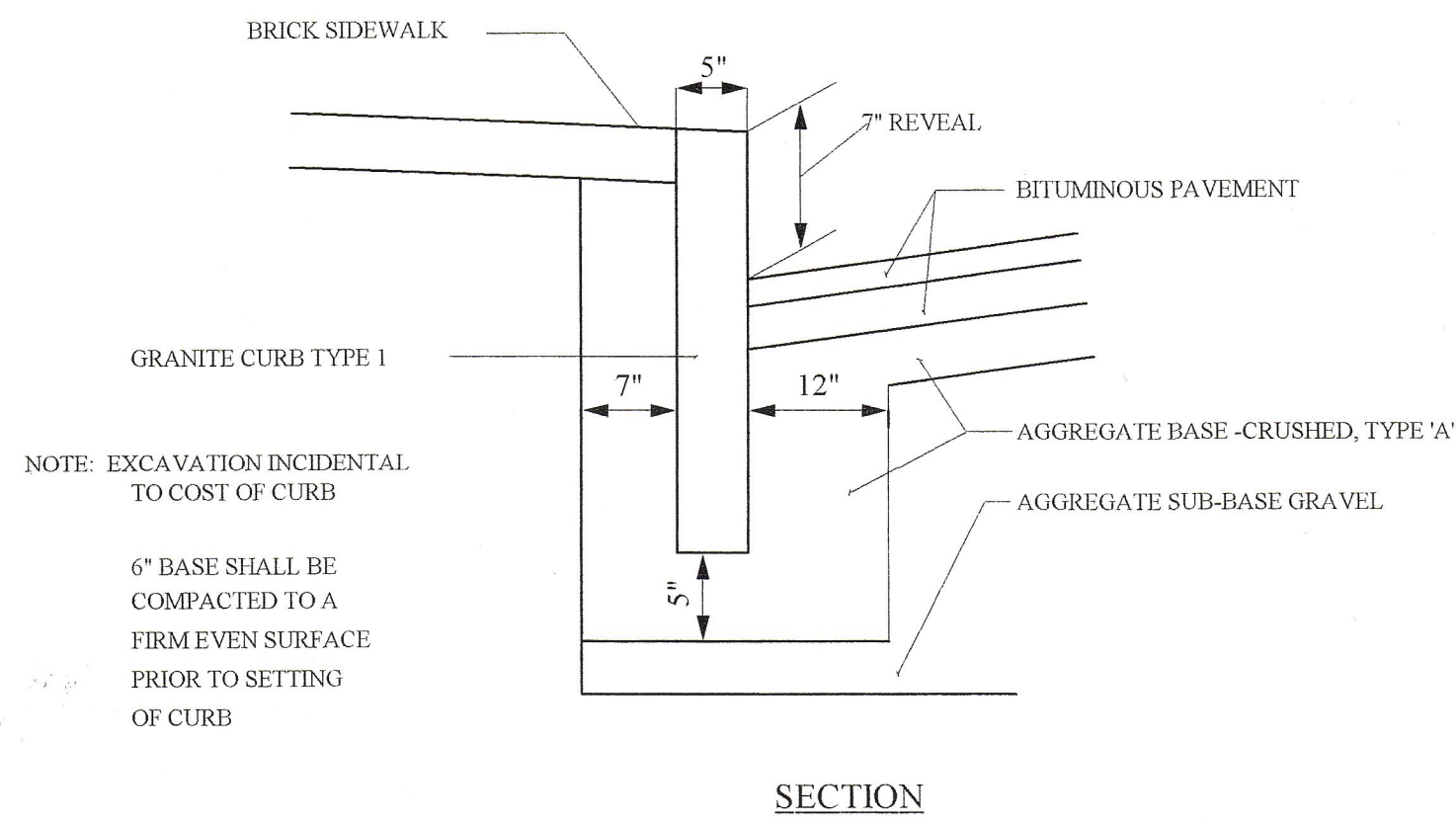
**ELEVATION VIEW**



**SECTION B-B**

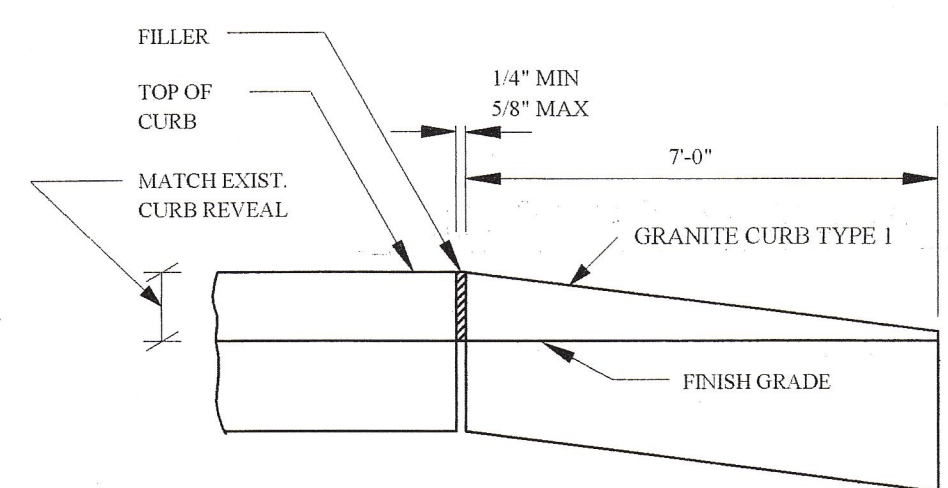
**SECTION A-A**

**SEDIMENT BARRIER (SILT FENCE)**



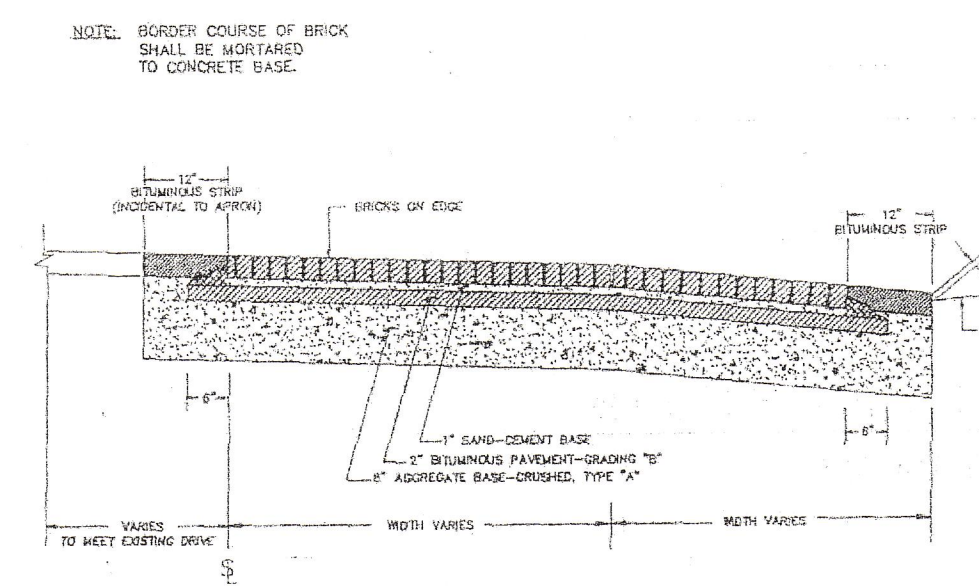
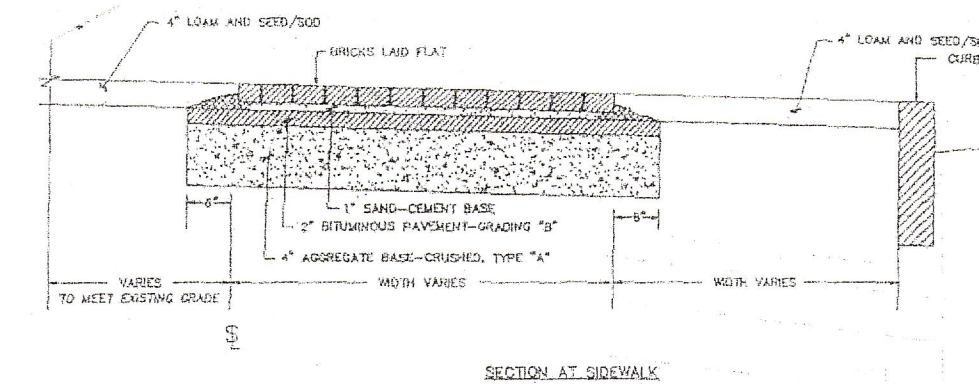
**INSTALLATION OF CURB**

NOT TO SCALE

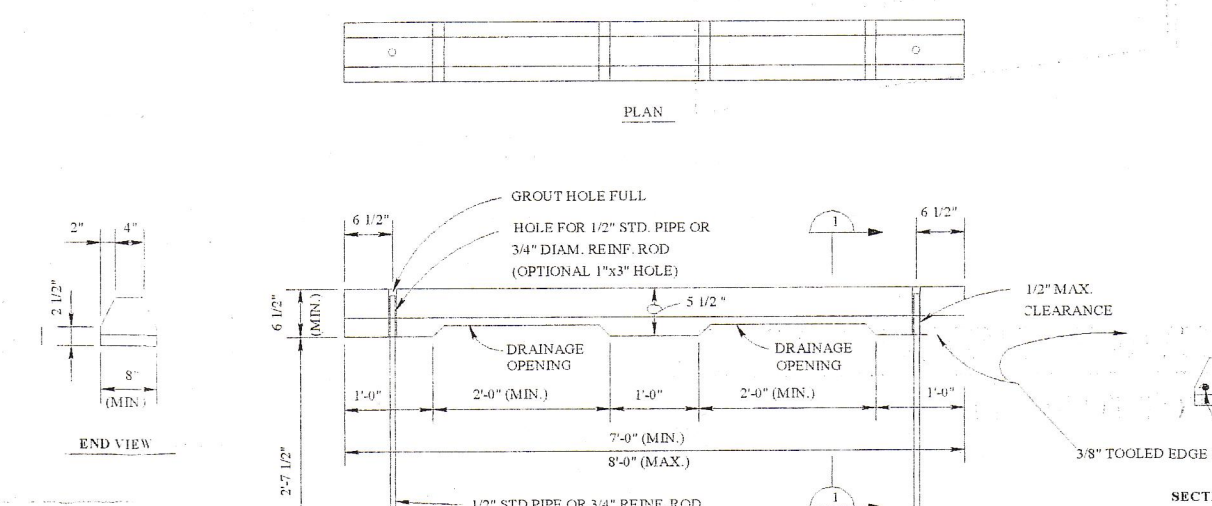


**TIPDOWN CURB INSTALLATION**

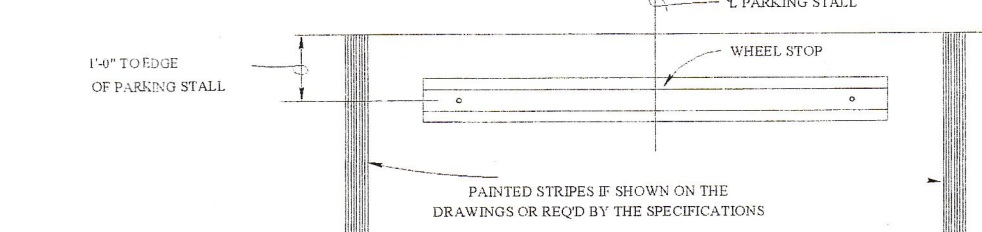
NOT TO SCALE



**BRICK DRIVE AND SIDEWALK DETAIL**



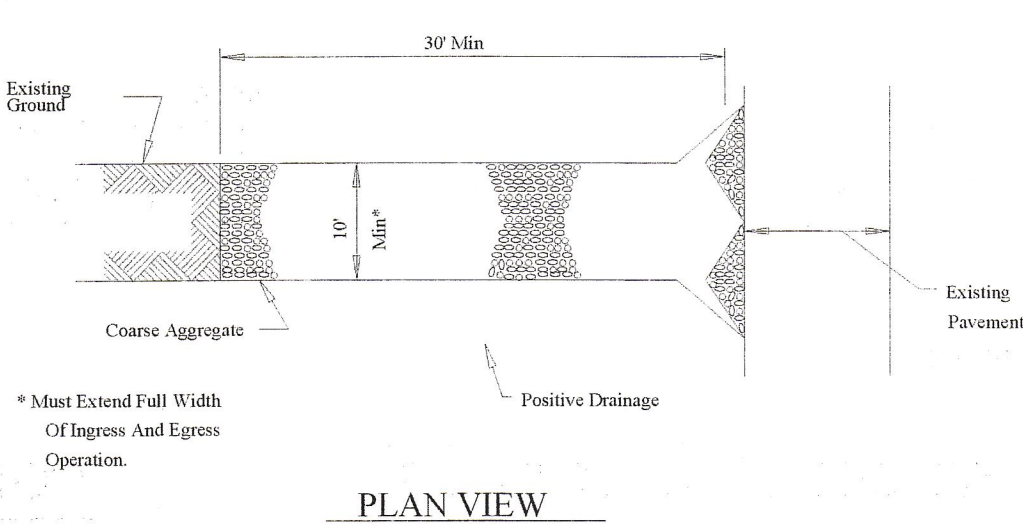
**ELEVATION**



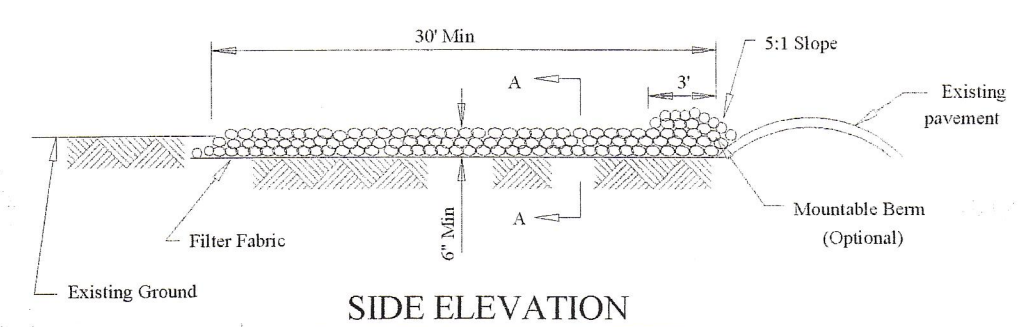
**INSTALLATION PLAN**

**PRECAST CONCRETE WHEEL STOP DETAILS**

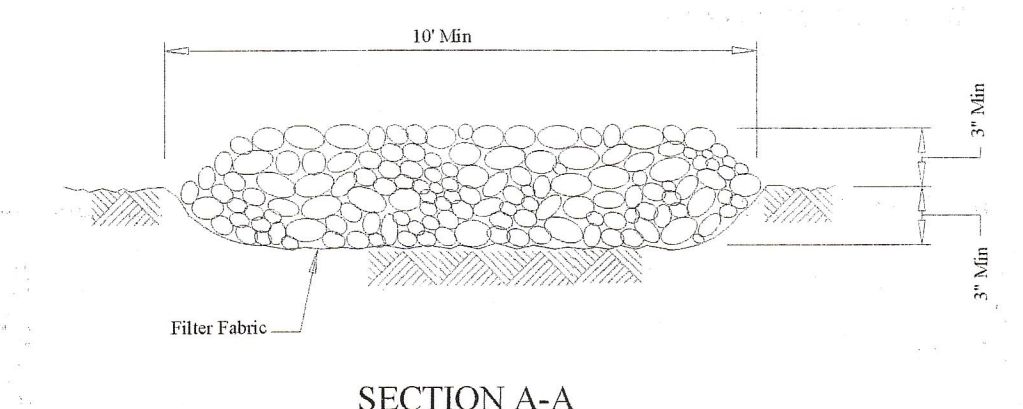
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**PLAN VIEW**



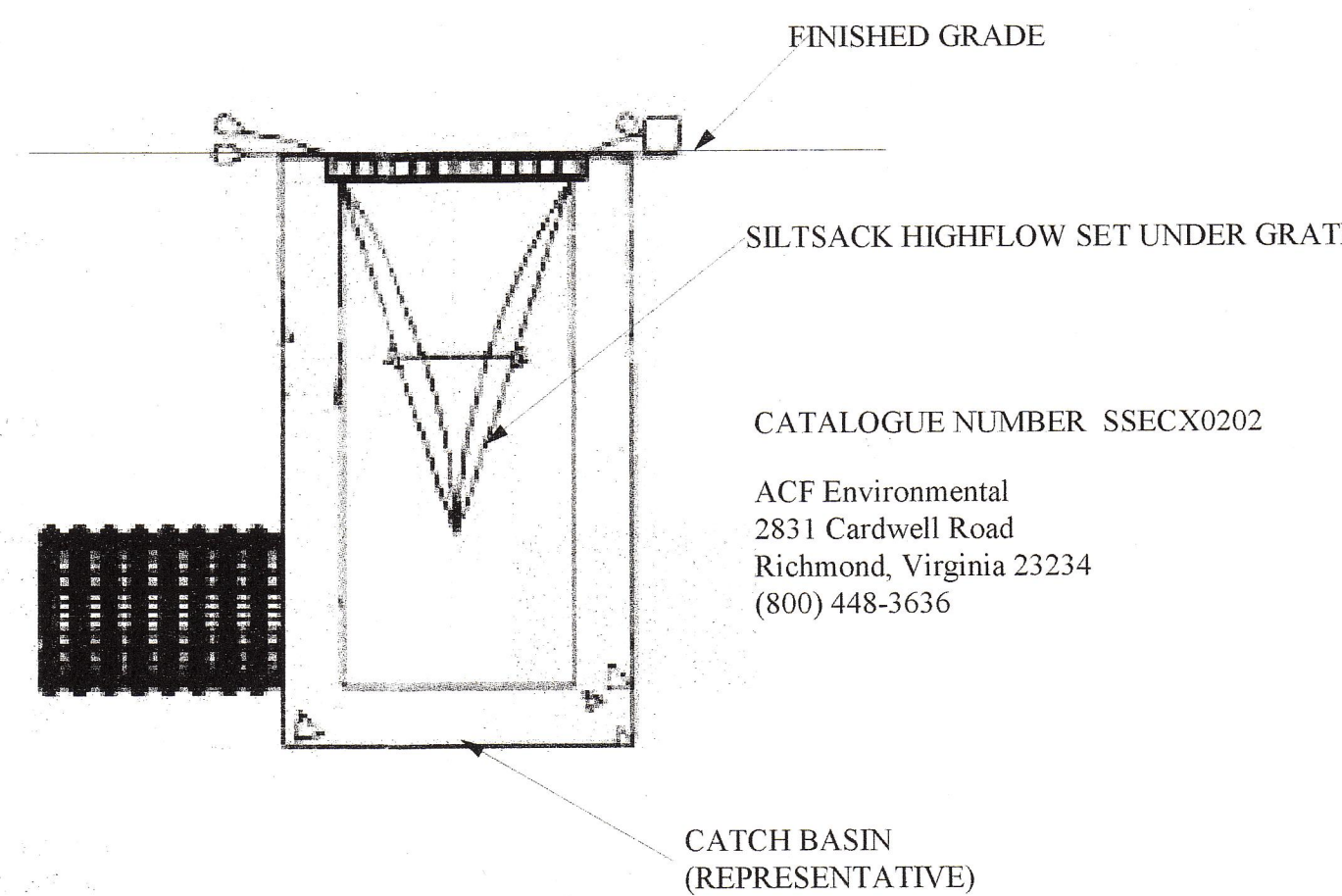
**SIDE ELEVATION**



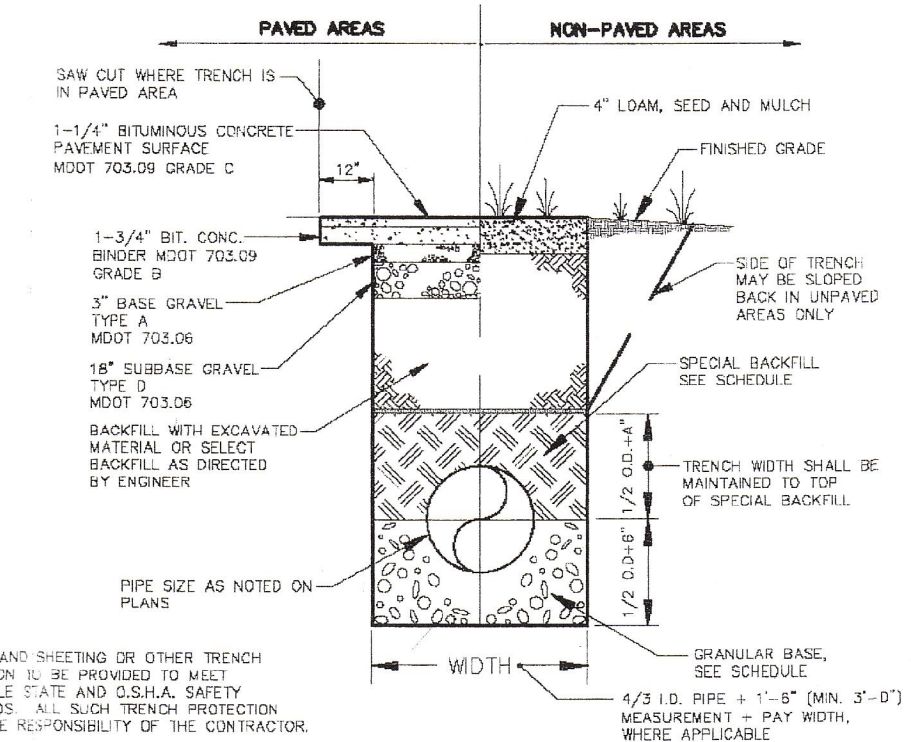
**SECTION A-A**

**OPERATION AND MAINTENANCE**  
The entrance shall be maintained in a condition which will prevent tracking of sediment onto public right-of-ways or streets. This may require periodic top dressing with additional aggregate. All sediment spilled, dropped, or washed onto public right-of-ways must be removed immediately. Periodic inspection and needed maintenance shall be provided after each rain.

**STABILIZED CONSTRUCTION ENTRANCE PLAN**

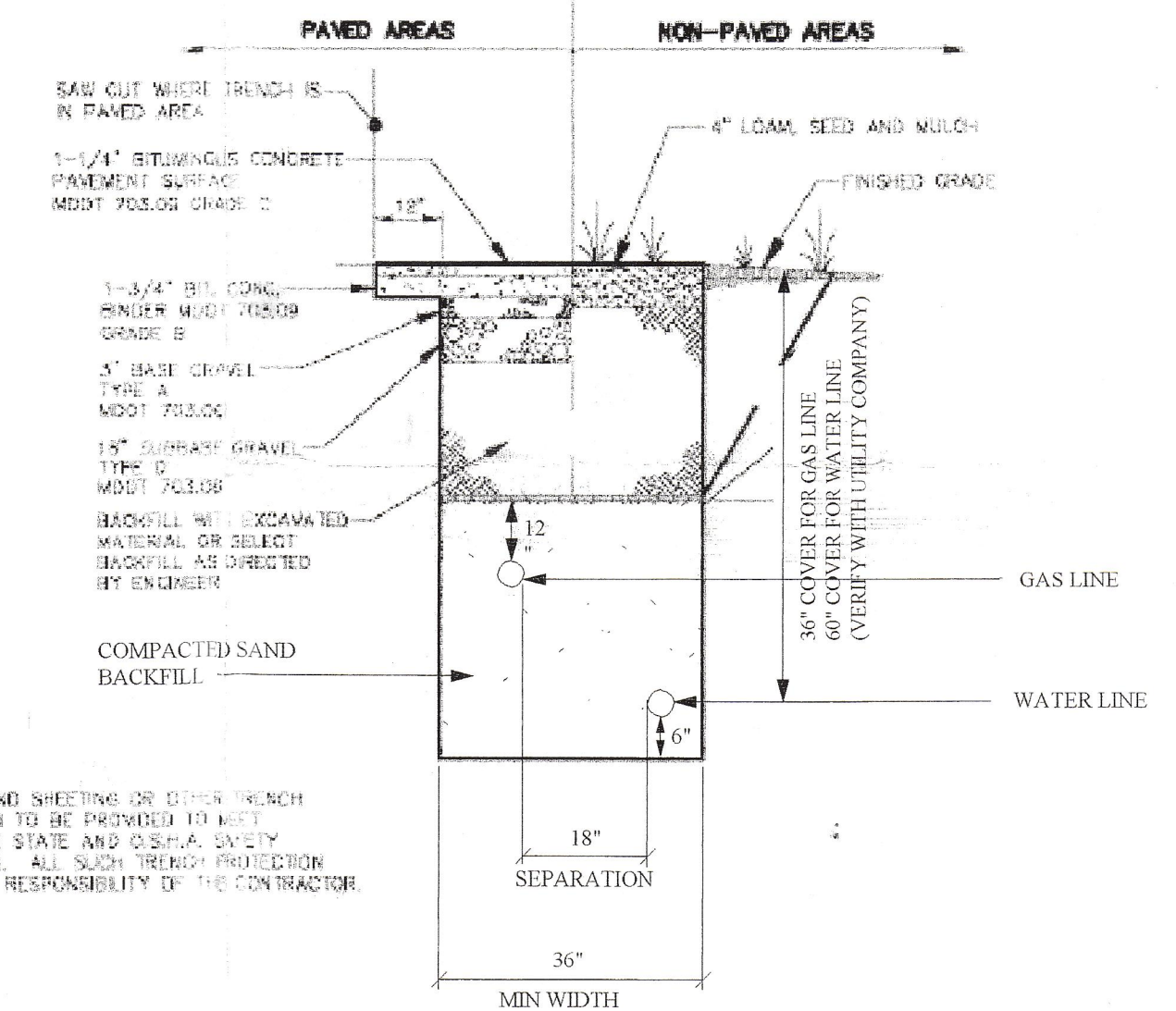


**SILTSACK CROSS-SECTION**

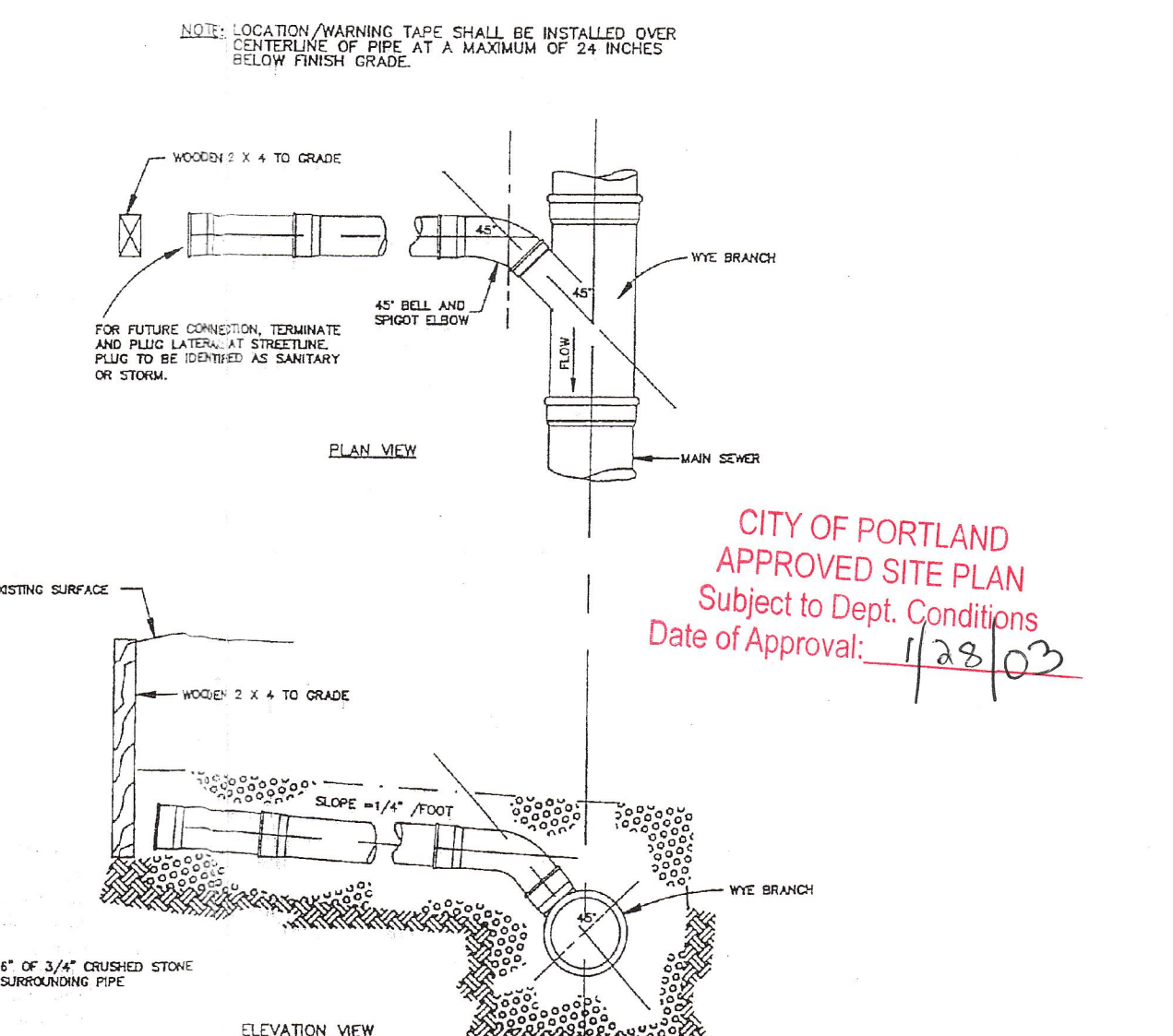


TRENCH SECTION	BACKFILL SCHEDULE			
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M45-49 A-3 OR BETTER	GRANULAR AASHTO M45-49 A-3 OR BETTER	12"	GRANULAR AASHTO M45-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M45-49 A-3 OR BETTER	8"	GRANULAR AASHTO M45-49 A-3 OR BETTER
STEEL	GRANULAR AASHTO M45-49 A-3 OR BETTER	GRANULAR AASHTO M45-49 A-3 OR BETTER	12"	GRANULAR AASHTO M45-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M45-49 A-3 OR BETTER	GRANULAR AASHTO M45-49 A-3 OR BETTER	8"	GRANULAR AASHTO M45-49 A-3 OR BETTER
UNDER-DRAINS	1/2" TO 3/4" CRUSHED STONE	GRANULAR AASHTO M45-49 A-3 OR BETTER	8"	GRANULAR AASHTO M45-49 A-3 OR BETTER

**TYPICAL UTILITY PIPE TRENCH SECTION**



**COMBINED GAS AND WATER LINE TRENCH**



**TYPICAL HOUSE LATERAL WYE CONNECTION DETAIL**

**Prepared for:**  
Edward and Karen Walsh  
147 Deepwood Drive  
Portland, Maine

**Civil Engineer:**  
Stephen W. Tibbetts P.E.  
Consulting Civil Engineer  
108 Maine Street  
Brunswick, Maine 04011  
phone: 207.725.2667

**Surveyor:**  
Owen Haskell, Inc.  
16 Casco Road  
Portland, Maine 04101  
phone: 207.774.0424

**Atlantic Street Apartments**  
94 Atlantic Street  
Portland, Maine

**Site Details**

No.	Date	Revision
1	11/20/02	ADDED DETAILS PER REVIEW COMMENTS
2	1/6/03	ADDED DETAILS PER REVIEW COMMENTS
3	2/6/03	ADDED DETAILS PER REVIEW COMMENTS

<b>Job #</b>	<b>Dwg. No.</b>
Date: 11 JUNE 2002	<b>S-2</b>
Drawn: swt	
Checked: swt	

CITY OF PORTLAND  
APPROVED SITE PLAN  
Subject to Dept. Conditions  
Date of Approval: 1/23/03