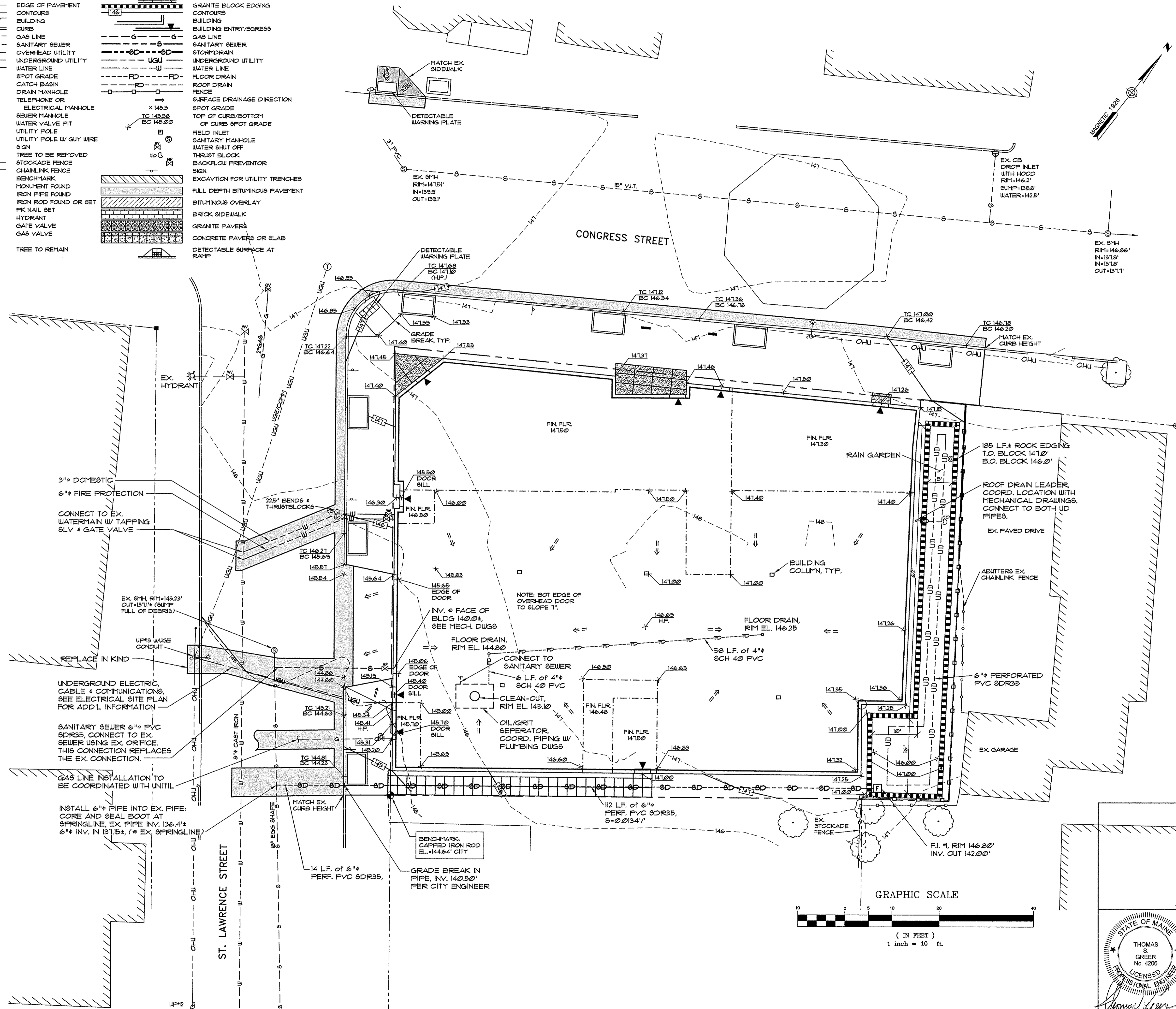


LEGEND

EXISTING	PROPOSED
PROPERTY LINE	EDGE OF PAVEMENT
BUILDING SETBACK	VERTICAL GRANITE CURB
ABUTTERS PROPERTY	GRADE BREAKS IN SIDEWALKS
EDGE OF PAVEMENT	GRANITE BLOCK EDGING
CONTOURS	CONTOURS
BUILDING	BUILDING
CURB	BUILDING ENTRY/EGRESS
GAS LINE	GAS LINE
SANITARY SEWER	SANITARY SEWER
OVERHEAD UTILITY	STORM DRAIN
UNDERGROUND UTILITY	UNDERGROUND UTILITY
WATER LINE	FLOOR DRAIN
SPOT GRADE	ROOF DRAIN
CATCH BASIN	FENCE
DRAIN MANHOLE	SURFACE DRAINAGE DIRECTION
TELEPHONE OR ELECTRICAL MANHOLE	SPOT GRADE
SEWER MANHOLE	TOP OF CURB/BOTTOM OF CURB SPOT GRADE
WATER VALVE PIT	FIELD INLET
UTILITY POLE W/ GUY WIRE	SANITARY MANHOLE
SIGN	WATER SHUT OFF
TREE TO BE REMOVED	THRUST BLOCK
STOCKADE FENCE	BACKFLOW PREVENTOR
CHAINLINK FENCE	SIGN
BENCHMARK	EXCAVATION FOR UTILITY TRENCHES
MONUMENT FOUND	FULL DEPTH BITUMINOUS PAVEMENT
IRON PIPE FOUND	BITUMINOUS OVERLAY
IRON ROD FOUND OR SET	BRICK SIDEWALK
PK NAIL SET	GRANITE PAVERS
HYDRANT	CONCRETE PAVERS OR SLAB
GATE VALVE	DETECTABLE SURFACE AT RAMP
GAS VALVE	
TREE TO REMAIN	



INSPECTION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES

POST CONSTRUCTION MONITORING:

THE CONDOMINIUM ASSOCIATION IS REQUIRED TO HIRE A QUALIFIED POST CONSTRUCTION STORMWATER INSPECTOR TO INSPECT THE STORMWATER SYSTEM ON AN ANNUAL BASIS. THIS INCLUDES THE INSPECTION OF THE GARDEN, FIELD INLET, AND ROOF DRAINS, IN ACCORDANCE WITH SECTION 32-38 OF THE CITY'S ORDINANCE.

BASED ON THE INSPECTION, THE OWNERS SHALL TAKE CORRECTIVE ACTION ON ANY SYSTEMS REQUIRING MAINTENANCE. A RECORD OF ALL INSPECTIONS AND CORRECTIVE ACTION MUST BE KEPT.

REPORTING: ON OR BEFORE JUNE 30TH OF EVERY YEAR THE QUALIFIED INSPECTOR SHALL FILE A REPORT WITH DPB, OF THE CITY, NOTING THE SYSTEM'S CONDITION AND ANY MAINTENANCE OR CORRECTIVE ACTION THAT HAS BEEN TAKEN.

RAIN GARDEN:

INFILTRATION IMPOUNDMENTS ARE DESIGNED TO TEMPORARILY STORE RUNOFF AND RELEASE IT AT A CONTROLLED RATE. THE RAIN GARDEN FOR 118 CONGRESS IS DESIGNED TO INFILTRATE STORMWATER AND ATTENUATE PEAK FLOW FROM THE PROJECT.

THE INLET TO THE GARDEN IS THE ROOF DRAIN AND SHOULD BE INSPECTED ANNUALLY ON THE ROOF.

THE GARDEN SHOULD BE INSPECTED SEMI ANNUALLY FOR EROSION, DESTABILIZATION OF THE BOTTOM, SETTLING AND OTHER SIGNS OF STRUCTURAL FAILURE, AND LOSS OF STORAGE VOLUME. CORRECTIVE ACTION SHOULD BE TAKEN IMMEDIATELY UPON IDENTIFICATION OF PROBLEMS.

INSPECTION AND MAINTENANCE OF THE GARDEN IS CRITICAL TO THE LONG-TERM PERFORMANCE OF THE RAIN GARDEN. IN ADDITION TO THE INSPECTIONS AND MAINTENANCE MEASURES DESCRIBED ABOVE, THE DEPTH OF WATER IN THE GARDEN SHOULD BE MONITORED CLOSELY TO VERIFY THE PERFORMANCE CHARACTERISTICS OF THE SYSTEM. THIS IS DONE BY MEASURING HOW QUICKLY THE BASIN DE-WATERS FOLLOWING STORMS. THE RATE AT WHICH THE GARDEN DE-WATERS IS DETERMINED BY PERIODICALLY MEASURING AND RECORDING THE WATER LEVEL FOLLOWING SIGNIFICANT RAINFALL EVENTS AND THE TIME OF THE MEASUREMENTS. IT SHOULD DRAIN IN ABOUT 4 HOURS AFTER IT STOPS RAINING.

INSPECTIONS SHOULD BE DOCUMENTED ON FORMS SIMILAR TO THOSE PROVIDED IN THE STORMWATER MANAGEMENT REPORT. THE DATE AND INITIALS OF THE INSPECTOR SHOULD BE RECORDED AS WELL AS A DESCRIPTION OF CONDITIONS AND ANY REPAIR EFFORT. FOLLOWING SIGNIFICANT RAINFALL EVENTS THE WATER DEPTH AND TIMES OF THE MEASUREMENTS SHOULD ALSO BE RECORDED. THE OVERFLOW FIELD INLET SHOULD BE CHECKED FOR SEDIMENT AND CLEARED IF NECESSARY TO KEEP IT FREE DRAINING.

REV.	DATE	DESCRIPTION
7	4/17/14	SUBMITTED FOR FINAL APPROVAL
6	3/27/14	SUBMITTED FOR FINAL APPROVAL
5	2/26/14	100% CONSTRUCTION DOCUMENTS
4	1/27/14	50% PRICING SET
3	1/13/14	REV'D PER STAFF REVIEW
2	1/2/14	REVISED LAYOUT, ADDED GARDEN
1	11/19/13	REV'D GRADING FOR SIDEWALK & OVERHEAD DOOR

118 CONDOMINIUMS, LLC
118 CONGRESS STREET, PORTLAND ME

118 on MUNJOY HILL
118 CONGRESS STREET, PORTLAND, ME

PINKHAM & GREER

CONSULTING ENGINEERS
28 VANNAH AVENUE
PORTLAND, MAINE

GRADING AND UTILITIES PLAN

SCALE: AS SHOWN	DRN BY: JDC
DATE: NOVEMBER 13, 2013	DESG BY: TSG
PROJECT: 13143	CHK BY: TSG

