



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

To: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: James Sterling, Architect

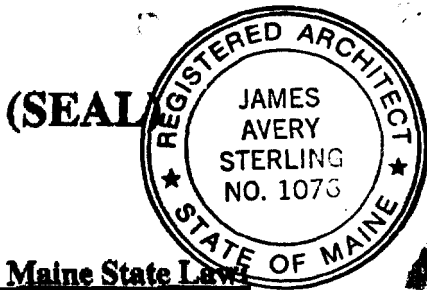
RE: Certificate of Design

DATE: 12 Nov 05

These plans and / or specifications covering construction work on:

14 ATLANTIC STREET

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



As per Maine State Law

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional,

Signature: [Handwritten Signature]

Title: Architect

Firm: James Sterling, Architect

Address: 143 Highland St
Portland ME
04101



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101



ACCESSIBILITY CERTIFICATE

Designer: JAMES STURLINE ARCHT.

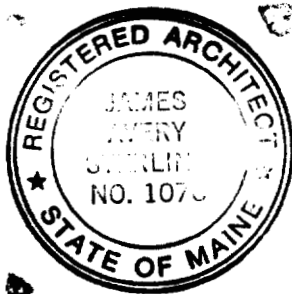
Address of Project: 94 ATLANTIC ST.

Nature of Project: 3 UNIT ART PHARMACY

* NOT APPLICABLE (< 4 UNITS)

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the ~~Maine~~ Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature: J. Sturline

Title: ARCHT.

Firm: JAMES STURLINE ARCHT.

Address: 142 HUGH ST.
PORTLAND - 04101

Phone: 772-0527

JAMES A. STERLING
 Architect A I A
 142 High Street
 P.O. Box 7305
 Portland, Maine 04112
 207 772.0037
 FAX 773.8545
 chechaak@gwi.net

27 SEPTEMBER 2005

Re: Permit Questions
 Dated 14 September 2005

Permit # 050842

1. See L+L comments.
2. Process to be determined between L+L and the owner. - *What materials will require special inspection?*
3. Revised.
4. Revised.
5. Revised.
6. See L+L comments.
7. No penetrations (fans, duct, etc).
8. Revised.
9. 1 hour.
10. Consult with owner. - *See Planning Bd Report*
11. Revised.
12. See drawings for doors; windows by owner.
13. See L+L comments.
14. Revised.
15. N/A
16. Revised.
17. By owner. (if necessary: delete window first level unit facing block building.)
18. Request owner to provide updated site plan. - *provided to City*
19. Revised.
20. Revised.
21. By owner. - *specs on heating systems*
22. Owner providing specifications. - *rubber roof - check w/ sub on specs*
23. See drawings for values. Owner to provide values for windows.
U Factors

James Sterling, Archt.

Mark Leasure

From: james sterling [cheehaak@gwi.net]
 Sent: Wednesday, September 14, 2005 12:36 PM
 To: mark leasure
 Subject: FW: 94 Atlantic St. give to joe

james sterling <http://www.sterlingarchitect.com>

----- Forwarded Message -----

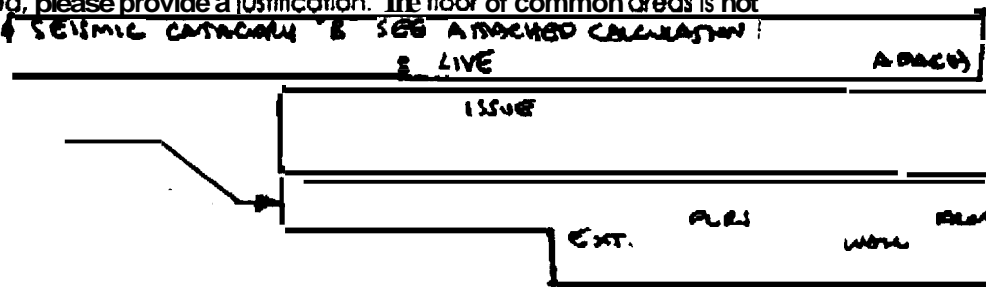
From: "Karen Walsh" <kmwalsh@maine.rr.com>
 Dah: Wed, 14 Sep 2005 10:14:17 -0500
 To: <cheehaak@gwi.net>
 Subject: Fw: 94 Atlantic St.

----- Original Message -----

From: Mike Nugent <mailto:MJN@portlandmaine.gov>
 To: KmwalshBmaine.n.com
 Sent: Tuesday, September 13, 2005 2:53 PM
 Subject: 94 Atlantic St.

I have commenced the review of permit # 050842 and need the following to continue:

1) Page "3" of the Certification forms is incomplete, also the seismic design category is submitted as "8" which is not normal in our area, please provide a justification. The floor of common areas is not submitted at 100 psf. → **SEISMIC CATEGORY "8" SEE ATTACHED CALCULATION**



7) Need a fire separation assembly penetration protection plan.

8) There is no basement stair detail

9) Is the basement Fire Rated?

ON EXTERIOR WALL
AND W/6 STEEL
(BEAM AT CENTER)
COLUMNS CONSISTANT
TO FOUNDATION OR
SUPPORTED ON WALLS
LOOP PLATING DESIGN

12) Need Door schedule and window schedule

13) what is the spacing of the anchor bolts in the foundation and how far from the corners? →

SILL PLATE W/
5/8" Ø X 12" LONG
HOOKED A 307
A.B. @ 3'-0" O.
1'-0" O.
CORNERS AND
ENDS OF PLATE

roof sheathing. All penetrations must be protected.

L & L STRUCTURAL

ENGINEERING SERVICES, INC.

616 Q Street

South Portland, ME 04106

Phone: (207) 787-4830

Fax: (207) 789-5432

Fax Transmittal

Date: 9/15/05

Project: Atlantic ST.

Project No.: 20187

Fax No.: 773-8545

NUMBER OF PAGES TRANSMITTED: 4

DELIVER TO: Jim Sterling

COMPANY: —

FROM: Joe LaShure

If you do not receive all pages, please call our business phone for transmission verification.

Comments: JIM, BASED ON LL-100 RFP AT STAIRS/CONDOES.
THE 3RD FLOOR BEAMS ALONG SIDES OF STAIR MAY WANT TO BE
CHANGED FROM 5 1/4" x 16" LVL TO 7" x 16" LVL AND
2ND FLOOR BEAMS ALONG SIDES OF STAIR MAY WANT TO BE
CHANGED FROM 3 1/2" x 16" LVL TO 5 1/4" x 16" LVL. BOTH BEAMS
ARE RESPONSIBLE FOR STRENGTH AND DEFLECTION IS 4/300. HOWEVER
I WOULD LIKE TO STIPEND TO DETAIL FOR 4/420 DEFLECTION. PLEASE ADVISE
THANK JOE

Copy Sent to: —

FROM DESIGNER: JAMES STEELING ARCH.
 DATE: 9/9/05 (REVISED 9/16/05)
 Job Name: ATLANTIC STREET APARTMENTS
 Address of Construction: ATLANTIC STREET, PORTLAND, MAINE

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) R-2

Type of Construction V

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC SEE OWNER

In the Structure mixed use? NO If yes, separated or non separated (see Section 302.5) —

Supervisory alarm system? NO Geotechnical/Soils report required? (See Section 1802.3) NO

STRUCTURAL DESIGN CALCULATIONS

YES Submitted for all structural members (1001.1, 1001.7.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1008)

Uniformly distributed floor live loads (1009.1.1, 1009)

Floor Area Use	Live Load
<u>RESIDENTIAL</u>	<u>40 PSF</u>
<u>PUBLIC STAIRS & COLL.</u>	<u>100 PSF</u>
_____	_____
_____	_____
_____	_____

Wind loads (1009.1.4, 1009)

1609.6 Design option utilized (1009.1.1, 1009.4)
100 MPH Basic wind speed (1009.4)
1.0 Building category and wind importance factor, I_w (Table 1009.4.6, 1009.4)
B Wind exposure category (1009.4)
0.18 Internal pressure coefficient (1009.4.7)
17.2 / -18.7 Component and cladding pressures (1009.1.4, 1009.4.6.4)
10.5 / 15.9 PSF Mean roof wind pressure (1009.1.1, 1009.4.6.1)

Seismic design data (1001.1.4, 1014 - 1020)

SECT. 1615/1216 Design option utilized (1014.1)
I / B Seismic use group (Category) (Table 1001.1.4, 1014.1)
0.24 / 0.11 Response reduction coefficient, R (1014.1)
C Site class (1014.1.4)

NA Live load reduction (1009.1.7, 1009.4, 1009.10)
42 PSF Roof live loads (1009.1.8, 1009.11)
 Roof snow loads (1009.1.8, 1009)
700 PSF Ground snow load, P_g (1009.4)
42 PSF If $P_g > 10$ psi, flat-roof snow load, P_f (1009.4)
1.0 If $P_g > 10$ psi, snow exposure factor, C_e (Table 1009.4.7)
1.0 If $P_g > 10$ psi, snow load importance factor, I_s (Table 1009.4)
1.0 Roof thermal factor, C_t (Table 1009.4.8)
1.0 Sloped roof snow load, P_s (1009.4)
B Seismic design category (1012.2)
K Seismic seismic-force-resisting system (Table 1012.2.2)
6 1/2 / 4 Response modification coefficient, R , and distribution amplification factor, C_d (Table 1017.2.5)
1616.6 Analysis procedure (1016.2, 1017.2)
0.044W Design base shear (1017.4, 1017.5.1)

Flood loads (1009.1.4, 1014)

_____ Flood hazard area (1012.2)
 _____ Elevation of structure

Other loads

NA Concentrated loads (1007.4)
NA Partition loads (1007.4)
NA Impact loads (1007.5)
NA Misc. loads (Table 1007.4, 1007.5.1, 1007.7, 1007.12, 1007.15, 1010, 1011, 1014)

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, Maine 04106

Phone: (207) 767-4830

Fax: (207) 799-5432

e_mail: mark.leasure@verizon.net

PROJECT ATLANTIC STREET APARTMENTS

SHEET NO. 1 OF 1

CALCULATED BY: JHL DATE 9/9/05

CHECKED BY: MEL DATE 9/9/05

SCALE

SEISMIC DESIGN (PER 2003 IBC)

SEISMIC USE GROUP = I (1616.2.1)
SITE CLASS (1615.1.1) = C (TABLE 1615.1.1)
 S_s (1615) = 0.3 (FIG. 1615(1))
 S_1 (1615) = 0.1 (FIG. 1615(2))

F_a [1615.1.2(1)] = 1.2 (TABLE 1615.1.2(1))
 F_v [1615.1.2(2)] = 1.7 (TABLE 1615.1.2(2))

$S_{ms} = F_a S_s = (1.2)(0.3) = 0.36$ (EQ 16-38)
 $S_{m1} = F_v S_1 = (1.7)(0.1) = 0.17$ (EQ 16-39)

$S_{D2} = 2/3 (S_{ms}) = 0.24$
 $S_{D1} = 2/3 (S_{m1}) = 0.11$

$0.167 \leq S_{D2} \leq 0.33$ CATEGORY "B"
 $0.067 \leq S_{D1} \leq 0.133$ CATEGORY "B"

CATEGORY "B"

TABLE 1616.3(1) & TABLE 1616.3(2)

$R = 6^{1/2}$ (TABLE 1617.4.2)

$V = \frac{1.2 S_{D2}}{R} W = \frac{(1.2)(0.24)}{6.5} (W) = 0.0443 (W)$ (1617.5.1
EQ. 16-56)

$V = 0.044 (W)$

From: Marge Schmuckal
To: Sarah Hopkins
Date: Thu, Jul 21, 2005 11:34 AM
Subject: 94 Atlantic St

Sarah,
Can I get a stamped approved site plan for this project? 2002-0201.
We have a building permit application.
Thanks
Marge



Strengthening a Remarkable City, Building a Community for Life

ulzi.w.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

January 28, 2005

Karen and Edward Walsh
147 Deepwood Drive
Portland, ME 04103

Re: 3-Unit Apartment Building, **94-98** Atlantic Street
Application #2002-0201, CBL 16-D-6002

Dear Mr. And Mrs. Walsh:

Thank you for your recent letter requesting an extension to your site plan approval for the three unit apartment building located in the vicinity of 94-98 Atlantic Street. I understand that your request is based on the fact that there were delays in receiving bids from subcontractors.

In my capacity as Planning Division Director for the City of Portland, I am granting your request to extend your approval to **January 28, 2006**.

If you have any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,

Alexander Jaegerman
Planning Division Director

O:\PLAN\DEV\REVW\ATLANTIC98\EXTENSIONLETTER2.DOC

Edward and Karen Walsh
147 Deepwood Drive
Portland, Maine 04103

November 20, 2002

Jonathan Spence
City of Portland
Planning Development
389 Congress Street
Portland, Maine 04101

11/22/02

Re: 94 Atlantic Street, Portland

Dear Jonathan:

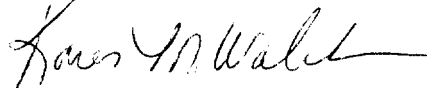
We are currently seeking approval of a 3-unit apartment building at 94 Atlantic Street in Portland. In follow up to the City's review of this project, we are enclosing copies of our revised site plan and building plans. Please note that we have addressed the parking issue for the building and will provide an easement deed to allow parking for Space 4 on our adjacent property at 90 Atlantic Street. We have also addressed several other engineering issues.

The following items will be added to the site plan prior to final review of this project:

1. Sewer line location in Atlantic Street;
2. Utility connection to the proposed building from the street, other than electric and telephone;
3. Granite tip down curb detail;
4. Construction excavation limits due to utility service connection;
5. Detail showing the sanitary sewer main connection;
6. Saw cut detail; and
7. Utility trench for water and sewer.

We are hopeful that the Board **will** issue preliminary approval conditioned upon the items described above being added to the final site plan. Please let me know if you have any questions or concerns.

Sincerely,



Karen M. Walsh

/kmw

From: Marge Schmuckal
To: Jonathan Spence
Date: 1/23/03 12:52PM
Subject: 94 Atlantic Street - new development for 3 apt

Jonathan,

The predominate zone for 94 Atlantic Street is an R-6 zone with a portion of the lot closest to Congress Street designated as a B-1 zone. Please note that the B-1 refers to the abutting residential zone (R-6) for residential requirements.

For background information, this lot is considered a separate lot for zoning purposes. It has in no way "merged" with the adjoining lot, #90 Atlantic Street. In 1964 a 7 family apartment house was demolished on this site (#94). In 1973 the Zoning Board of Appeals granted a principal use of a parking lot for 18 cars. The previously approved use does not preclude any other allowable use, such as a residential use.

I have reviewed this proposal for compliance. It is meeting all the required setbacks, height, lot coverage, open space ratio, and parking, and all other R-6 zone requirements.

As to the one parking space easement on the adjoining lot: I believe the zoning ordinance allows this activity without special approvals. Section 14-333 refers to required parking to be located on the the same lot with the principal use (residential zones) specifically **ONLY** in the **R-1 through R-5** zones. It does not include the R-6 zone. I further believe that the type of parking shown does not require a conditional use approval through the Zoning Board of Appeals. The conditional use reference for off-street parking within the R-6 zone is referring to off-street parking as a principal use, such as this lot received from the Zoning Board of Appeals in 1973. I do not think it refers to incidental off-street parking. The legal principal use on the adjoining lot (#90) is a five (5) family. It is also noted that no required parking is being eliminated from the adjoining lot at #90 Atlantic Street. A nonconformity is NOT being created by the development of the adjoining lot #94.

It is also noted that this project should also be reviewed as a subdivision by the Planning Board.

Marge Schmuckal
Zoning Administrator
1/23/03

CC: Sarah Hopkins

Site # 2002 0201

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74-98 Atlantic Street, Portland</u>		
Total Square Footage of Proposed Structure <u>3000 sq ft</u>		Square Footage of Lot <u>4900 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# <u>11a</u> Block# <u>D</u> Lot# <u>6</u>	Owner: <u>Edward and Karen Walsh</u>	Telephone: <u>878-2978 (h)</u> <u>781-2071 (o)</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Karen Walsh</u> <u>Kennedy & Walsh Construction</u> <u>781-2071</u>	Cost Of Work: <u>\$255,000</u> Fee: <u>\$316.00</u>
Current use: <u>vacant lot with easement for Verizon</u>		<div style="border: 1px solid black; padding: 5px;"> DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME JUN 23 2005 RECEIVED </div>
If the location is currently vacant, what was prior use: <u>unknown</u>		
Approximately how long has it been vacant: <u>unknown</u>		
Proposed use: <u>3-unit apartment building</u>		
Project description: <u>3-story flat roofed structure with three 2-unit units</u>		
Contractor's name, address & telephone: <u>Karen Walsh</u>		
Who should we contact when the permit is ready: <u>Kennedy & Walsh Construction</u>		
Mailing address: <u>91 Johnson Rd</u> <u>Kalmouth, ME 04105</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up, PHONE: <u>781-2071</u> <u>K Walsh</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Karen M Walsh</u>	Date: <u>6/20/05</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

From: Marge Schmuckal
To: Jonathan Spence
Date: 1/23/03 12:52PM
Subject: 94 Atlantic Street - new development for 3 apt

Jonathan.

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I have reviewed this **proposal** for compliance. It is meeting all the required setbacks, height, lot coverage, open space ratio, and parking, and all other R-6 zone requirements.

As to the one parking space easement on the adjoining lot: I believe the zoning ordinance allows this activity without special approvals. Section 14-333 refers to required parking to be located on the the same lot with the principal use (residential zones) specifically ONLY in the **R-1 through R-5** zones. It does not include the R-6 zone. I further believe that the type of parking shown does not require a conditional use approval through the Zoning Board of Appeals. The conditional use reference for off-street parking within the R-6 zone is referring to off-street parking as a principal use, such as this lot received from the Zoning Board of Appeals in 1973. I do not think it refers to incidental off-street parking. The legal principal use on the adjoining lot (#90) is a five (5) family. It is also noted that no required parking is being eliminated from the adjoining lot at #90 Atlantic Street. A nonconformity is NOT being created by the development of the adjoining lot #94.

It is also noted that this project should also be reviewed as a subdivision by the Planning Board.

Marge Schmuckal
Zoning Administrator
1/23/03

CC: Sarah Hopkins

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy

2002-0201

Application I. D. Number

09/16/2002

Application Date

Atlantic Street Apartments

Project Name/Description

94 - 98 Atlantic St , Portland, Maine

Address of Proposed Site

016 D006002

Assessor's Reference: Chart-Block-Lot

Edward F. Walsh

Applicant

147 Deepwood Drive, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 878-2978 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): ☒ New Building ☐ Building Addition ☐ Change Of Use ☒ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) _____

R-6/B-1

Zoning

Proposed Building square Feet or # of Units

Acreage of Site

Check Review Required:

Site Plan
(major/minor)

☐ Subdivision
of lots _____

☐ PAD Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZWPB)

☐ Zoning Variance

☐ Other _____

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date: **09/18/2002**

Insp Approval Status:

Reviewer _____

☐ Approved

☐ Approved w/Conditions
See Attached

☐ Denied

Approval Date _____

Approval Expiration _____

Extension to _____

☐ Additional Sheets
Attached

Condition Compliance _____

signature

date

Performance Guarantee

☐ Required

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit Issued

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate of Occupancy

date

☐ Conditions (See Attached)

expiration date

☐ Final Inspection

date

signature

☐ Certificate of Occupancy

date

Performance Guarantee Released

date

signature

submitted date

amount

expiration date

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	016 D006001
Location	94 ATLANTIC ST
Land Use	VACANT LAND
Owner Address	WALSH ED 147 DEEPWOOD DR PORTLAND ME 04103
Book/Page	146881288
Legal	16-D-6 ATLANTIC ST 94-98
	4594 SF

Valuation Information

Land	Building	Total
\$34,440	\$ 0.00	\$34,440

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
		0	0	0
Total Acres	Total Buildings Sq. Ft.	Structure Type	Building Name	
0.105	0			

Exterior/Interior Information

Section	Levels	Size	Use
---------	--------	------	-----

Height	Walls	Heating	A/C
--------	-------	---------	-----

1964 - 7 family Apt house Demolished.

Building Other Features

Line	Structure Type	Identical Units
1973	Approved for a parking lot - 2 BA + 5B 1/3	

MAP #16





APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 16, 1964

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 11-1 Atlantic St. Within Fire Limits? _____ Dist. No. _____
Owner's name and address Portland General Authority, 361 Congress St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address S. A. S. Equip. Co., Inc., 1018 Stuyvesant Ave., Telephone _____
Architect _____ Specifications Union, Plans No. of sheets _____
Proposed use of building _____ No. families _____
Last use 112, 10432 No. families 2
Material Brick No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____
Estimated cost \$ _____ Fee \$ _____

General Description of New Work

to demolish existing 1. story frame dwelling

Do you agree to tightly and permanently close all sewers or drains connecting with public or private sewers from this building, under supervision and approval of Dept. of Public Works? yes

Charles T. ... 6/17/64

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** contractor

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height ave. grade to top of plate _____ Height average grade to highest point of roof _____
_____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing Lumber—Kind _____ Dressed or full size? _____ Corner posts _____ Sills _____
Size Girder _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot. _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

OK-6/19/64-ags

Miscellaneous

Will work require disturbing of any tree on a public street? _____
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes
S. A. S. Equipment Co., Inc.

92-98 Atlantic Street

June 5, 1973

George W. Lane, Jr.
47 Pine Point Road
Scarborough

Dear Mr. Lane:

Your request to establish a parking lot at the above named location was approved by the Board of Appeals on May 31, 1973. We can give you the right to proceed with work on this lot as soon as the fee for a certificate of occupancy is paid for here at this office.

Very truly yours,

A. Allan Soule
Assistant Director

AAS:m

APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR USE OF PREMISES

Portland, Maine April 2, 1973

Location 92-98 Atlantic Street

Zone R6 RESIDENCE ZONE

To the INSPECTOR OF BUILDINGS, Portland, Maine

The undersigned hereby applies for a certificate of occupancy to allow the use of the above named premises for parking lot

as set forth on the attached site plan (made by owner whose address is 42 Pine St. Scarborough) to show compliance with the Zoning Ordinance according to the intended use and the zone in which the property is located; and in accordance with the following pertinent information:-

Owner (name, address and phone number) George W Lane, Jr.

Lessee (name, address and phone number) _____

Is proposed use to be accessory to a building or other use on this lot?

no. If so, what is use of building or other use _____

If off-street parking is sought, what is proposed maximum number of vehicles to be parked - passenger cars? 18, commercial vehicles 0.

Have you secured on the site plan the written approval of existing and proposed entrances to and exits from the premises for vehicles over public sidewalks by the Traffic Engineer (Dept. of Public Works)?

no And, if access to the premises is available from more than one street, have you secured similar approval by the Planning Board? only one street

Have you shown on the site plan the true location of all trees on the public street along the frontage of the premises (both streets if a corner lot)? yes

Do you propose to remove or disturb any tree on a public street? no

If so, have you secured on the site plan the written approval of the Director of Parks and Recreation? _____

Signature of Owner George W Lane, Jr.

By _____
(duly authorized thereto)

THIS IS NOT A CERTIFICATE OF OCCUPANCY

To: Appeal Sustained 5/31/73

COMMENCING the above proposes use of the premises would be IN VIOLATION of the Zoning Ordinance unless a Certificate of Occupancy is first procured from the Department of Building Inspection.

However, improvement of the premises according to the site plan and the above application may now proceed without further authorization, but subject to the conditions indicated below - notice of readiness for final inspection to be given to this department when the premises have been placed in compliance with the requirements:-

(Date) George W Lane, Jr. _____
Inspector of Buildings

12/13/72 - No parking here - Vacant lot - Hugh Irving



90 Atlantic St
built ~ 1915

2 x y 5 D 4

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	016 D008001
Location	90 ATLANTIC ST
Land Use	FIVE TO TEN FAMILY
Owner Address	WALSH EDWARD PO BOX 9739 STE 1180 PORTLAND ME 04104
Book/Page	14597/158
Legal	16-D-8 ATLANTIC ST 88-92 MONUMENT ST 19-23 5070 SF

Valuation Information

Land	Building	Total
\$37,590	\$107,310	\$144,900

Building Information --

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
	1915		4350	1
Total Acres	Total Buildings Sq. Ft.	Structure Type	Building Name	
0.116	4350	MIXED RES/COMM		

Exterior/Interior Information

Section	Levels	Size	Use
1	B1/B1	1290	UNFINISHED RES BSMT
1	01/01	1290	MULTI-USE APARTMENT
1	02/02	1290	MULTI-USE APARTMENT
1	A1/A1	1200	MULTI-USE APARTMENT

Height	Walls	Heating	A/C
6			
8	FRAME	HOT AIR	
8	FRAME	HOT AIR	
4	FRAME	HOT AIR	

Building Other Features

Line	Structure Type	Identical Units
2	PORCH - COVERED	1
2	PORCH - COVERED	1
2	PORCH - COVERED	1
3	PORCH - COVERED UPPER	1

SHORT FORM WARRANTY DEED

Ed Walsh, of 147 Deepwood Drive, Portland, Maine, FOR CONSIDERATION PAID, grants to Ed Walsh and Karen M. Walsh, of 147 Deepwood Drive, Portland, Maine, with WARRANTY COVENANTS, the following described real property located in the City of Portland, County of Cumberland and State of Maine:

A certain lot or parcel of land, with any improvements thereon, situated on the southwesterly sideline of Atlantic Street adjoining the northwesterly sideline of land now or formerly of Samuel Segal and Rose Segal, in the City of Portland, County of Cumberland and State of Maine, and being more particularly described as follows:

Beginning at a point on the southwesterly sideline of Atlantic Street, said point being distant forty-one and 9/10 (41.9) feet, more or less, northwesterly from the intersection formed by the southwesterly sideline of Atlantic Street and the northwesterly sideline of Monument Street; said point also marking the southeasterly corner of land of said Samuel Segal et al; thence

In a southwesterly direction on a course at right angles with Atlantic Street by the northwesterly sideline of land of said Samuel Segal et al., a distance of seventy (70) feet, more or less, to land now or formerly of Robert S. Morrow and Mary V. Morrow; thence

Northwesterly by the easterly sideline of land of said Robert S. Morrow et al., a distance of eighty-eight (88) feet, more or less, to land now or formerly of Michael DeCourcey and Catherine E. DeCourcey; thence

Northeasterly by the southeasterly sideline of land of said Michael DeCourcey et al and by land now or formerly of Mariana Nanos, a distance of seventy (70) feet, more or less, to the southwesterly sideline of Atlantic Street; thence

Southeasterly by the southwesterly sideline of Atlantic Street, a distance of ninety (90) feet and seven (7) inches, more or less, to land of Samuel Segal et al and the point of beginning.

Also, all right, title and interest, if any, in and to all passageways, lanes, streets or alleys adjoining, abutting and/or running with the above described premises

The above described premises are conveyed subject to the following restrictions, covenants and agreements as set forth in a deed from Samuel Segal and Rose Segal to George W. Lane, Jr., and Pauline N. Lane, dated October 5, 1972 and recorded in the Cumberland County Registry of Deeds in Book 3308, Page 40. Specific mention is made to condition number 4 in said deed which requires the following language:

"This conveyance is subject to all to all of the restrictions, covenants and agreements contained in the Indenture by which said premises were conveyed to Samuel Segal and Rose Segal by Portland, Renewal Authority. The foregoing, as all the other covenants, contained in the aforesaid Indenture to Samuel Segal and Rose Segal from Portland Renewal Authority shall be a covenant running with the land and shall be enforceable in the same manner as prescribed in the said Indenture for the enforcement of the covenants therein contained."

The above described premises are also conveyed together with and subject to matters set forth in an Easement Deed from George W. Lane, Jr., to New England Telephone and Telegraph Company, dated December 6, 1988 and recorded in the said Registry of Deeds in Book 14382, Page 275.

Excepting herefrom two certain lots or parcels of land as described in a deed from George W. Lane, Jr., to Robert C. Parish and Kathleen M. Woods, dated May 6, 1982 and recorded in the Cumberland County Registry of Deeds in Book 4953, Page 112.

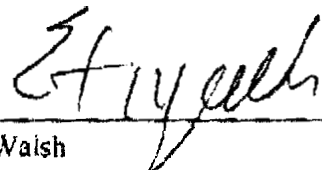
The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantees herein, by acceptance of this deed, assume and agree to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantor herein by deed of Samuel Segal and Rose Segal, dated October 5, 1972 and recorded in the Cumberland County Registry of Deeds in Book 3308, Page 40.

WITNESS our hands and seals this 8th day of October, 2003.

WITNESS



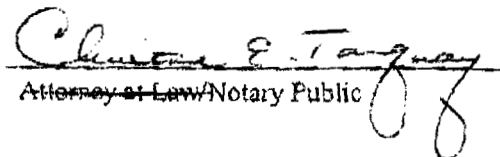
Ed Walsh

STATE OF MAINE
County of Cumberland, ss

October 8, 2003

Personally appeared the above named Ed Walsh and acknowledged the foregoing instrument to be their free act and deed.

Before me



Attorney at Law/Notary Public

CHRISTINE E. TANGUAY
NOTARY PUBLIC, MAINE
MY COMMISSION EXPIRES
OCTOBER 4, 2005

SAMStoddard-IREALCLIENT\W\Walsh.101705ad and karen.devel.wpd

From: Marge Schmuckal
To: Sarah Hopkins
Date: Tue, ~~Oct~~ 1, 2002 2:46 PM
Subject: 94-98 Atlantic Street

This new 3 unit building shall require a subdivision review.

This property is primarily located within the R-6 residential zone. There is a small portion of the B-1 zone along the right hand side of the lot. R-6 is the controlling zone for this full residential use.

All dimensional requirements are being met. Although I do not have scaled plans, I am confident that the 50% lot coverage provision is being met. On submitted plan A I.0 only 4 parking spaces are shown. This development is required to show 6 parking spaces. The parking requirements must be met.

Marge Schmuckal
Zoning Administrator
10/1/02

Location of Construction: 94 Atlantic St	Owner Name: Bell Atlantic	Owner Address: Po Box 152206	Phone: 207-781-2071
Business Name: n/a	Contractor Name: Kennedy & Walsh Const.	Contractor Address: 91 Johnson Rd Falmouth	Phone: (207) 781-2071
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	

I have reviewed the submittal dated 11/20/02 and offer the following comments:

1. Sheet S-1, Site Plan does not specify all of the existing utilities in Atlantic Street. Namely, the City's 18 inch brick barrel shaped sanitary sewer is still not specified.
2. The Final Site Plan does not specify any proposed utilities servicing the apartment building development, specifically gas, water or sanitary sewer. The only utility specified is a the overhead electric.
3. The applicant must demonstrate available utility capacity to the site through utility capacity letters.
4. The driveway taper, as defined in the City's Technical Specifications, must begin at the street gutter and continue in a straight line to the property line. The proposed driveway entrance on the Final Site Plan does not reflect this requirement.
5. The construction excavation limits resulting from the utility service connections and installation of new curbing, in Atlantic Street, must be specified on the plans.
6. A construction detail specifying the proposed sanitary sewer main connection must appear on the plans.

PUBLIC WORKS ENGINEERING REVIEW ...1/22/03

1. The proposed driveway entrance still does not conform the City's layout requirement. As stated in the previous, 12/09/02 review, the driveway taper should begin at the street gutterline and continue in a straight line terminating at the right of way boundary. The driveway opening should be a total of four (4) feet wider at the gutter than at the property line. This requirement is defined in the City's Technical Specifications.

The applicant's engineer has satisfied the other issues outlined in previous reviews.

Dept: Fire **Status:** Approved **Reviewer:** Lt. McDougall **Approval Date:** 01/22/2003
Note: **Ok to Issue:** ☒

Comments:

6/28/2005-gg: received pdf file with application. /gg

7/26/2005-mjn: Emailed the Designer with the following message also left a message with the applicant:

"The plans lack Certification forms, Geotechnical review, Statement of Special Inspections, as well as a number of critical details." I cannot commence the review. MJN

Mike Nugent - 94 Atlantic St.

From: Mike Nugent
To: Kmwalsh@maine.rr.com
Subject: 94 Atlantic St.

I have commenced the review of permit # 050842 and need the following to continue:

Done
 1) Page "3" of the Certification forms is incomplete, also the seismic design category is submitted as "B" which is not normal in our area, please provide a justification. The floor of common areas is not submitted at 100 psf.

Done
 2) There is no statement of Special Inspections.

OK
 3) ~~First floor girder is under designed.~~

4) ~~No details are provided for the exterior porches~~

QUESTION ON SIGNATURES ETC.

5) The stairs from the second to third floors (within the unit) must have a nosing .

6) The roof system load path is not well defined. Also the pitch is such that it needs to be designed in accordance with section 7.3 of ASCE 7.

7) Need a fire separation assembly penetration protection plan.

8) There is no basement stair detail

9) Is the basement Fire Rated?

10) Sprinklers? *NFPA 13A*

11) Rated wall needs to extend and include the remainder of the common hall on the second floor.

12) Need Door schedule and window schedule

13) what is the spacing of the anchor bolts in the foundation and how far from the corners?

14) Third floor Ceiling must be rated as fire separation wall does not extend to the under side of the roof sheathing. All penetrations must be protected.

16) Dampproofing on foundation?

17) The building faces that abut the existing masonry building must be constructed in accordance with section 704.3 please provide a code compliance summary.

18) The building plans do not match the site plan , there is no stairway on the northeast side of the siteplan, but there is on page A.1.1 of the building plans. There is on one but not on the other, I need Zoning to check in!

19) Handrail and guardrail details?

20) Detail for the architectural soffit decoration.

21) Need mechanical plans for all vents/hvac installations etc.

22) Because there is no spec book, many standards are absent weather tightness of the building envelope, Fire class of the roof covering, flame and smoke development of interior finishes.

23) An energy conservation assessment , establishing compliance with the 2003 IECC must be submitted.

These comments are based on a partial plan review.

Thanks

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767.4830
Fax: (207) 7945432

STATEMENT OF SPECIAL INSPECTIONS

PROJECT: Atlantic Street Apartments
LOCATION: 94-98 Atlantic Street - Portland, Maine
DATE: 10/18/05
PERMIT APPLICANT: Karen & Ed Walsh
APPLICANTS ADDRESS, 91 Johnson Road, Falmouth, Maine 04105

STRUCTURAL ENGINEER OF RECORD: Joseph H. Leasure, P.E. L&L Structural Engineering Services, Inc.
Name Firm

ARCHITECT OF RECORD: James Sterling James Sterling Architects
Name Firm

This Statement of Special Inspections is submitted in accordance with **CHAPTER 17** of the 2003 International Building Code (IBC 2003). It includes a listing of special inspections applicable to this project, as well as, the name of the Special Inspector, and the names of other agencies intended to be retained for conducting these inspections.

The special inspector shall keep records of all inspections listed herein, and shall furnish inspection reports to the Code Official and to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction. If the discrepancies are not corrected the discrepancies shall be brought to the attention of the Code Official and the Registered Design Professional of Record. Interim reports shall be submitted to the Code Official and Registered Design Professional of Record monthly, unless more frequent submissions are requested by the Code Official.

Job site safety is solely the responsibility of the Contractor. Materials and activities to be inspected are not to include the Contractor's equipment and methods used to erect or install the materials listed. The special inspections on this project shall be provided by: S.W. Cole Engineering (Agent #1) and the Open Web Timber Truss Manufacturer (Agent #2).

Prepared BY:

Joseph H. Leasure, P.E.
NAME

SIGNATURE

DATE

Applicant's Authorization:

Karen M. Walsh 10/18/05
SIGNATURE DATE

Building Code Official;

SIGNATURE

DATE

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-in-Training – a graduate engineer who has passed &hFundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician – Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician – Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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Other

Schedule of Inspection and Testing Agencies

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
	<i>L&L Structural Engineering Services, Inc.</i>	<i>Six Q Street South Portland, Maine 04106 Tel: (207) 767-4830 Fax: (207) 799-5432</i>
2. Inspector #1	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Gray, Maine 04039-9586 Tel. (207) 657-2886 Fax (207) 657-2840</i>
3. Inspector #2		
4. Testing Agency	<i>S.W. Cole Engineering</i>	<i>286 Portland Road Fax (207) 657-2840</i>
5. Testing Agency		
6. Other		

Quality Assurance Pbn

Quality Assurance for Seismic Resistance

Seismic Design Category	Sire Class
Quality Assurance Plan Required (Y/N)	Y

Description of seismic force resisting system and designated seismic systems:
The Seismic resisting system consists of light framed shear walls (exterior sheathing). The system used transfers lateral loads around windows utilizing the strength of the plywood panels.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust)	100 mph
Wind Exposure Category	B
Quality Assurance Plan Required (Y/N)	N

Description of wind force resisting system and designated wind resisting components:
The Seismic resisting system consists of light framed shear walls (exterior sheathing). The system used transfers lateral loads around windows utilizing the strength of the plywood panels.

The Quality assurance plan is not required per IBC 2003, 1706.1.1. paragraph 1.

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above shall submit a Statement of Responsibility to the Engineer of Record for distribution in accordance with the requirements of IBC 2003, Section 1705.3.

FROM DESIGNER: JAMES STEELING ARCH.
 DATE: 9/9/05 (REVISED 10/18/05)
 Job Name: ATLANTIC STREET APARTMENTS
 Address of Construction: ATLANTIC STREET, PORTLAND, MAINE

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year IBC 2003 Use Group Classification(s) _____

Type of Construction _____

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC _____

Is the Structure mixed use? _____ If yes, separated or not separated (see Section 303.5) _____

Supervisory alarm system? _____ Geotechnical/Soils report required? (See Section 1803.3) NO

STRUCTURAL DESIGN CALCULATIONS

YES Submitted by all structural members (1001.1, 1001.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS (1002)

Uniformly distributed floor live loads (1002.1.1, 1007)

Floor Area Use	Loads Shown
<u>RESIDENTIAL</u>	<u>40 PSF</u>
<u>PUBLIC STAIRS & CORR.</u>	<u>100 PSF</u>
_____	_____
_____	_____
_____	_____

Wind loads (1002.1.4, 1009)

1609.6 Design option utilized (1002.1.1, 1009.4)

100 MPH Basic wind speed (1009.4)

1.0 Exposure category and wind importance factor, I (1009.4, 1009.6)

B Wind exposure category (1009.4)

4/0.18 Structural pressure coefficient (ASCE 7)

17.2/-18.7 Design wind pressures (1009.4, 1009.6)

10.5/15.9 Mean top wind pressures (1009.1.1, 1009.6.7)

Seismic design data (1002.1.4, 1014 - 1018)

SECT. 1415/1216 Design option utilized (1014.1)

I/C Seismic use group (1014.1) (1014.2, 1014.3)

0.31/0.16 Seismic response coefficients, R and C_u (1014.1)

D Seismic design category (1014.2)

NA

Live load reduction (1002.1.1, 1007.4, 1007.10)

42 PSF

Floor live loads (1002.1.1, 1007.11)

Roof snow loads (1002.1.4, 1009)

60 PSF

Roof snow loads, S (1002.1)

42 PSF

If $S \geq 10$ psf, flat-roof snow load, S_f (1002.1)

1.0

If $S \geq 10$ psf, snow maximum factor, C_e (Table 1002.1.1)

1.0

If $S \geq 10$ psf, snow load importance factor, I_s (Table 1002.1.1)

1.0

Roof thermal factor, C_t (Table 1002.1.1)

1.0

Shaped roof snow load, S_s (1002.1.1)

C

Seismic design category (1014.2)

K

Basic seismic force-resisting system (Table 1014.2.1)

6 1/2 / 4

Response modification coefficient, R , and damping amplification factor, C_d (Table 1017.2.1)

1016.6

Analysis procedure (1016.4, 1017.4)

0.057

Design base shear (1017.4, 1017.5.1)

Flood loads (1002.1.4, 1019)

Flood hazard area (1019.2)

Elevation of structure

Other loads

NA

Concentrated loads (1007.4)

NA

Partition loads (1007.4)

NA

Impact loads (1007.5)

NA

Wind loads (Table 1007.4, 1007.5.1, 1007.5.2, 1007.10, 1007.11, 1014, 1017.2.1)