

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number: 051138

This is to certify that Dipietrantonio Ann M/Owner
has permission to rebuild 10.7 x 15.8 shed no structural change in existing shed
AT 23 Atlantic St 016 C018001

PERMIT ISSUED
SEP 21 2006
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in.
24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 9/20/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1138	Issue Date:	CBL: 016 C018001
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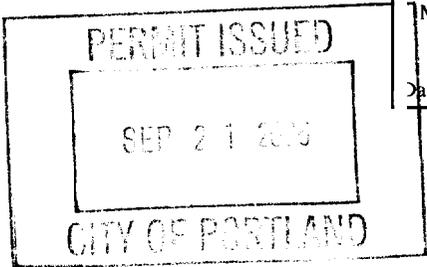
Location of Construction: 23 Atlantic St	Owner Name: Dipietrantonio Ann M	Owner Address: 23 Atlantic St	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	Zone: R-6

Current Use: Single Family home	Proposed Use: Single Family Home/ rebuild 10.7 x 15.8 shed no size change from existing shed	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 1
		FIREDEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3/v Type: SB <i>IRC 2003</i>	

Proposed Project Description: rebuild 10.7 x 15.8 shed no size change from existing shed	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 08/10/2005	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date:	Date:	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1138	Date Applied For: 0811012005	CBL: 016 C018001
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Location of Construction: 23 Atlantic St	Owner Name: Dipietrantonio Ann M	Owner Address: 23 Atlantic St	Phone:
Business Name:	Contractor Name: Seth Dipietrantonio	Contractor Address: 4 Picnic Hill Freeport	Phone (207) 522-4567
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Single Family Home/ rebuild 10.7x 15.8 shed no size change from existing shed	Proposed Project Description: rebuild 10.7 x 15.8 shed no size change from existing shed
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**Comments:**

8/24/05-tmm: spoke w/owners relative/builder - structure is already demolished, need some kind of documentation of size of structure - explained nonconforming building to him.,

6/13/06-ldobson: Dropped off additional plans, and PDF of Pictures of old garage Re-routed to TMM

8/2/06-tmm: left message w/Seth regarding building items on plans (rafter size, need 1 hour rated exterior walls, 4" maximum overhang on rafters, anchor bolt size/spacing, sheathing walls/roof)

Print Text93 2530 Constr Type New Num1 51138

Permit Nbr 05-1138 Location of Construction 23 Atlantic St Appl. Date 08/10/2005
Status Pending Permit Type Sheds Issue Date
CBL 016 C018001 District Nbr 1 Estimated Cost \$2,000.00 Date Closed

Comment Date Comment

08/02/200 left message w/Seth regarding building items on plans (rafter size, need 1 hour rated exterior walls, 4" maximum overhang on rafters, anchor bolt size/spacing, sheathing walls/roof)

Name tmm Follow Up Date Completed

06/13/200 Dropped off additional plans, and PDF of Pictures of old garage Re-routed to TMM

Name Idobson Follow Up Date Completed

08/24/200 spoke w/owner's relative/builder - structure is already demolished, need some kind of documentation of size of structure - explained nonconforming building to him,

Name tmm Follow Up Date Completed

CreatedBy Idobson CreateDate 08/15/2005 ModBy Idobson ModDate 06/13/2006
Time 12:00 AM Time 3:02 PM



Print Text93 2530 Constr Type New Num1 51138

Permit Nbr 05-1138 Location of Construction 23 Atlantic St Appl. Date 08/10/2005
Status Hold Permit Type Sheds Issue Date
CBL 016 C018001 District Nbr 1 Estimated Cost \$2,000.00 Date Closed

Comment Date Comment

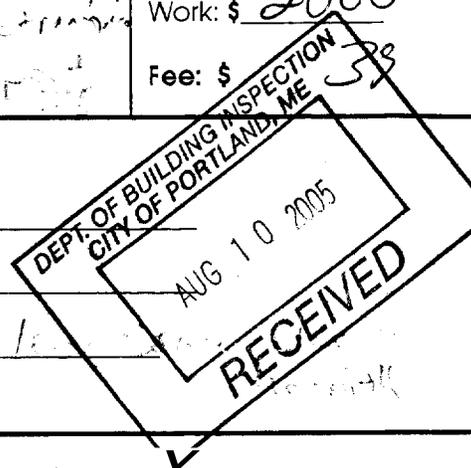
08/24/2005 spoke w/owners relative/builder - structure is already demolished, need some kind of documentation of size of structure - explained nonconforming building to him,
Name Follow Up Date Completed

CreatedBy idobson CreatedDate 08/15/2005 ModBy trnm ModDate 08/24/2005

All Purpose Building Permit Application

If You or the property owner owes real estate or personal property taxes or user charges on any property Within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure <u>128</u>		Square Footage of Lot	
Chart# <u>14</u>	Lot# <u>18</u>		
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Salvatore DiAntonio</u> <u>4 Picnic Hill Freeport ME 04032</u>	Cost Of Work: \$ <u>2000</u> Fee: \$ <u>55</u>	
Current use: <u>Single Family</u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: <u>Rebuild Shed on the corner property</u>			
Project description: <u>10.7 x 15.8</u>			
Contractor's name, address & telephone: _____			
Who should we contact when the permit is ready: _____			
Mailing address: <u>4 Picnic Hill Freeport ME 04032</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____			



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Salvatore DiAntonio</u>	Date: <u>8/9/05</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

SINGLE FAMILY ADDITIONS AND ALTERATIONS

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed if the property is not listed to you in the City assessor's records
- 1 Copy of a legible site/plot plan
- 1 Copy of the building/construction plan
- If your plans are larger than 11" x 17" we will need one copy on paper no larger than 11" x 17" of all submissions. We cannot accept applications without the reduced submission. Electronic plans in .PDF format may be submitted in place of the 11" x 17" copies.

If you are doing an exact replacement of a deck, stairs or shed it will still require a plot plan, showing all setbacks from property lines to finished construction.

PLOT PLAN INCLUDES THE FOLLOWING:

- A neat legible scaled plot plan must be submitted. This plan must show all setbacks from all property lines from finished construction. This will include all existing buildings with dimensions. The plan must show all proposed additions/alterations/accessory structures with dimensions. If the property has any easements, please scale them into your plot plan, along with parking areas and driveways with dimensions.
- The proposed construction measurements must be staked out for a site plan visit to confirm measurements on the plot plan. This includes all property pins in relation to proposed construction.

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Stair and handrail details (interior & exterior)
- All construction must be conducted in compliance with the 2003 International Residential Code as amended by Section 6-Art II.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with applicable State Rules and the 2003 International Mechanical Code.

The cost of construction is as follows:

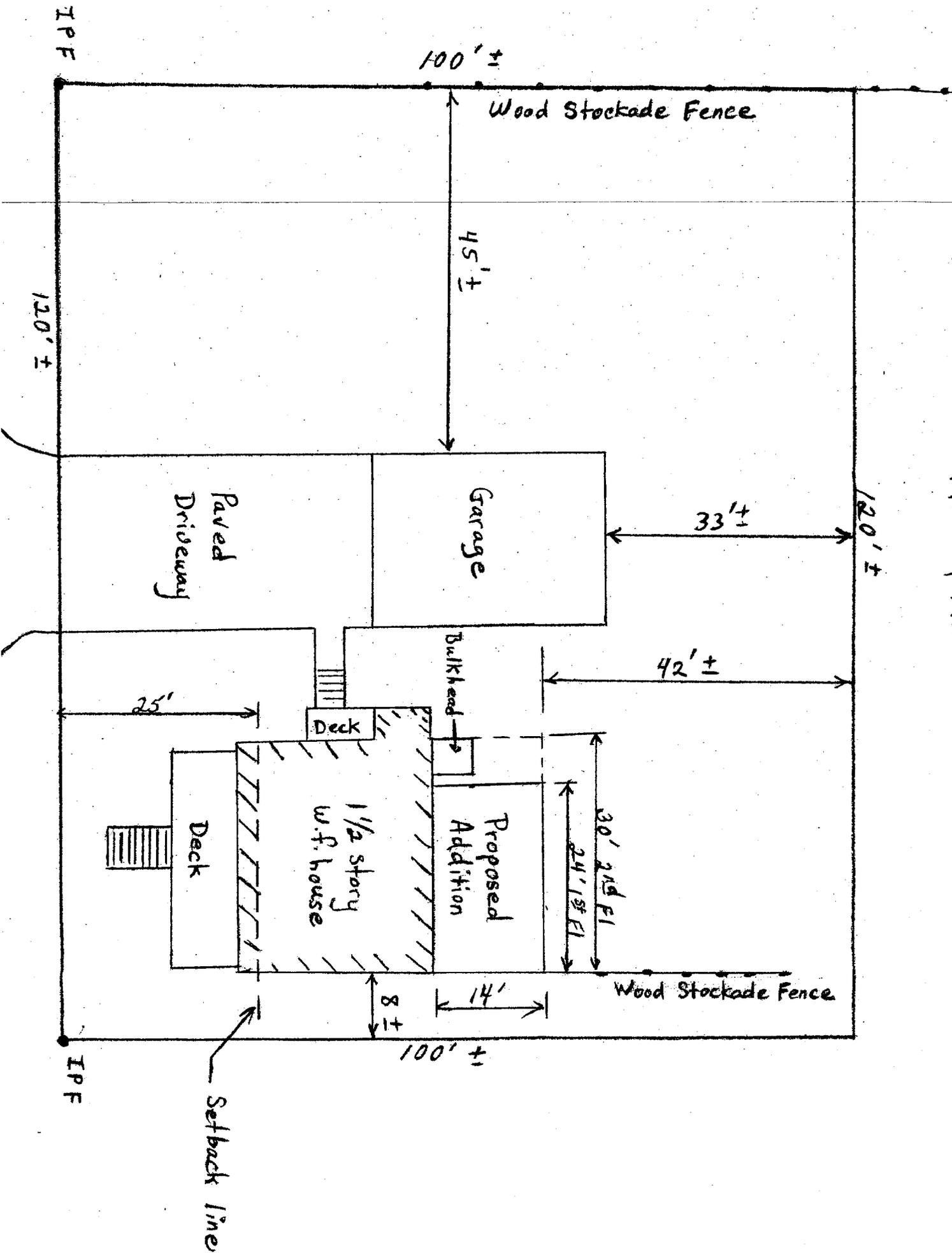
Basic permit fee: \$30.00

The first \$1,000.00 worth of construction is covered in the \$30.00 base fee

Every additional \$1,000.00 will cost \$9.00

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00

Plot Plan

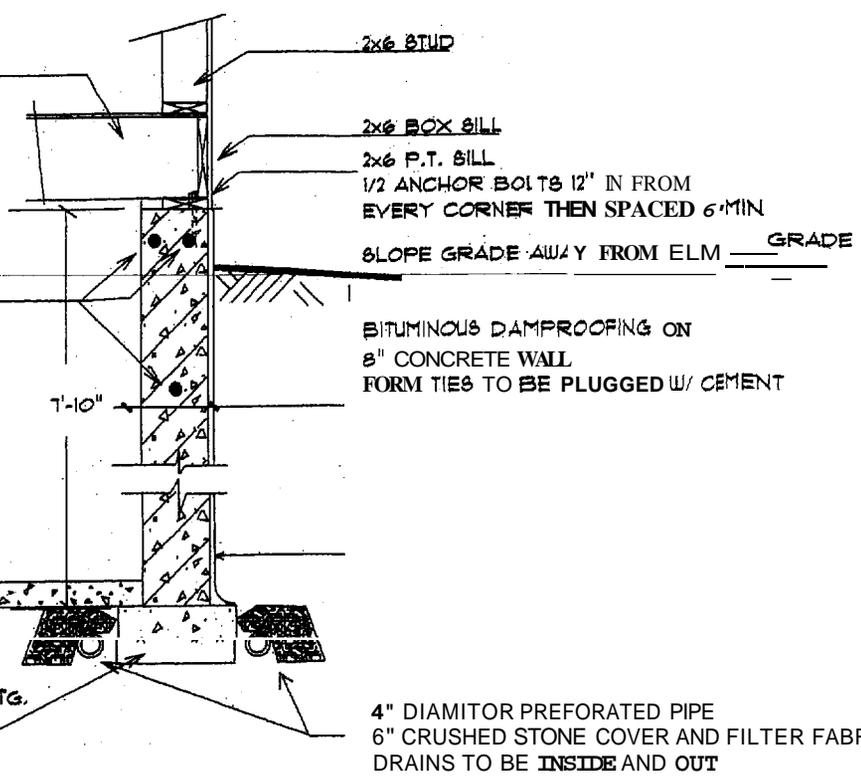


TYPICAL 2x10 FLOOR SYSTEM:
 3/4" ADVANTEC T&G SUBFLOOR
 2x10 FLOOR JOISTS @ 16" O.C. w/
 1x3 CROSS BRIDGING

1/2" REBAR

PORTLAND CEMENT 3000 PSI CONCRETE FLOOR 4" THICK
 4 MIL POLY MIN 4" OVERLAP AT JOINTS
 3/4" CRUSHED ROCK UNDER CONCRETE FLOOR

20"x10" MINIMUM CONC. FTG.
 FOOTING TO BEAR ON
 UNDISTURBED SOIL

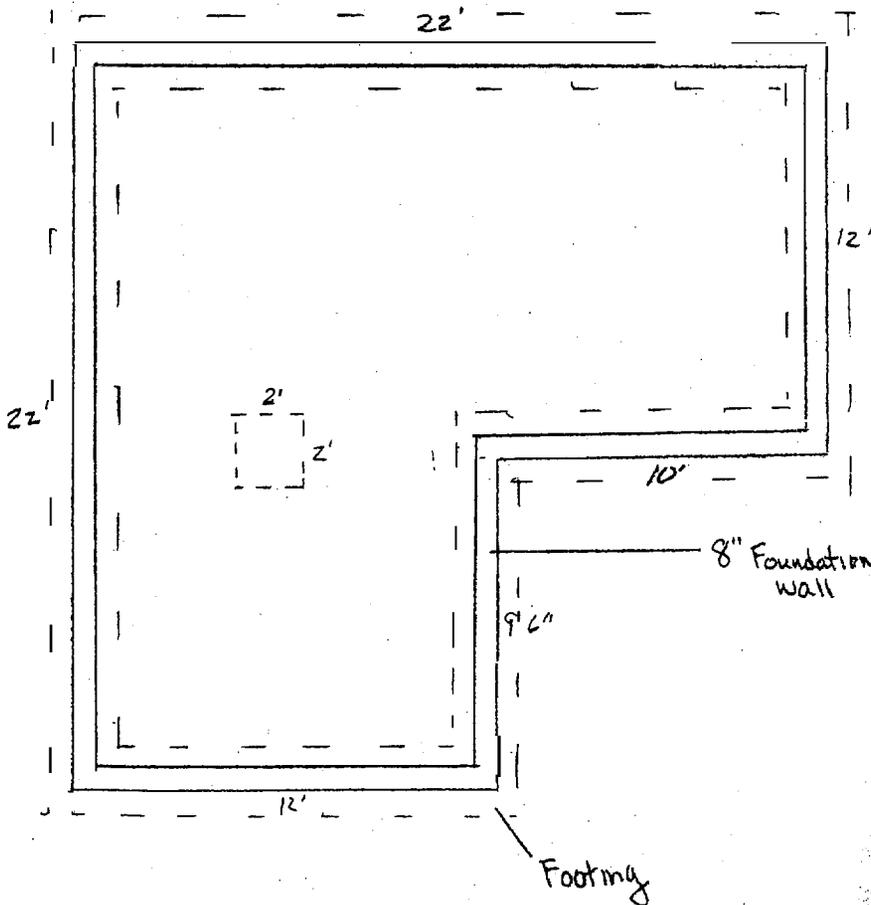


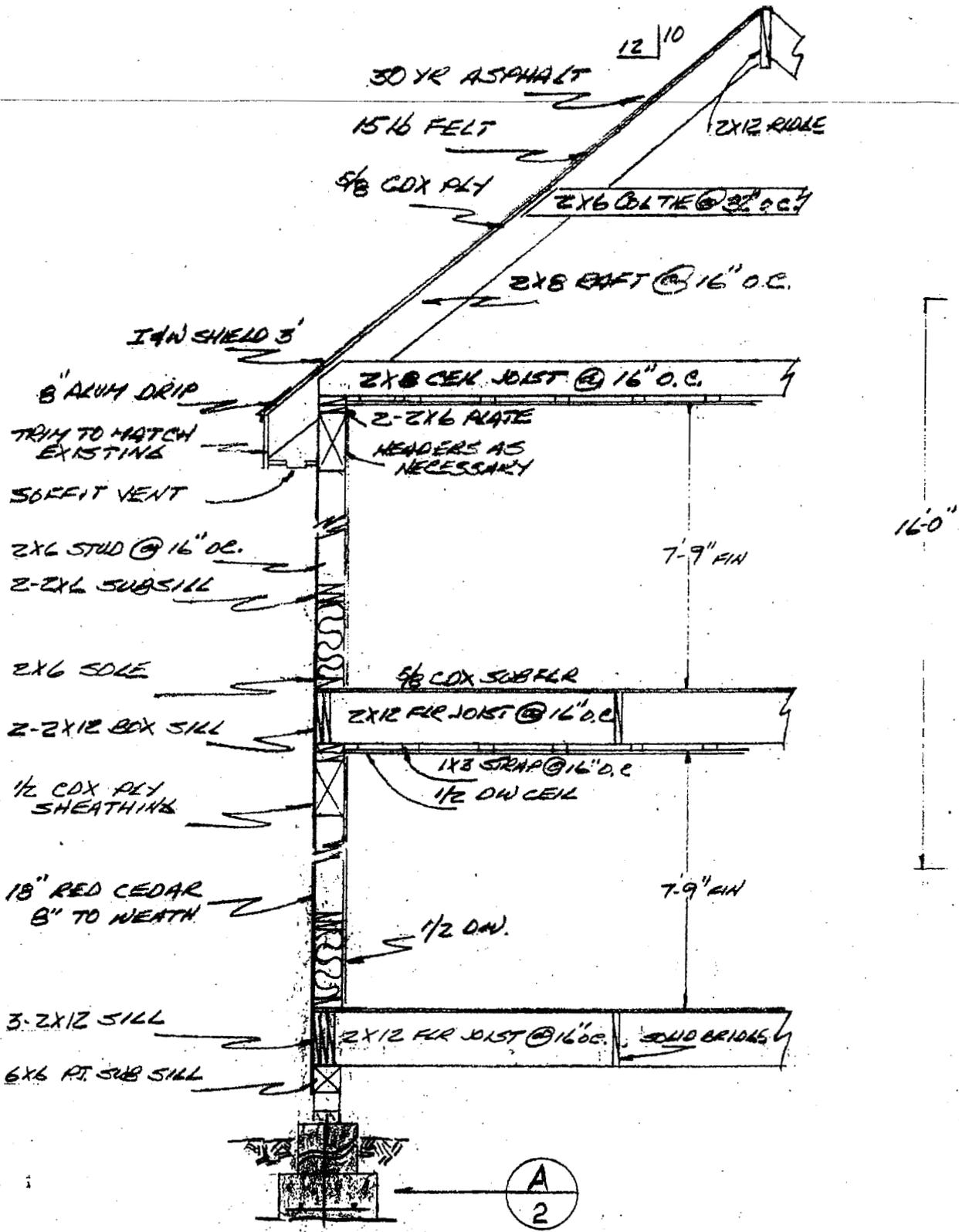
BITUMINOUS DAMPROOFING ON
 8" CONCRETE WALL
 FORM TIES TO BE PLUGGED W/ CEMENT

4" DIAMETER PERFORATED PIPE
 6" CRUSHED STONE COVER AND FILTER FABRIC
 DRAINS TO BE INSIDE AND OUT

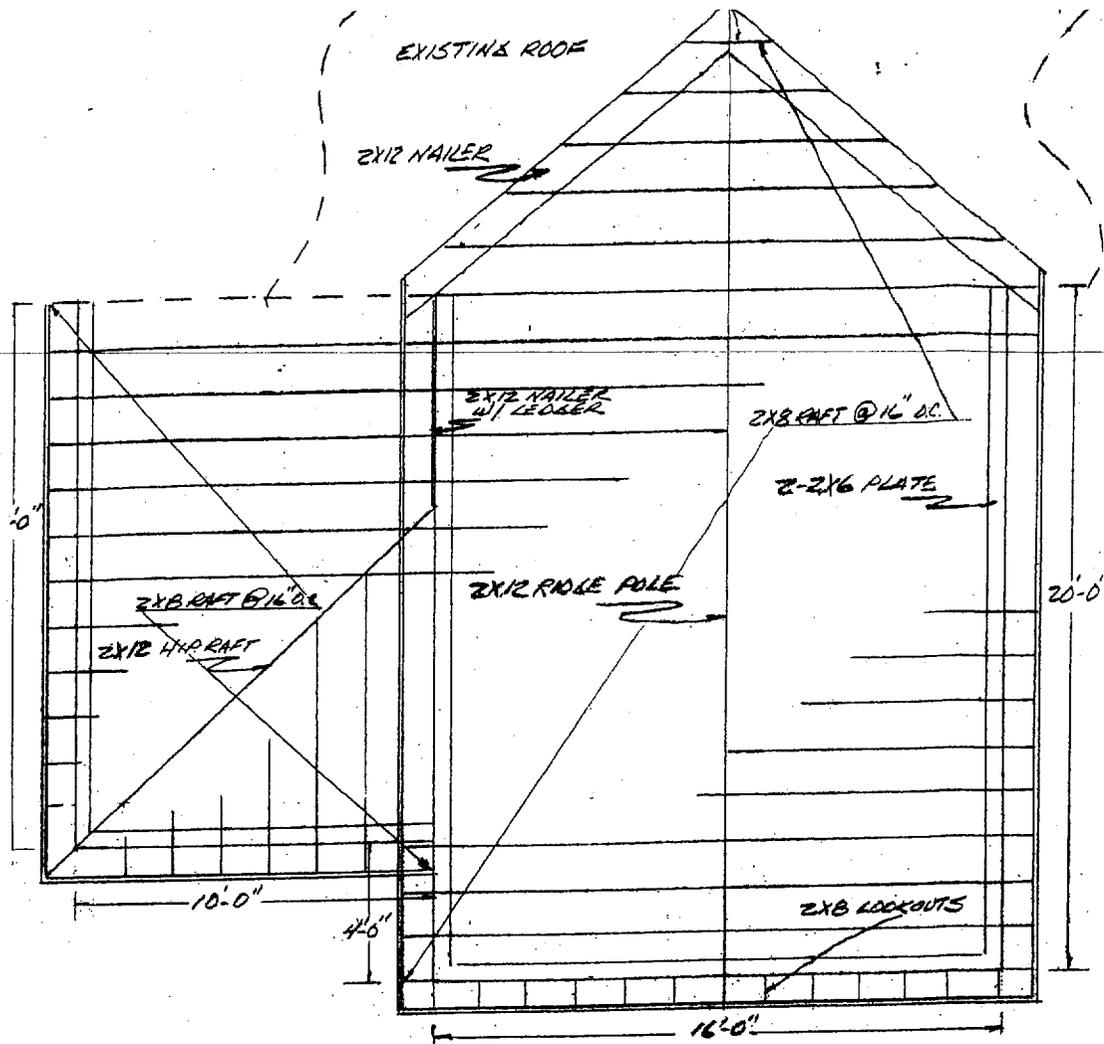
TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE

Foundation Plan

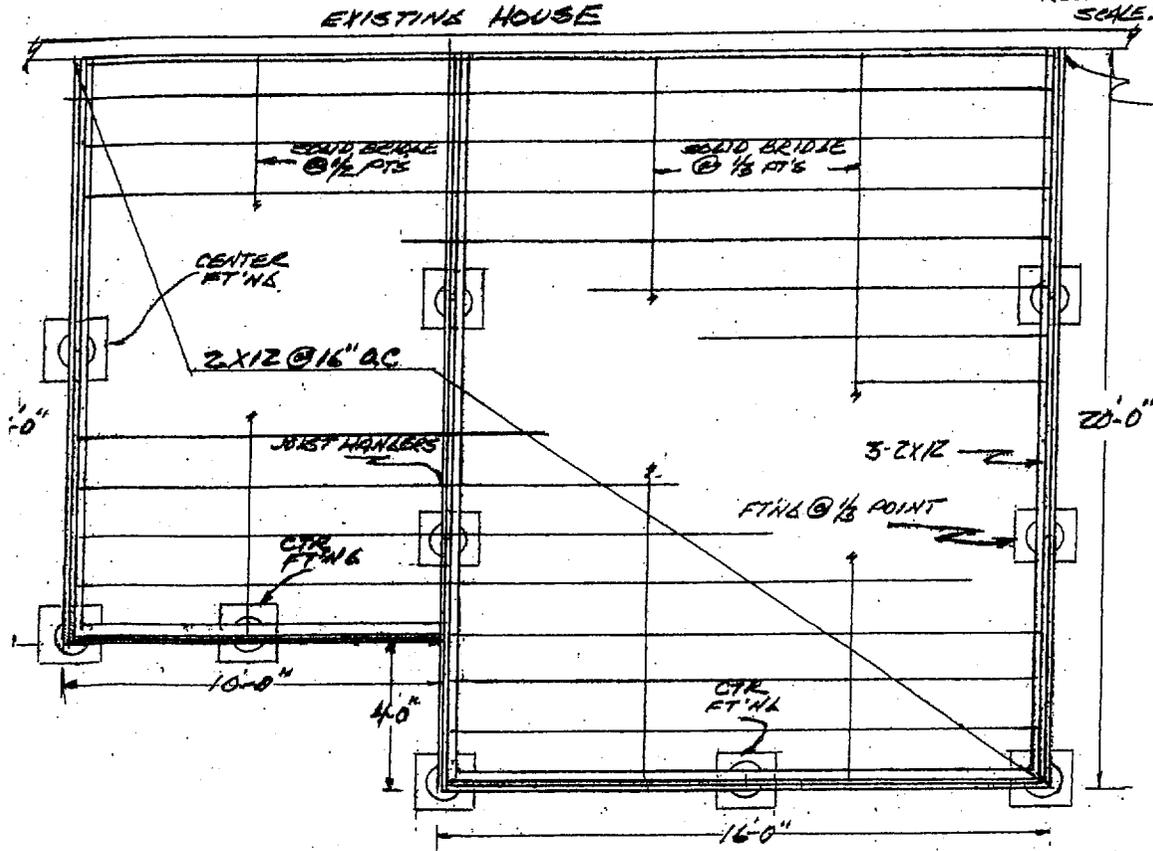




TYPICAL WALL SECTION
 SCALE 3/8" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



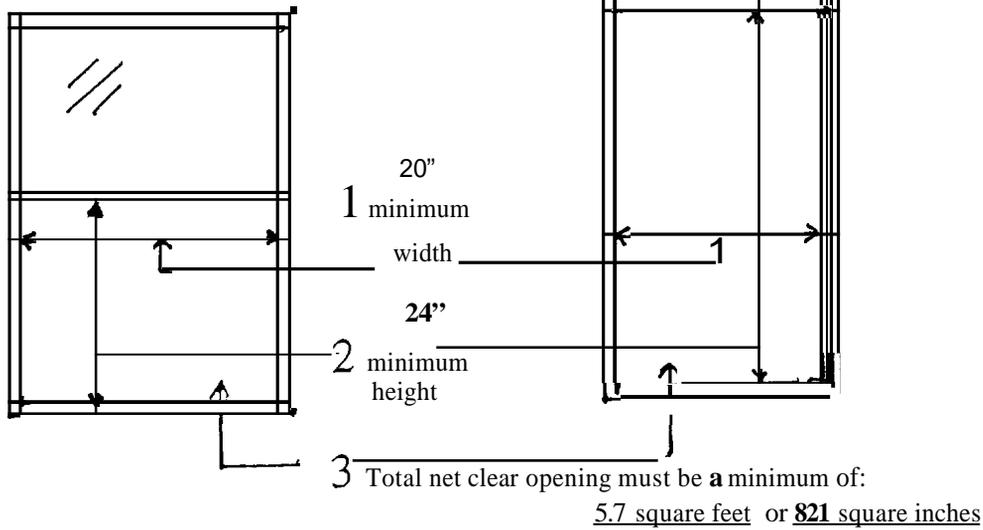
FOUND 1st FLR FRM PLAN
SCALE: 1/4" = 1'-0"

Egress Windows

At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

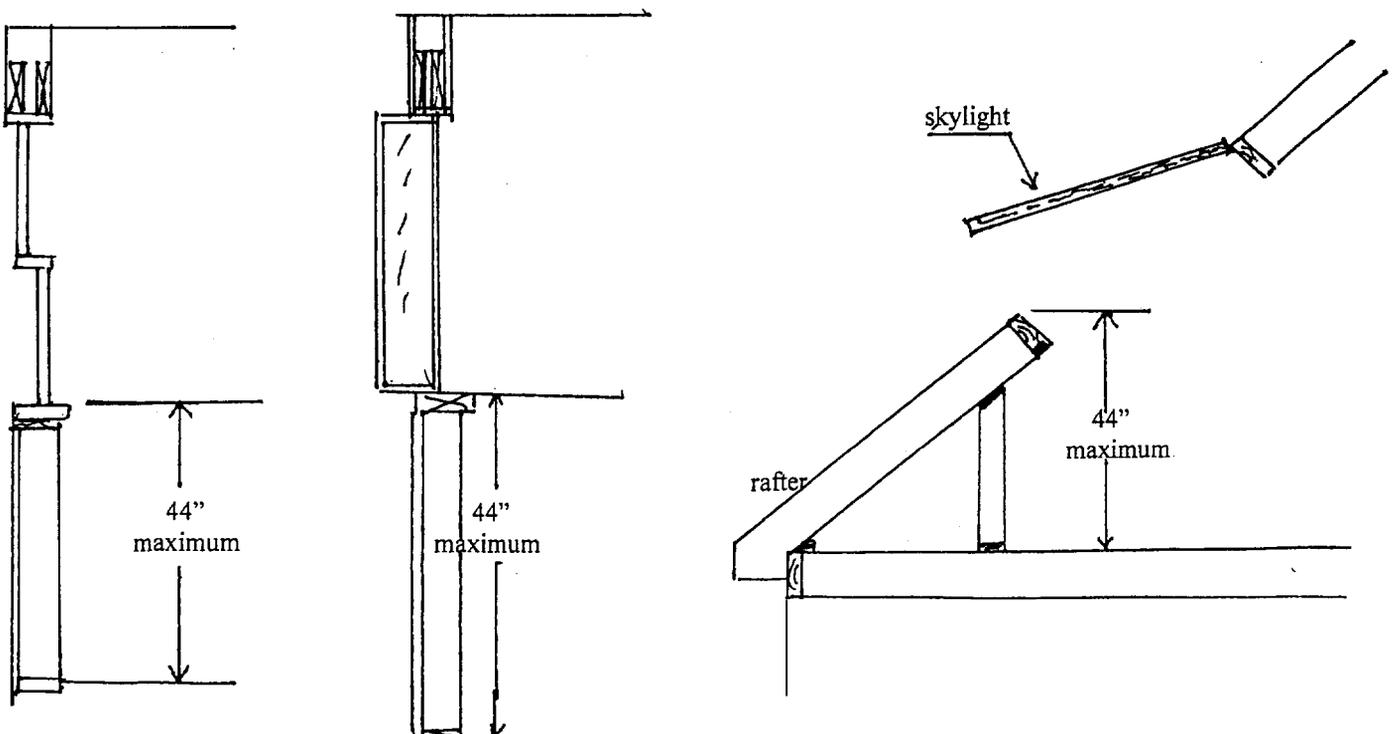
Double hung windows

Casement Windows



Caution. . . . A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total squarefoot opening requirement, (condition #3)

4 Lowest point of the opening must not be more than 44 inches above the floor



may not be...

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Comment Date	Comment	Name	Follow Up Date	Completed
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<input type="text" value="06/13/200"/>	<input type="text" value="Dropped off additional plans, and PDF of Pictures of old garage Re-routed to TMM"/>	<input type="text" value="Idobson"/>	<input type="text"/>	<input type="checkbox"/>
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