

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

PERMIT ISSUED

Permit Number: 060391  
APR 20 2006

CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that WALSH ED /Kennedy & Walsh Const.  
has permission to amendment to Multi-Family Enclose driveway  
AT 94 ATLANTIC ST 016 D006001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

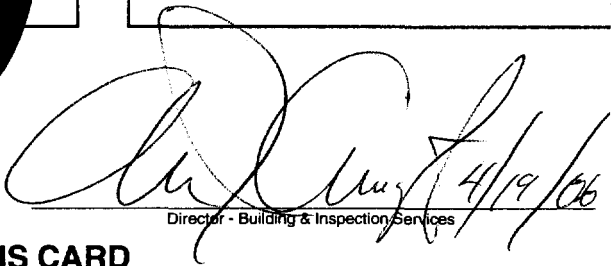
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is opened or service closed-in. 4  
YOUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass 3-30-06  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0391		Issue Date: APR 20 2006		CBL: 016 D006001	
Location of Construction: 94 ATLANTIC ST		Owner Name: WALSH ED		Owner Address: 147 DEEPWOOD DR	
Business Name:		Contractor Name: Kennedy & Walsh Const.		Contractor Address: 91 Johnson Rd Falmouth	
Lessee/Buyer's Name		Phone:		Permit Type: Amendment to Multifamily	
Past Use: Multi- Family Home		Proposed Use: Multi- Family Home/ amendment to Multi-Family - Enclose entryway (permit # 05-0842) legal use: 3 residential condos (206-0268)		Permit Fee: \$39.00	
Proposed Project Description: amendment to Multi-Family - Enclose entryway		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: Corey Cross		INSPECTION: Use Group: 22 Type: 58 Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Signature: [Signature]	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: [Signature]		Date: [Signature]	
Permit Taken By: Idobson		Date Applied For: 03/24/2006		Zoning Approval	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 3/27/06 [Signature]		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  late: [Signature]	
		Historic Preservation <input checked="" type="checkbox"/> Not in District or Landinark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-039 1			Date Applied For: 03/24/2006	CBL: 016 D006001
Location of Construction: 94 ATLANTIC ST	Owner Name: WALSH ED	Owner Address: 147DEEPWOOD DR		Phone:
Business Name:	Contractor Name: Kennedy & Walsh Const.	Contractor Address: 91 Johnson Rd Falmouth		Phone (207) 781-2071
Lessee/Buyer's Name	Phone:		Permit Type: Amendment to Multifamily	
Proposed Use: Multi- Family Homei amendment to Multi-Family (permit # 05-0842) - Enclose entryway			Proposed Project Description: amendment to Multi-Family - Enclose entryway	

Dept: Zoning      Status: Approved with Conditions      Reviewer: Ann Machado      Approval Date: 03/28/2006  
Note:      Okto Issue: ☐

1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building      Status: Approved with Conditions      Reviewer: Mike Nugent      Approval Date: 04/19/2006  
Note:      Okto Issue: ☐

1) All treads and risers must conform to Chapter 10 of the 2003 IBC.

Dept: Fire      Status: Approved      Reviewer: Cptn Greg Cass      Approval Date: 03/30/2006  
Note:      Ok to Issue: ☐

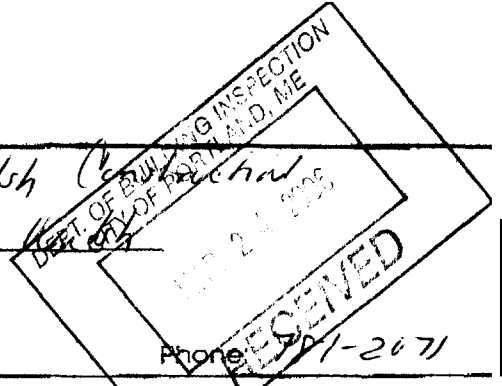
Comments:

4/3/2006-mjn: Awaiting Planning Approval, (site review amendment brought to J. Reynolds)

## Supplemental All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>94-98 Atlantic Street</u>			
Total Square Footage of Proposed Structure <u>Additional 20 sq. enclosed space</u>		Square Footage of Lot <u>4,900 sq</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>016</u> Block# <u>D</u> Lot# <u>006</u>	Owner: <u>Edward and Karen Walsh</u>	Telephone: <u>781-2071</u>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same</u>	Cost Of Work: \$ <u>2,000.00</u> Fee: \$ <u>39.00</u>	
Current use: <u>Mult - Family</u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: _____			
Project description: <u>See attached</u>			
Contractor's name, address & telephone: <u>Kennedy &amp; Walsh (see attached)</u>			
Who should we contact when the permit is ready: <u>Karen Walsh</u>			
Mailing address: <u>91 Johnson Rd</u> <u>Falmouth, ME 04105</u>			



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Karen M. Walsh</u>	Date: <u>3/22/06</u>
---	----------------------

This is not a permit, you may not commence ANY work until the permit is issued

## PROPOSED CHANGE FOR 94-98 ATLANTIC STREET, PORTLAND

Owners: Edward and Karen Walsh

General Contractor: Kennedy & Walsh Construction

Original Permit Issued: 11/22/05 - 05- 0842

Summary of Proposed Change: The original plans included an open stairway descending from the second floor common area directly to the outside. At the time the plans were originally designed, a sprinkler system was not required since this was a direct means of access to the outside and ~~was~~ not enclosed. Due to code changes, an R13 sprinkler system was required and has been installed. Therefore, as a more practical means of providing a safe and secure entrance to the building, we would like to enclose the entryway ~~as~~ shown on the attached elevation and framing detail. A Therma-Tru 9-lite steel door will be ~~used~~ at the entrance and ~~a~~ granite step will be added during landscaping. There are two large sprinkler heads (installed at the top and near the bottom of the stairs), allowing for the additional 20 s.f. of enclosed space. We have included reduced sets of the before and after elevation and site plan, showing little impact on the overall size and ~~scope~~ of work involved and have amended the building permit to reflect the additional costs.

**From:** Jay Reynolds  
**To:** Single Family Signoff  
**Date:** 4/5/2006 2:56:57 PM  
**Subject:** 94 Atlantic Street

The proposed entry way, as submitted the other day, has been reviewed and is approved as submitted.

Jay Reynolds  
Development Review Coordinator  
City of Portland Planning Division  
(207) 874-8632  
jayjr@portlandmaine.gov