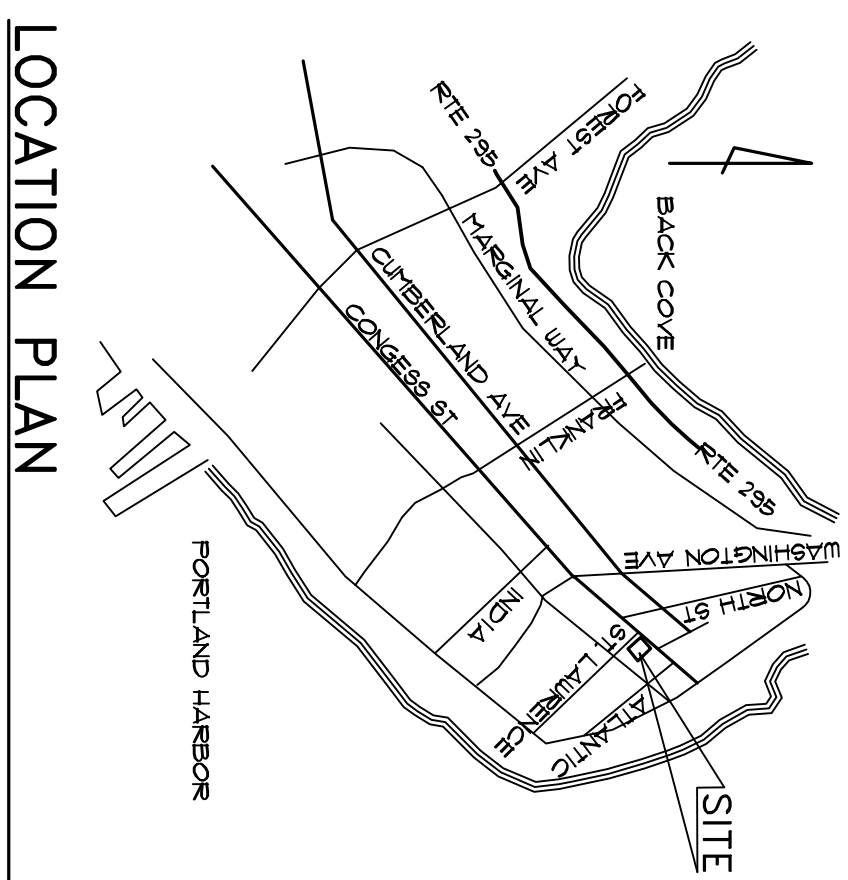
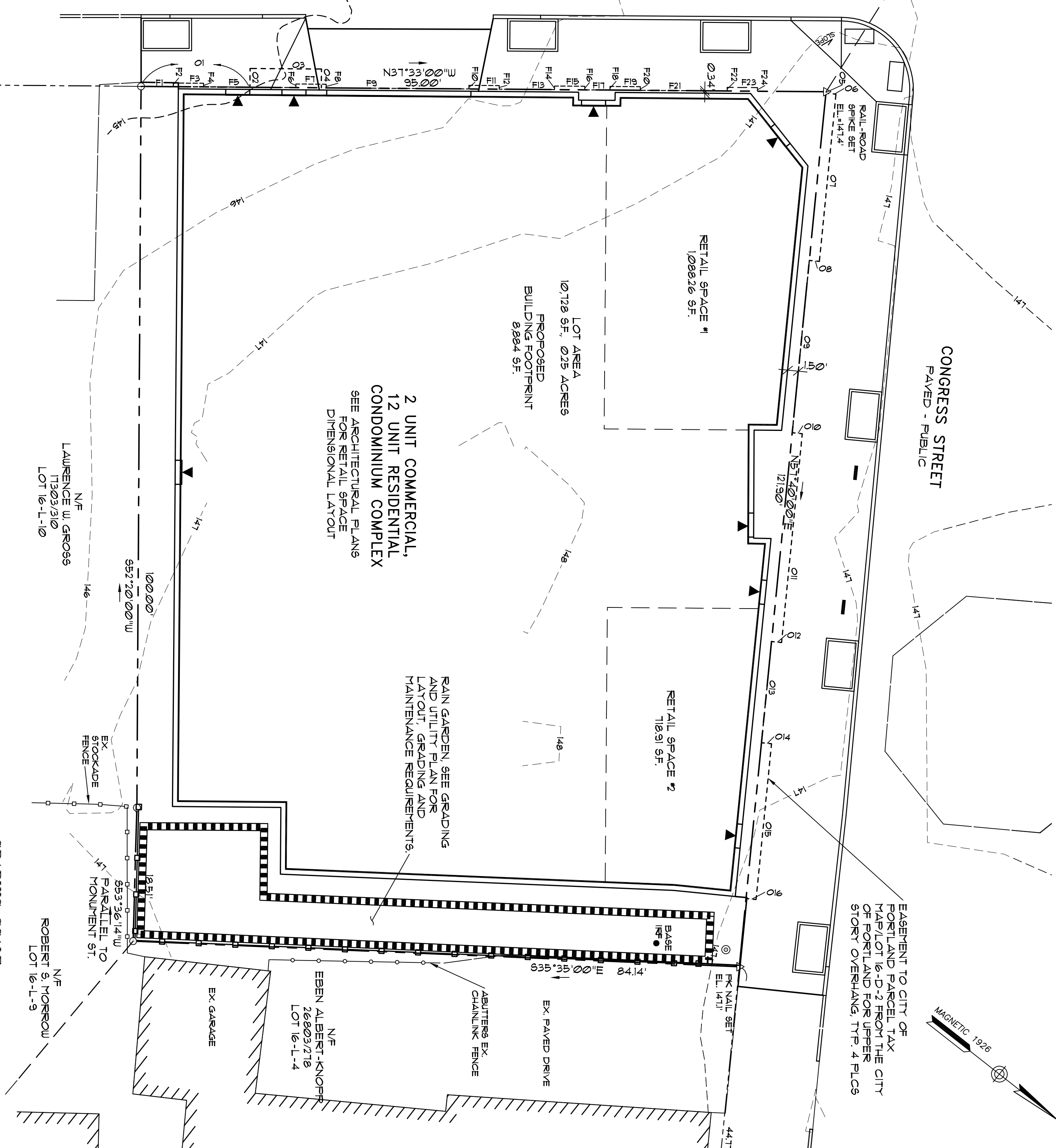


PUBLIC OFFERING STATEMENT
118 ON MUNJOY HILL, A CONDOMINIUM
EXHIBIT A
SUBDIVISION OF PLAT APPROVED 1/28/14



SUBDIVISION CONDITIONS OF APPROVAL

ST. LAWRENCE STREET
PAVED - PUBLIC



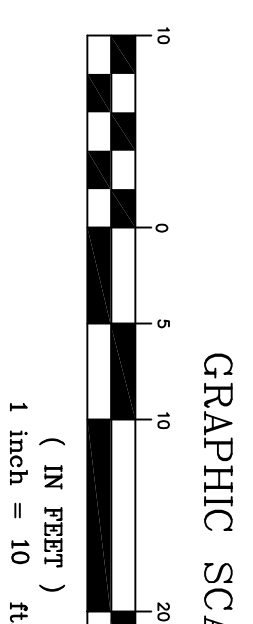
FOOTING EASEMENT DESCRIPTIONS

LINE	BEARING	DISTANCE
F1	N 31°33'00" W	4.41'
F2	S 52°21'00" W	0.50'
F3	N 31°33'00" W	4.20'
F4	N 52°21'00" E	0.50'
F5	N 31°33'00" W	0.50'
F6	S 52°21'00" W	0.50'
F7	N 31°33'00" W	4.20'
F8	S 52°21'00" E	0.50'
F9	N 31°33'00" W	19.80'
F10	S 52°21'00" W	0.50'
F11	N 31°33'00" W	4.20'
F12	N 52°21'00" E	1.67'
F13	S 52°21'00" W	0.50'
F14	N 31°33'00" W	4.20'
F15	N 52°21'00" E	0.50'
F16	N 31°33'00" E	0.50'
F17	N 31°33'00" W	0.50'
F18	S 52°21'00" W	4.20'
F19	N 31°33'00" W	0.50'
F20	S 52°21'00" E	4.20'
F21	N 31°33'00" E	0.50'
F22	S 52°21'00" W	16.05'
F23	S 52°21'00" W	4.20'
F24	N 31°33'00" E	0.50'

OVERHANG EASEMENT DESCRIPTIONS

LINE	BEARING	DISTANCE
O1	N 31°33'00" W	15.00'
O2	S 52°21'00" W	2.60'
O3	N 31°33'00" W	9.90'
O4	N 52°21'00" E	2.60'
O5	N 31°33'00" E	0.20'
O6	N 52°21'00" W	1.40'
O7	N 31°33'00" W	23.30'
O8	S 52°21'00" E	1.40'
O9	N 31°33'00" W	2.40'
O10	N 52°21'00" W	1.40'
O11	N 31°33'00" E	29.10'
O12	N 52°21'00" E	1.40'
O13	N 31°33'00" E	1.40'
O14	N 52°21'00" W	1.40'
O15	N 31°33'00" W	21.70'
O16	S 52°21'00" E	1.40'

ZONE INFORMATION



EXISTING ZONE: B-1, NEIGHBORHOOD BUSINESS ZONE
PROPOSED ZONE: B-1 WITH A ZONING AMENDMENT REQUEST FOR PROPOSED USE: COMMERCIAL SPACE AND MULTIFAMILY DWELLINGS

REQUIREMENT	PROVIDED
SPACE STANDARDS	REQUIRED
MINIMUM LOT SIZE	NONE
MINIMUM STREET FRONTAGE	50 FEET
MINIMUM FRONT YARD	15 FEET
MINIMUM REAR YARD	5.3 FEET
MINIMUM SIDE YARD	NONE
MINIMUM SIDE YARD ON A SIDE STREET	10 FEET MAX.
MINIMUM LOT WIDTH	NONE
MINIMUM BUILDING HEIGHT	45 FEET
MAXIMUM IMPERVIOUS SURFACE RATIO	90%
FLOOR AREA	10,000 SQ. FT. MAX.
MINIMUM AREA PER DWELLING UNIT	435 SQ. FT.
OFF STREET PARKING	1 SPACE PER UNIT

GENERAL NOTES

- OWNER, EHT LLC, 118 CONGRESS STREET, PORTLAND MAINE 04101 DEED RECORDED IN THE CLERK AND COUNTY REGISTER OF DEEDS BK 1416, PG 214, DATED SEPTEMBER 10, 1999.
- DEVELOPER, 118 CONDOMINIUMS, LLC, 118 CONGRESS STREET, PORTLAND, MAINE 04101.
- ENGINEER, PINKHAM & GREENS CONSULTING ENGINEERS, 28 VANNAH AVENUE, PORTLAND, MAINE, 04102.
- ARCHITECT, ARCHITECTURE ARCHITECTS, 48 UNION SQUARE, PORTLAND, MAINE 04101.
- TOPOGRAPHIC AND BOUNDARY INFORMATION, QUEN HASKELL, INC. 390 US ROUTE ONE, FALMOUTH, MAINE, BENCHMARK: CITY DATUM, BASED ON MON. AT NORTHEAST CORNER OF NORTH AND CONGRESS STREETS, ELEV. 146.65'.
- SOILS MAPPING TAKEN FROM SOIL CONSERVATION STUDY OF CLARENDON AND COUNTY AND CLASSIFIED AS HINCKLEY (H1B) GRAVELLY SANDY LOAM, 3-8% SLOPES, HYDROLOGICAL GROUP "A1".
- TAX MAP REFERENCE: MAP 16 / BLOCK D / LOT 2.
- TOTAL PARCEL = 0.25 acres
- CALL DIG-DATE PRIOR TO COMMENCING WORK 1-800-DIG-DATE.
- ALL WORK WITHIN THE RIGHT OF WAY IS TO MEET CITY OF PORTLAND STANDARDS.
- UNITS TO BE SERVICED BY PUBLIC WATER AND SEWER THESE SERVICES, INCLUDING EXISTING HYDRANTS, ARE AS SHOWN ON SHEET C14, GRADING AND UTILITIES PLAN.
- POLES, TELEPHONE AND CABLE SERVICES ARE TO BE UNDERGROUND. THESE SERVICES ARE SHOWN ON SHEET C14, GRADING AND UTILITIES PLAN.
- EXISTING UTILITIES, INCLUDING SIZE AND VERTICAL AND HORIZONTAL LOCATION, ARE SHOWN ON SHEET C14, GRADING AND UTILITIES PLAN.
- THERE ARE NO APPARENT ON-SITE EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING THE SUBJECT PROPERTY.
- NO HISTORIC SITES OR STRUCTURES ON OR ADJACENT TO THIS SITE APPEAR ON OR ARE NOTATED TO THE NATIONAL REGISTER.
- PROPOSED PARKING SPACES: 18 INTERIOR SPACES.
- THE SUBJECT PARCEL, SHOWN AS 118 CONGRESS STREET IS SUBJECT TO THE CITY OF PORTLAND TIER III SITE PLAN SUBDIVISION PERMIT APPLICATION, APPROVAL DATE OF 2013.
- REFER TO THE 118 ON MUNJOY HILL CONDOMINIUM DOCUMENTS FOR FURTHER INFORMATION REGARDING THE MAINTENANCE AND DESCRIPTION OF COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS RECORDED IN THE CORD BOOK, PAGE
- REQUIRED STREET TREES ARE INCLUDED ON THE LANDSCAPE PLAN AS PART OF THE APPROVAL FOR 118 ON MUNJOY HILL SITE PLAN.
- FLOODPLAIN: THIS PROPERTY SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL 220051 0014 A EFFECTIVE DATE JULY 17, 1986. IT IS NOT IN A SPECIAL FLOOD HAZARD ZONE.
- THIS PROJECT COMPLIES WITH CONDITIONS OF PORTLAND CODE OF ORDINANCES, CHAPTER 32 STORMWATER INCLUDING ARTICLE III, POST-CONSTRUCTION STORMWATER MANAGEMENT THE CREDITABLE STORMWATER MANAGEMENT PERMANENT FUND SEDIMENT, EROSION CONTROL PLAN BASED ON CITY STANDARDS AND STATE GUIDELINES. SEE SHEET C14, GRADING AND UTILITIES PLAN FOR THE LIST OF INSPECTION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES REQUIREMENTS.

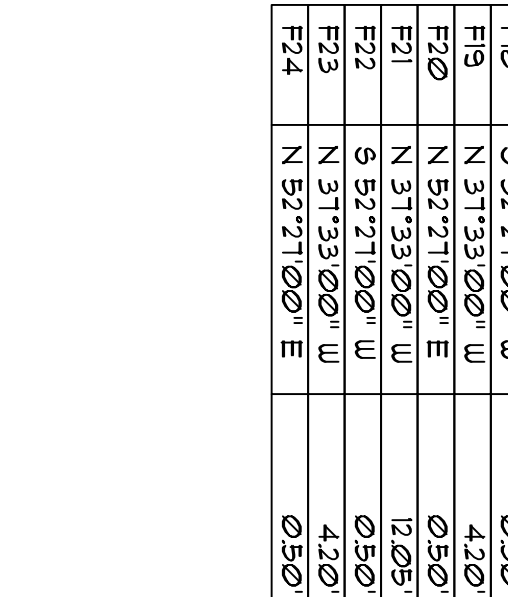
SURVEY NOTES

- OWNER OF RECORD: EHT LLC, 118 CONGRESS STREET, PORTLAND, MAINE 04101, C.C.R.D. BOOK 1416, PAGE 214.
- LOCUS IS SHOWN AS LOT 16-D-2 ON THE CITY OF PORTLAND 445959096 MAPS.
- BEARINGS ARE MAGNETIC 1926 PER PLAN REFERENCE 2.
- ELEVATIONS ARE BASED ON CITY DATUM, BASED ON MON. AT NORTHEAST CORNER OF NORTH AND CONGRESS STREETS, ELEV. 146.65'.

PLAN REFERENCES

- "PLAN OF LAND IN PORTLAND, MAINE, SURVEYED FOR STANDARD OIL COMPANY OF NEW YORK" DEC. 1926 BY E.C. JORDAN CO.
- CITY WORKING PLANS 25, 140, 148, 1 DATED 1924 AND 1925.
- STANDARD BOUNDARY SURVEY ON 118 CONGRESS STREET, PORTLAND, MAINE, RECORD FOR UTILITIES PLANS, PINKHAM & GREENS, JULY 15, 1999 QUEN HASKELL, INC., REVISED 10-31-13.

LEGEND



REV.	DATE	DESCRIPTION	DATE
4			
3	1/27/14	50% PRICING SET	
2	1/13/14	REV'D PER STAFF REVIEW	
1	1/2/14	REVISED LAYOUT, ADDED GARDEN	

118 CONDOMINIUMS, LLC
118 CONGRESS STREET, PORTLAND ME
118 on MUNJOY HILL
118 CONGRESS STREET, PORTLAND, ME

PINKHAM & GREENS
CONSULTING ENGINEERS
PORTLAND, MAINE

SUBDIVISION RECORDING PLAT

SCALE: AS SHOWN DRN BY: JDC
DATE: NOVEMBER 13, 2013 DESG BY: TSG
PROJECT: 13143 CHK BY:

C1.0