

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that MARKOS S MILLER

Located At 17 ATLANTIC ST

Job ID: 2012-04-3848-MF 3

CBL: 016- C-020-001

has permission to Build an 8' shed dormer on southside of the 3<sup>rd</sup> floor unit  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

*[Signature]* *5/31/12*  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-04-3848-MF 3

Located At: 17 ATLANTIC ST

CBL: 016- C-020-001

## **Conditions of Approval:**

### **Zoning**

1. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
3. This permit is being issued using section 14-436(b) allowing an 80% increase in floor area. The first floor footprint is 1531 sf. The dormer is adding 48 sf which is a 3% increase in floor area well under the 80% increase that is allowed.

### **Fire**

1. Installation shall comply with City Code Chapter 10.
2. All construction shall comply with City Code Chapter 10.
3. <http://www.portlandmaine.gov/citycode/chapter010.pdf>
4. All outstanding code violations shall be corrected prior to final inspection.
5. All smoke detectors and smoke alarms shall be photoelectric.
6. Carbon Monoxide is detection required in accordance with NFPA 720, *Standard for Installation of Carbon Monoxide (CO) Detection and Warning Equipment*, 2009 edition.
7. Notification: Two means of egress are required from every story. "MRSA Title 25 § 2453"
8. Any cutting and welding done will require a Hot Work Permit from Fire Department.

### **Building**

1. Application approval based upon information provided by applicant including revisions dated as received and email confirmation on fastening details. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Rt6 Rt6  
 Will send 2008

2012 04 3848



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 Atlantic St.</u>		
Total Square Footage of Proposed Structure/Area <u>54 <del>100</del> sqft</u>	Square Footage of Lot <u>3859</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>16      C      20</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Marcos Miller</u> Address <u>17 Atlantic St</u> City, State & Zip <u>Portland 04101</u>	Telephone: <u>807-2681</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>Multi-unit</u> Number of Residential Units <u>3</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>Residential (current use)</u>		<b>RECEIVED</b>
Is property part of a subdivision? <u>NO</u> If yes, please name _____		<b>APR 24 2012</b>
Project description: <u>8' Dormer on Southside of 3rd flr unit.</u>		9'10"?
Contractor's name: <u>Pierre Dumais</u>		Dept. of Building Inspections City of Portland Maine
Address: <u>516 Washington Ave</u>		
City, State & Zip: <u>Portland, Me 04101</u>		Telephone: <u>450-8398</u>
Who should we contact when the permit is ready: <u>M. Miller</u>		Telephone: <u>807-2681</u>
Mailing address: <u>17 Atlantic St Portland, Me 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]      Date: 4/23/12

This is not a permit; you may not commence ANY work until the permit is issued



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , BusinessName: Markos S. Miller, Check Number: 1342  
**Tender Amount:** 70.00

## Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 4/25/2012  
**Receipt Number:** 43224

## Receipt Details:

Referance ID:	6252	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-04-3848-MF 3 - 8' dormer on southside of 3rd unit			
Additional Comments: 17 Atlantic			

**Thank You for your Payment!**

**Fire Department Documentation  
City of Portland**

**16-C-20**

Markos Miller  
17 Atlantic St, Portland, ME 04101  
807-2681

Proposed 6' x 9' dormer on 3<sup>rd</sup> floor **residential unit** of 3 unit home at above address

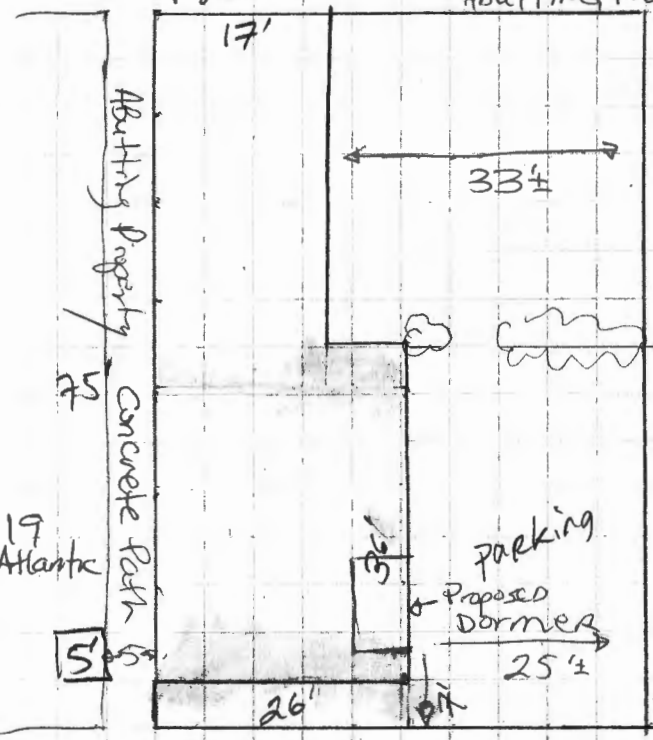
Square footage of existing structure: 4162 Sqft (3<sup>rd</sup> floor unit ~ 1100 sq ft)  
Square footage of proposed dormer addition : 54 sq ft

Existing fire protection includes:

- Fire extinguisher
- Second egress
- 90 min fire resistant doors
- 5/8" drywall

Plot Plan

ABUTTING Property



Lot and Existing Footprint

Lot & Footprint

No EXPANSION of footprint Proposed

- using section 14-436(b)  
 1st floor Footprint - 1531 sq ft  
 $80\% = 1224.8$  sq ft allowed  
 adding  $44 \times \frac{48}{1531} = 8\%$  increase

Total sqft of Lot: 3825 sqft. (3859 sqft max)

19 Atlantic

Abutting Property  
 Concrete Path

parking

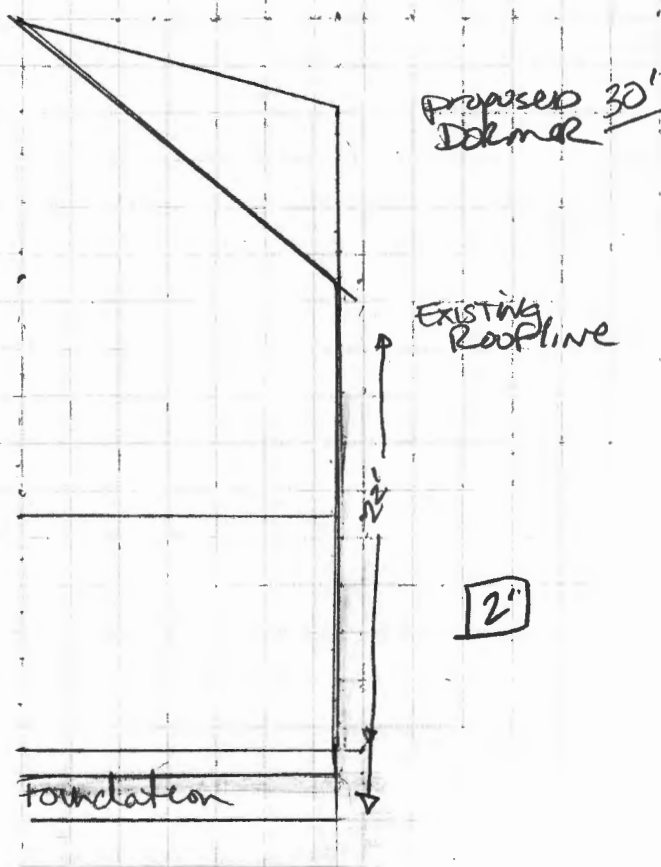
Proposed Dormer

25'

5ft Setback

Lot  
 17 ATLANTIC ST  
 016020

Elevation



Proposed 30' Dormer

EXISTING Roofline

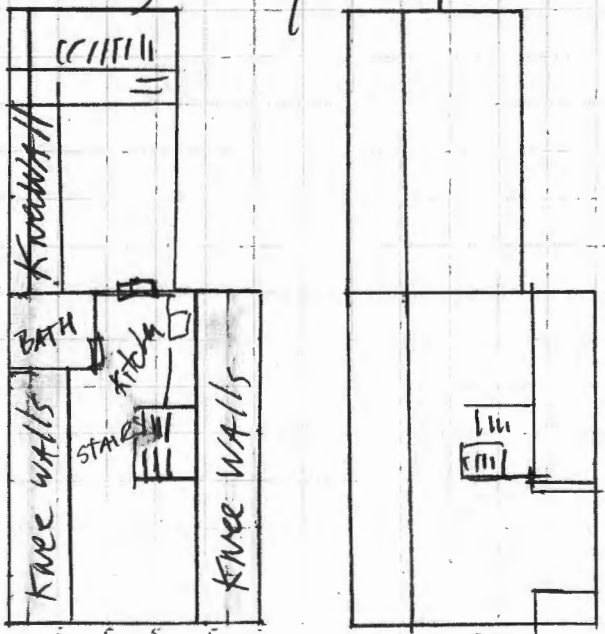
2'

foundation

Floor Plan

3rd Floor Apt / Proposed Dormer expansion  
 Floor plan EXISTING

Pool egress



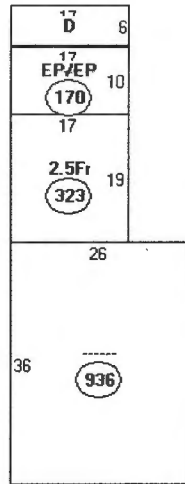
Proposed Dormer  
 6' x 8' expansion of Floor space

Property Line prop. Line to Dormer 1100 sqft to 1148 sqft



016C020

51' x 75'



Descriptor/Area	
A:-----	936 sqft
B: 2.5Fr	323 sqft
C: EP/EP	170 sqft
D:-----	102 sqft
<hr/>	
1531	1st
1531	2nd
1100	3rd
<hr/>	
TOTAL square Footage	

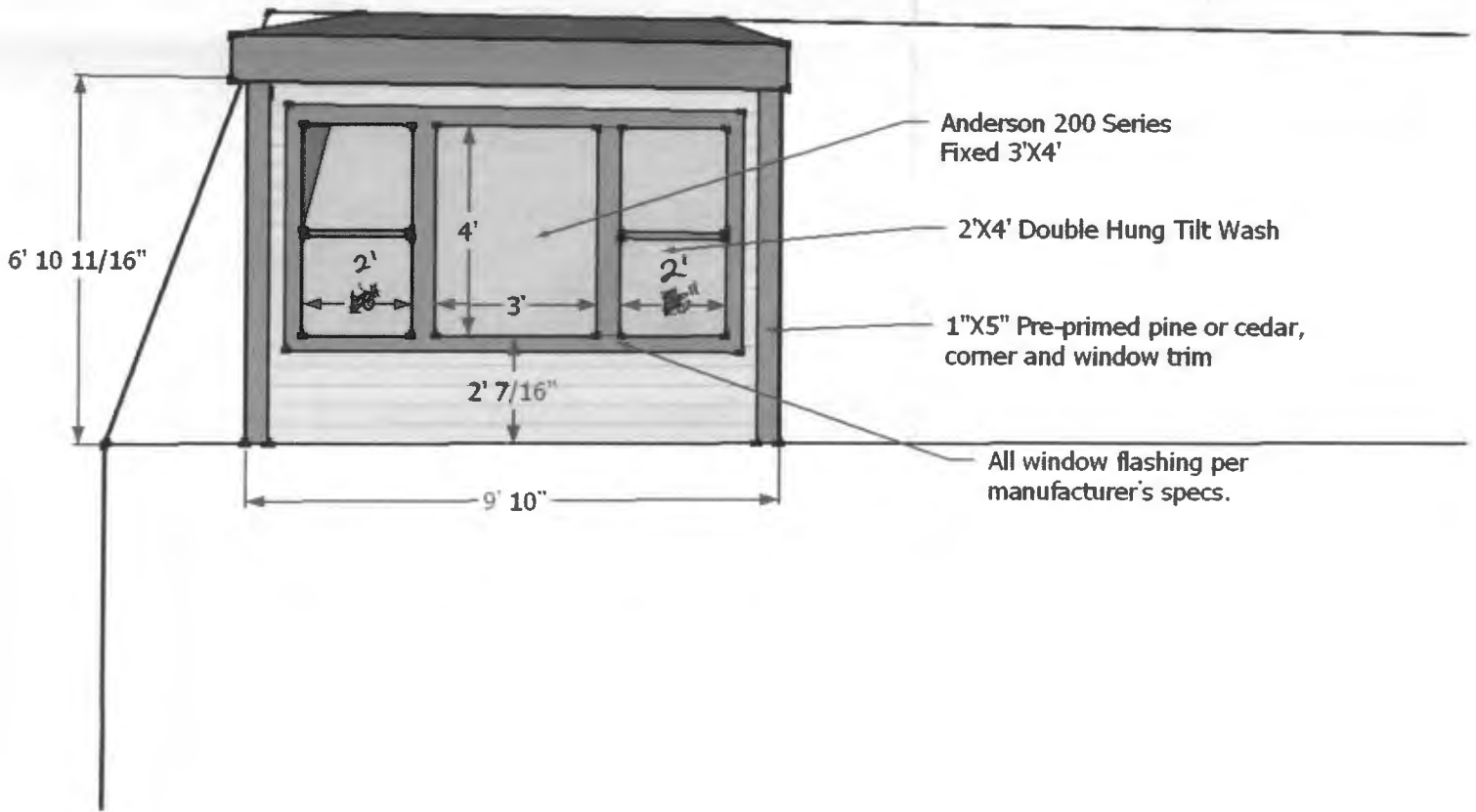
WALL insulation R-20  
 R-19 fiberglass plus wall materials (+2.7R)

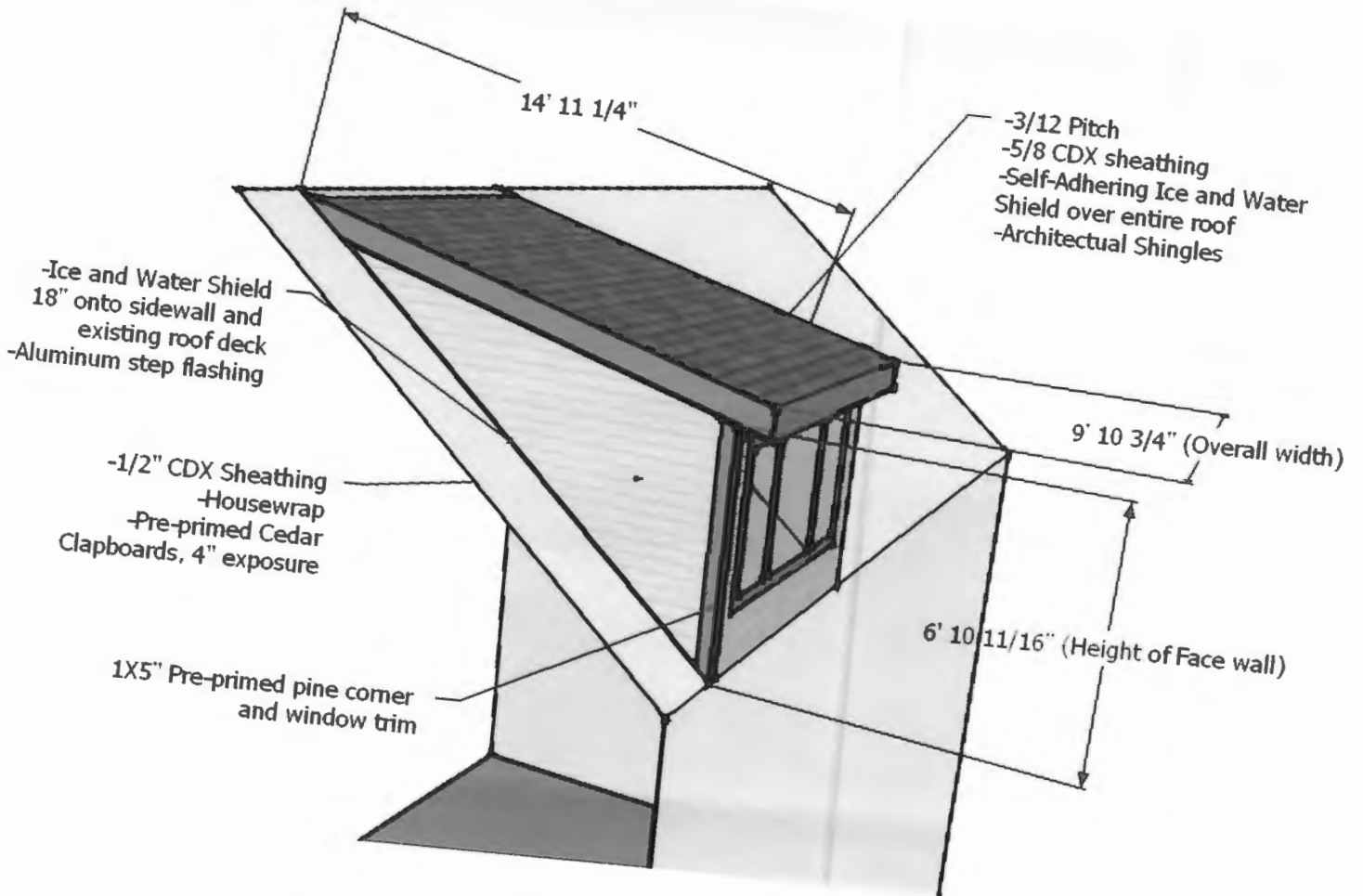
ceiling insulation R-49  
 R-30 fiberglass

Extruded Polystyrene 8" = R50

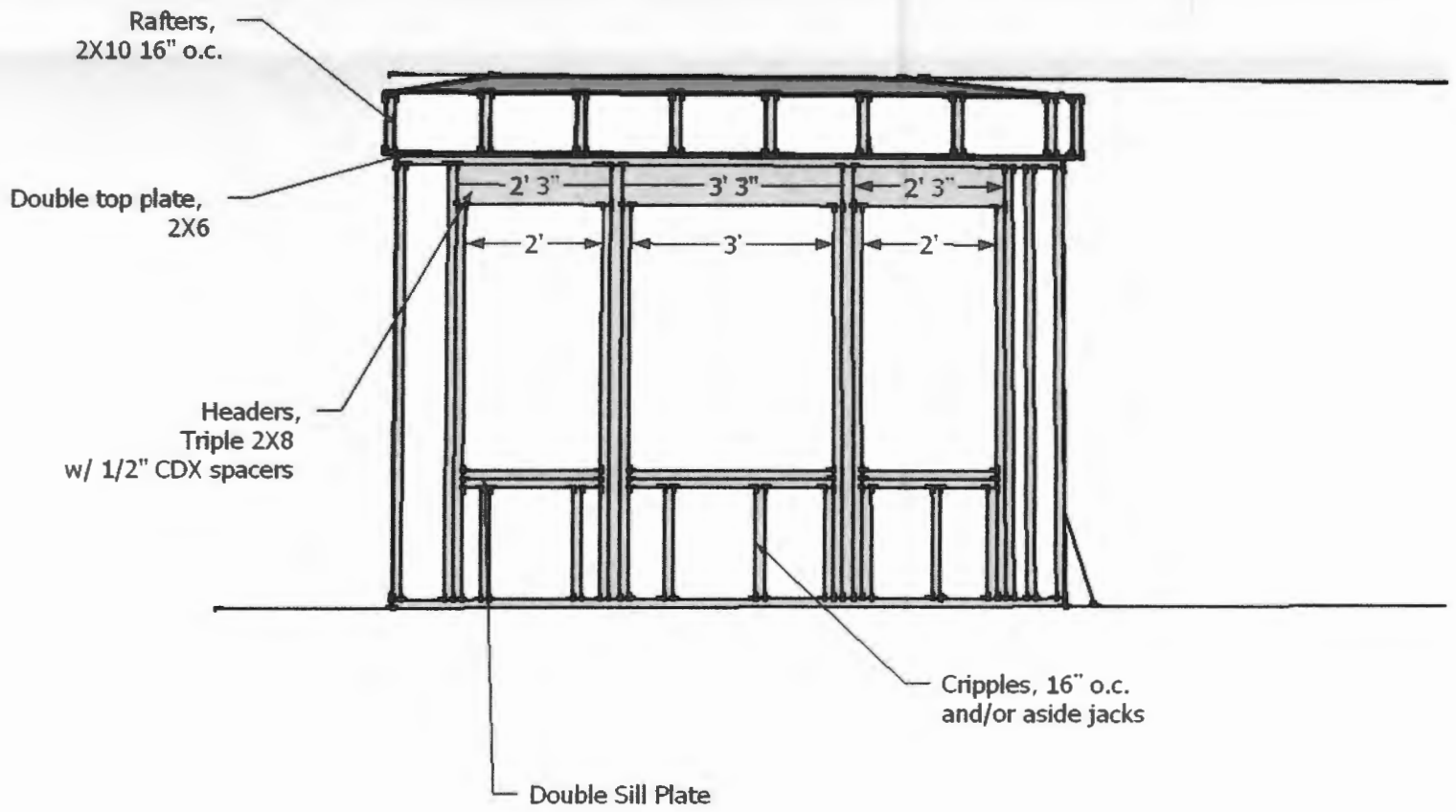
current: 4162 sqft  
 w/ addition 4210 sqft.  
 4216 sqft.

# Wall Detail

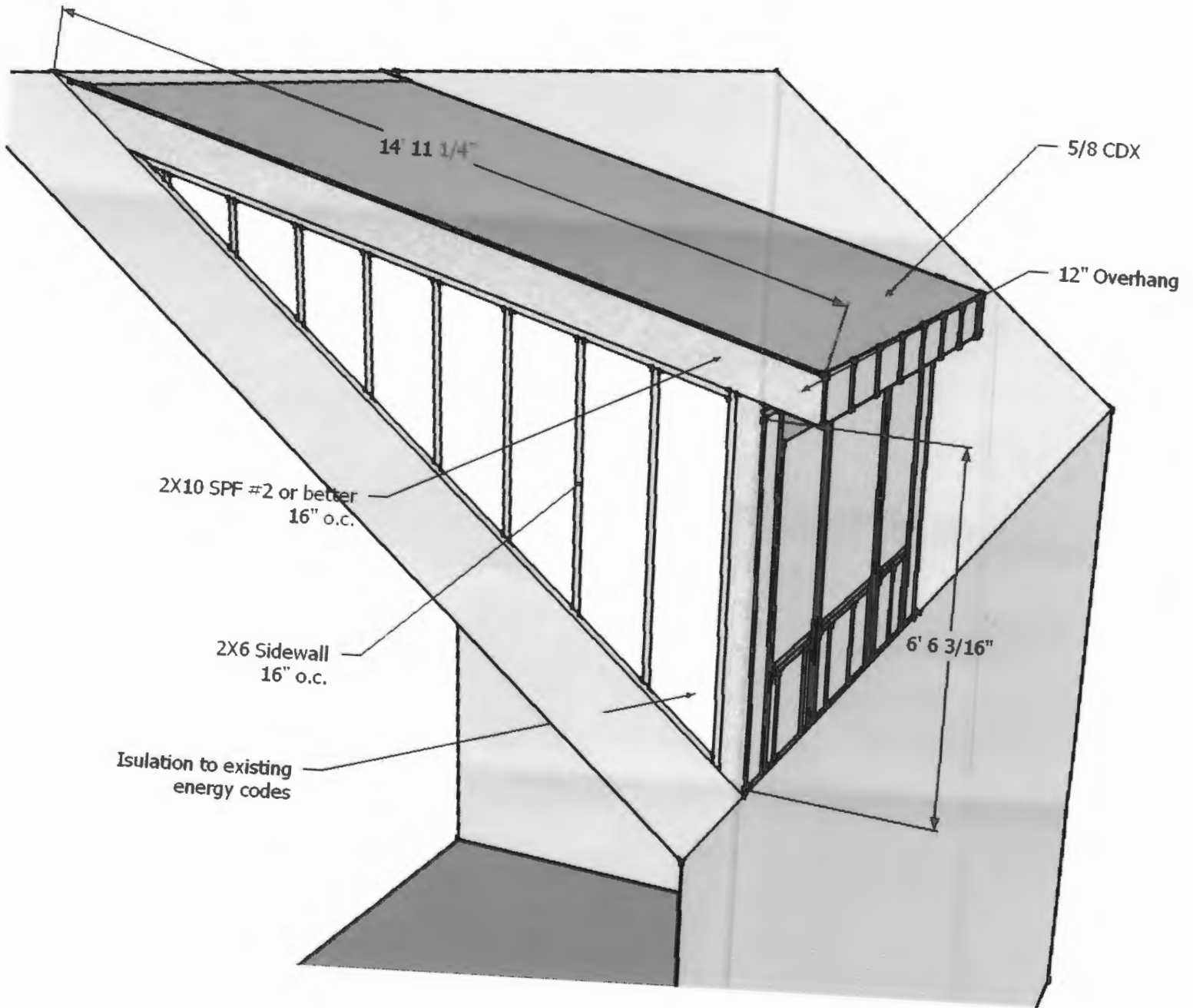




# Cross section / Framing Detail



Traming Detail



### Table of Transom and Tilt-Wash Double-Hung Window Sizes

Window Dimension	1'-7 1/2"	1'-11 1/2"	2'-3 1/2"	2'-7 1/2"	2'-11 1/2"	3'-3 1/2"
Minimum	(495)	(597)	(699)	(800)	(902)	(1003)
Rough Opening	1'-8"	2'-0"	2'-4"	2'-8"	3'-0"	3'-4"
Unobstructed Glass (lower sash only)	13 1/2"	17 1/2"	21 1/2"	25 1/2"	29 1/2"	33 1/2"
	(343)	(445)	(546)	(648)	(749)	(851)
See Circle Top™ chart	244CT18	244CT20	244CT24	244CT28	244CT30	244CT34
11 1/2"	244FX1810	244FX2010	244FX2410	244FX2810	244FX3010	244FX3410
1'-5 1/2"	244FX1816	244FX2016	244FX2416	244FX2816	244FX3016	244FX3416
1'-11 1/2"	244FX1820	244FX2020	244FX2420	244FX2820	244FX3020	244FX3420
2'-11 1/2"	244DN1830	244DN2030	244DN2430	244DN2830	244DN3030	244DN3430
3'-5 1/2"	244DN1836	244DN2036	244DN2436	244DN2836	244DN3036	244DN3436
3'-11 1/2"	244DN1840	244DN2040	244DN2440	244DN2840	244DN3040	244DN3440
4'-5 1/2"	244DN1846	244DN2046	244DN2446	244DN2846	244DN3046	244DN3446
4'-8 1/2"	244DN1849	244DN2049	244DN2449	244DN2849	244DN3049 <sup>o</sup>	244DN3449 <sup>o</sup>
4'-11 1/2"	244DN1850	244DN2050	244DN2450	244DN2850	244DN3050 <sup>o</sup>	244DN3450 <sup>o</sup>
5'-5 1/2"	244DN1856	244DN2056	244DN2456	244DN2856 <sup>o</sup>	244DN3056 <sup>o</sup>	244DN3456 <sup>o</sup>
5'-11 1/2"	244DN1860	244DN2060	244DN2460	244DN2860 <sup>o</sup>	244DN3060 <sup>o</sup>	244DN3460 <sup>o</sup>

### Table of Tilt-Wash Circle Top™ Window Sizes

Window Dimension	1'-7 1/2"	1'-11 1/2"
Minimum	(495)	(597)
Rough Opening	1'-8"	2'-0"
Unobstructed Glass	13 1/2"	17 1/2"
	(343)	(445)
1'-0 5/8"	244CT18	
1'-1 1/8"		
1'-2 1/8"		244CT20
1'-4 5/8"	244CT24	
1'-6 5/8"		244CT28
1'-8 5/8"		244CT30
1'-10 5/8"		244CT34

For more information on divided light visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles).

Window Schedule

All Email  
U = .30

- \* "Window Dimension" always refers to outside frame to frame dimension.
- \*\* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panelling, brackets, fasteners or other items.
- o Meet or exceed clear opening area of 5.7 sq.ft., clear opening width of 20" and clear opening height of 24".
- o Dimensions in parentheses are in millimeters.
- o Colonial divided light pattern shown for double-hung and fixed transom windows. Starburst pattern shown for 244CT18 and 244CT20, resistance shown for all other Circle Top™ windows. Visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles) for more information and available patterns.

**Table of Picture Window Sizes**

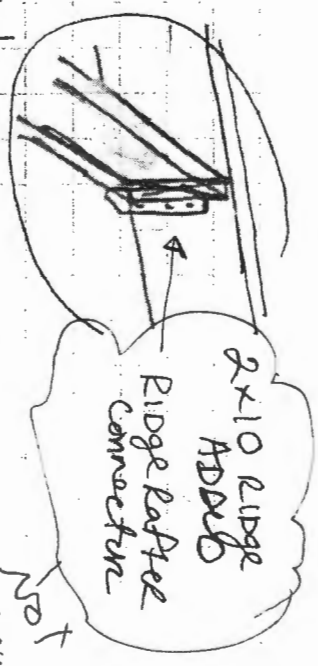
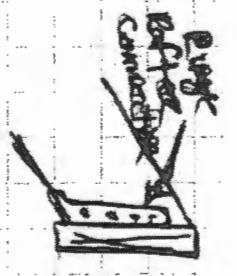
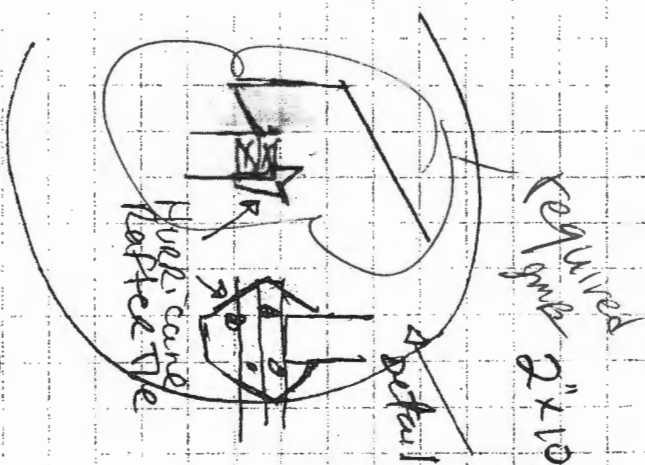
Window Dimension	2'-11 1/2"	3'-11 1/2"	4'-5 1/2"	4'-8 1/2"	4'-11 1/2"	5'-5 1/2"	5'-11 1/2"
	(902)	(1207)	(1359)	(1435)	(1511)	(1663)	(1816)
Minimum Rough Opening	3'-0"	4'-0"	4'-6"	4'-9"	5'-0"	5'-6"	6'-0"
	(914)	(1219)	(1372)	(1448)	(1524)	(1676)	(1829)
Unobstructed Glass	29 1/2"	41 1/2"	47 1/2"	50 1/2"	53 1/2"	59 1/2"	65 1/2"
	(749)	(1054)	(1207)	(1283)	(1359)	(1511)	(1664)
2'-11 1/2"							
	244FX3090	244FX4030	244FX4630	244FX4930	244FX5030	244FX5630	244FX6030
3'-11 1/2"							
	244FX3040	244FX4040	244FX4640	244FX4940	244FX5040	244FX5640	244FX6040
4'-5 1/2"							
	244FX3046	244FX4046	244FX4646	244FX4946	244FX5046	244FX5646	244FX6046
4'-8 1/2"							
	244FX3049	244FX4049	244FX4649	244FX4949	244FX5049	244FX5649	244FX6049
4'-11 1/2"							
	244FX3050	244FX4050	244FX4650	244FX4950	244FX5050	244FX5650	244FX6050
5'-5 1/2"							
	244FX3056	244FX4056	244FX4656	244FX4956	244FX5056		
5'-11 1/2"							
	244FX3060	244FX4060	244FX4660	244FX4960	244FX5060		

For more information on divided light visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles).

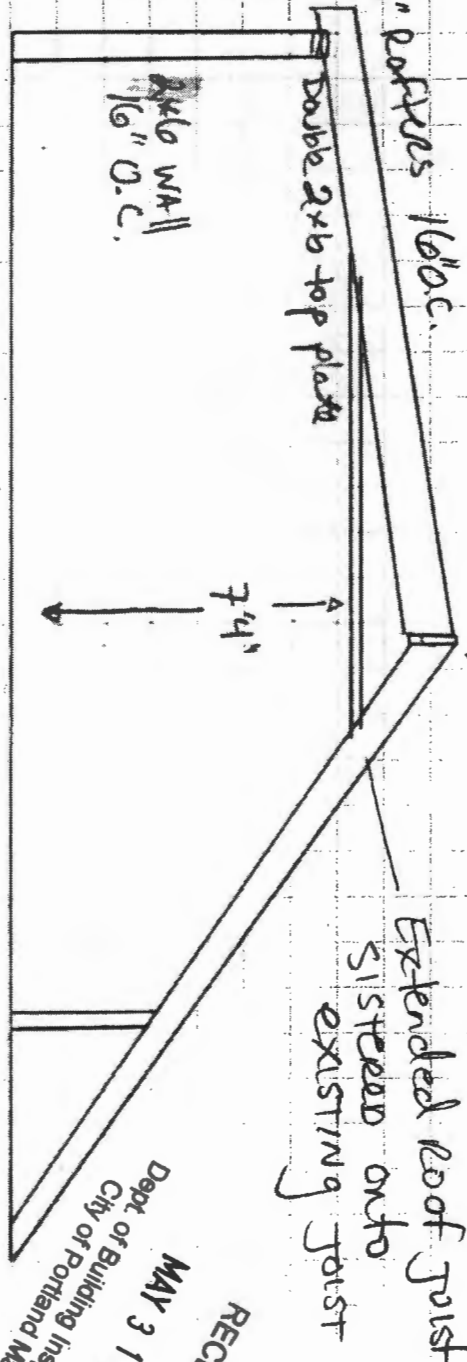
*Window Schedule*

- "Window Dimension" always refers to outside frame to frame dimension.
- "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- Dimensions in parentheses are in millimeters.
- Colonial divided light pattern shown. Visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles) for more information and available patterns.

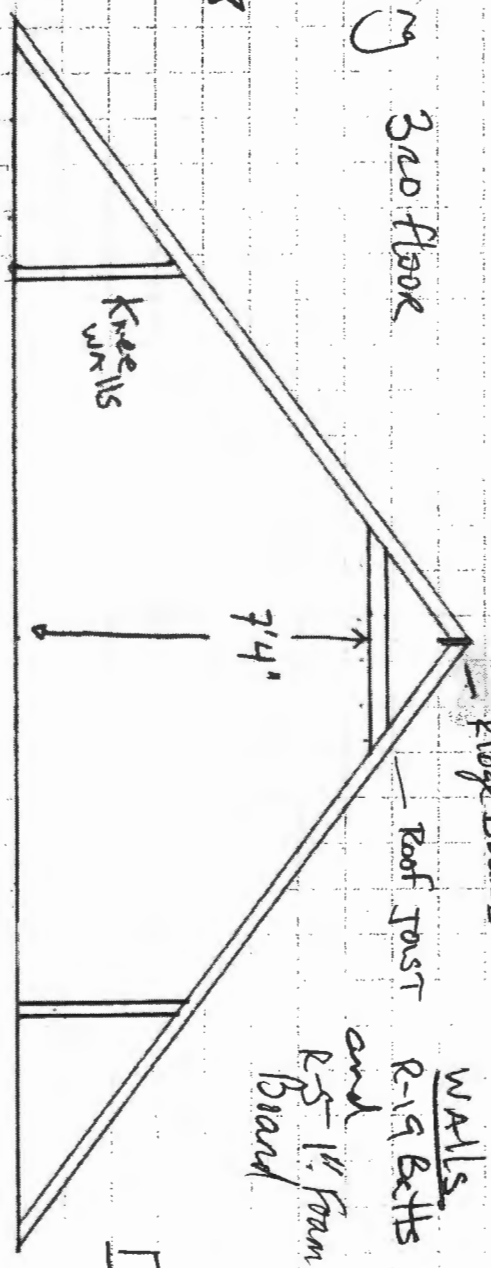
Proposed Deanne Roof Framing



Required  
2x10" rafters 16" o.c.



EXISTING Framing 3rd floor



\* Insulation

WALLS  
R-19 Batts  
and  
R-5 1/2" Foam Board

□ = 1 foot

Deanne Project  
17 ATLANTIC ST  
Portland, ME  
04101  
MARCO'S M. ILLOR

RECEIVED  
MAY 3 1 2012  
Dept. of Building Inspections  
City of Portland Maine

NOT required



## Jeanie Bourke - Re: 17 Atlantic St permit

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**From:** Jeanie Bourke  
**To:** Markos Miller  
**Date:** 5/31/2012 3:51 PM  
**Subject:** Re: 17 Atlantic St permit  
**CC:** Pierre Dumais

---

Hi Markos,

Thanks for the detail, due to the connection of the ceiling joists to the rafters, hanger brackets at the ridge are not required, however they are at the dormer wall.

I have issued the permit, it will be sent via mail.

Good Luck,  
Jeanie

>>> Markos Miller <markosmiller@hotmail.com> 5/31/2012 9:28 AM >>>

Jeanne,

Please find attached a pdf of the roof framing detail we discussed on the phone. This includes the extension of the existing roof joists, ridge and joist brackets (if required), and insulation schedule for walls.

Could you please confirm whether we need rafter brackets at the ridge and wall since we do not have a cathedral ceiling?

Thanks for your help in moving this forward.

Markos

Markos Miller  
17 Atlantic Street  
Portland, ME  
04101  
(207) 807-2681

**Jeanie Bourke - RE: 17 Atlantic St permit**

---

**From:** Markos Miller <markosmiller@hotmail.com>  
**To:** Jeannie Bourke <jmb@portlandmaine.gov>  
**Date:** 5/29/2012 1:35 PM  
**Subject:** RE: 17 Atlantic St permit  
**CC:** Pierre Dumais <pierredumais33@gmail.com>

---

Jeanne,

Thanks for the feedback. I left a phone message and hope we can actually speak about some of these details to get this cleared up more quickly.

1. RE: ridge beam and ceiling joists: The room is currently finished, so I don't know what the actually roof framing (ridge, joists, spacing,etc) is up there. Can I submit what I expect to find up there? Or, better yet, if there is something I must meet in code with this just tell me and I will comply. For example, the rafter attachment could be a face-mount beam hanger and the top-flange beam hanger- if there is a preferred attachment, just let me know.

Please advise.

2. R- value. I will indicate the insulation system proposed on an updated drawing.

3. It is helpful to know the requirements for the windows. The Anderson 200 series windows are available with a low-E glass, which has a UR rating of .30. I will go with this or a comparable product.

I hope we can get this taken care of quickly. I applied for the permit on April 24th, and was told this would take 15 business days. We are now on day 25 and am getting the sense from your framing questions that this may take even longer.

Markos

Markos Miller  
17 Atlantic Street  
Portland, ME  
04101  
(207) 807-2681

---

Date: Tue, 29 May 2012 09:17:58 -0400  
From: JMB@portlandmaine.gov  
To: markosmiller@hotmail.com  
Subject: RE: 17 Atlantic St permit

Hi Markos,

Thank you for the clarifying the existing situation, with the ceiling joists and beam. Can you please provide a revised section drawing with these specific details:

- the ridge beam dimension (is it a structural beam or a board?), the location of the ceiling joist attachment, dimension and spacing, the height of them off the floor, spec the type of rafter attachment to the beam

exterior wall plate to the rafter, Sec. 2308.10.1

- The required R-20 in the wall does not allow calculation of other building materials, this is determined in the R-20 computation, IEEC Sec. 402.1.2.
- Can you please provide the U-factor of the windows?

FYI....I am not available until next Tuesday, but the approval should not be too much longer.

Thanks,

Jeanie

*Jeanie Bourke*  
CEO/LPI/Plan Reviewer

**City of Portland**  
**Planning & Urban Development Dept./ Inspections Division**  
389 Congress St. Rm 315  
Portland, ME 04101  
jmb@portlandmaine.gov  
Direct: (207) 874-8715  
Office: (207) 874-8703

>>> Markos Miller <markosmiller@hotmail.com> 5/21/2012 2:52 PM >>>

Hi,

On April 24th I filed an application for a permit for a dormer addition to my home at 17 Atlantic St. Two weeks ago I sent an email to check in on the status of my application, but no one responded to my message.

I would appreciate an update on the permit application and to gain a clearer picture of what needs to happen to bring this to approval. I am trying to line up the logistics of the project for this summer. Knowing that this is a viable project, or knowing what changes I may need to make will be extremely helpful.

I look forward to hearing back at your earliest convenience.

Markos Miller

Markos Miller  
17 Atlantic Street  
Portland, ME  
04101  
(207) 807-2681