

Administrative Authorization Application

Portland, Maine
Planning and Urban Development Department, Planning Division

PROJECT NAME: 30 Muxjoy Street
PROJECT ADDRESS: 30 Muxjoy Street CHART/BLOCK/LOT: 16-C-7
APPLICATION FEE: _____ (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

See Attached

CONTACT INFORMATION:

OWNER/APPLICANT

Name: Clare Jam, Vespa LLC
Address: 20 Covese Road
Cumberland Foreside
Work #: -
Cell #: 207-317-0408
Fax #: -
Home #: -
E-mail: clarejam@maine.rr.com

CONSULTANT/AGENT

Name: Evon Carroll
Address: PO Box 8235
Portland
Work #: -
Cell #: 207-408-0168
Fax #: -
Home #: -
E-mail: evan@bildarchitecture.com

Criteria for an Administrative Authorizations: (see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures? _____
- b) Are there any new buildings, additions, or demolitions? _____
- c) Is the footprint increase less than 500 sq. ft.? _____
- d) Are there any new curb cuts, driveways or parking areas? _____
- e) Are the curbs and sidewalks in sound condition? _____
- f) Do the curbs and sidewalks comply with ADA? _____
- g) Is there any additional parking? _____
- h) Is there an increase in traffic? _____
- i) Are there any known stormwater problems? _____
- j) Does sufficient property screening exist? _____
- k) Are there adequate utilities? _____
- l) Are there any zoning violations? _____
- m) Is an emergency generator located to minimize noise? _____
- n) Are there any noise, vibration, glare, fumes or other impacts? _____

Applicant's Assessment Planning Division Y(yes), N(no), N/A

Y
Y
Y
N
Y
Y
N
N
N
Y
Y
N
N/A
N/A

Signature of Applicant: 

Date:

6/30/11

Planning Division Use Only

Authorization Granted

Partial Exemption _____

Exemption Denied _____

7/13/11

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

Criteria for an Administrative Authorizations:
 (See Section 14-523 (4) on page 2 of this application)

Applicant's Assessment
 Y(yes), N(no), N/A

Planning Division
 Use Only

Criteria for an Administrative Authorizations: (See Section 14-523 (4) on page 2 of this application)	Applicant's Assessment Y(yes), N(no), N/A	Planning Division Use Only
a) Is the proposal within existing structures?	Yes	
b) Are there any new buildings, additions, or demolitions?	Yes	
c) Is the footprint increase less than 500 sq. ft.?	Yes	
d) Are there any new curb cuts, driveways or parking areas?	No	
e) Are the curbs and sidewalks in sound condition?	Yes	
f) Do the curbs and sidewalks comply with ADA?	Yes	
g) Is there any additional parking?	No	
h) Is there an increase in traffic?	No	
i) Are there any known stormwater problems?	No	
j) Does sufficient property screening exist?	Yes	
k) Are there adequate utilities?	Yes	
l) Are there any zoning violations?	No	
m) Is an emergency generator located to minimize noise?	n/a	
n) Are there any noise, vibration, glare, fumes or other impacts?	n/a	

The request for an administrative authorization for 30 Munjoy Street was granted by Shukria Wiar, Planner on July 13, 2011 with the following condition and standard condition of approval.

1. The applicant shall obtain all required City Permits from the Dept. of Public Services for all work to be done in the right of way.

Standard Condition of Approval

The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Rm. 315, City Hall (874-8703) prior to the start of any construction.



CITY OF PORTLAND, MAINE
 Department of Building Inspections

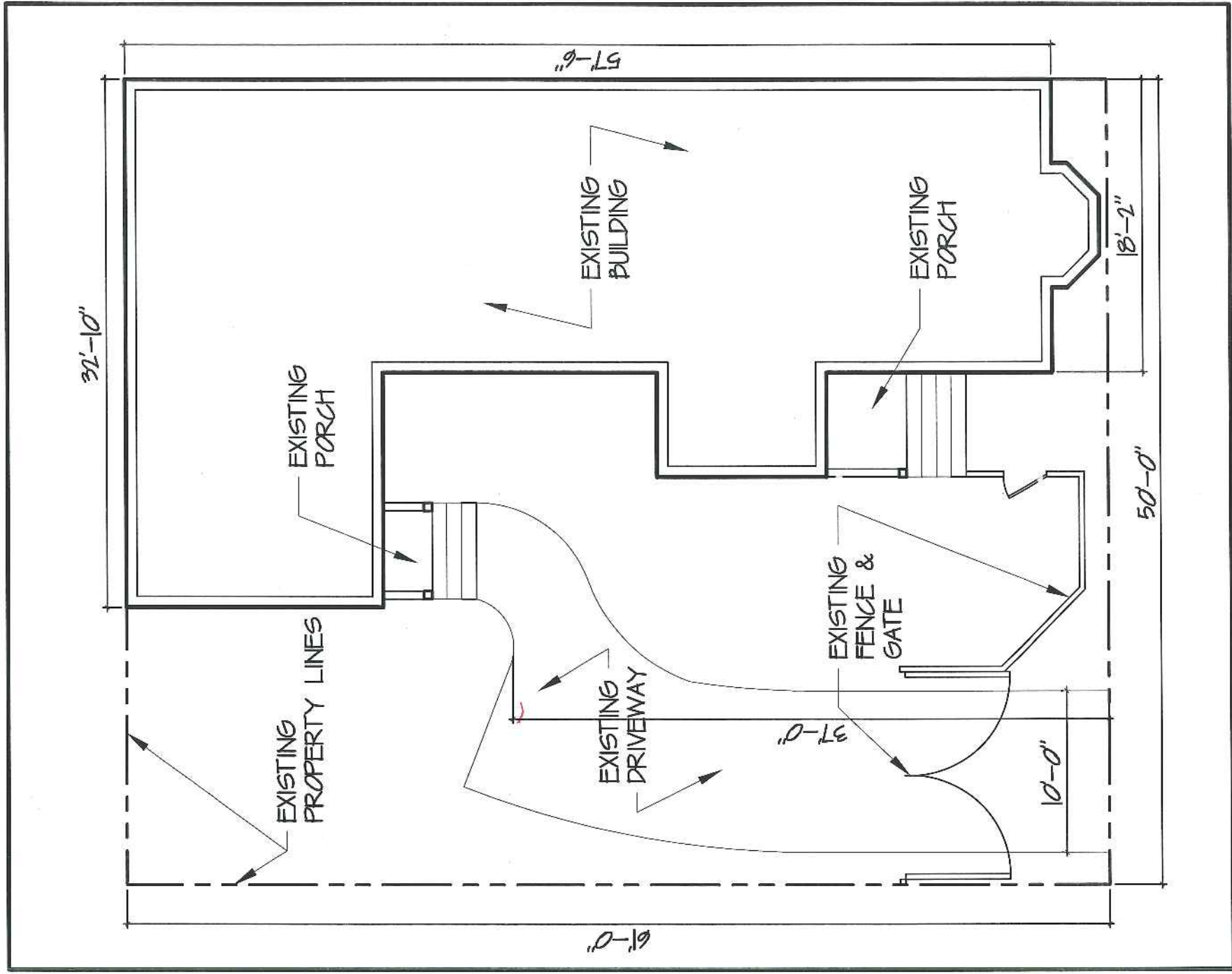
Original Receipt

Received from Vepra LLC July 11 20 11
 Location of Work 30 Murray St
 Cost of Construction \$ _____ Building Fee: 320.00
 Permit Fee \$ _____ Admin. Auth. Fee: _____
 Site Fee: 50.00
 Certificate of Occupancy Fee: _____
 Total: 370.00
 Building (IL) Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____
 Other _____
 CBL: 016 C 007
 Check #: 1813 Total Collected \$ 370.00

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: Henry

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy



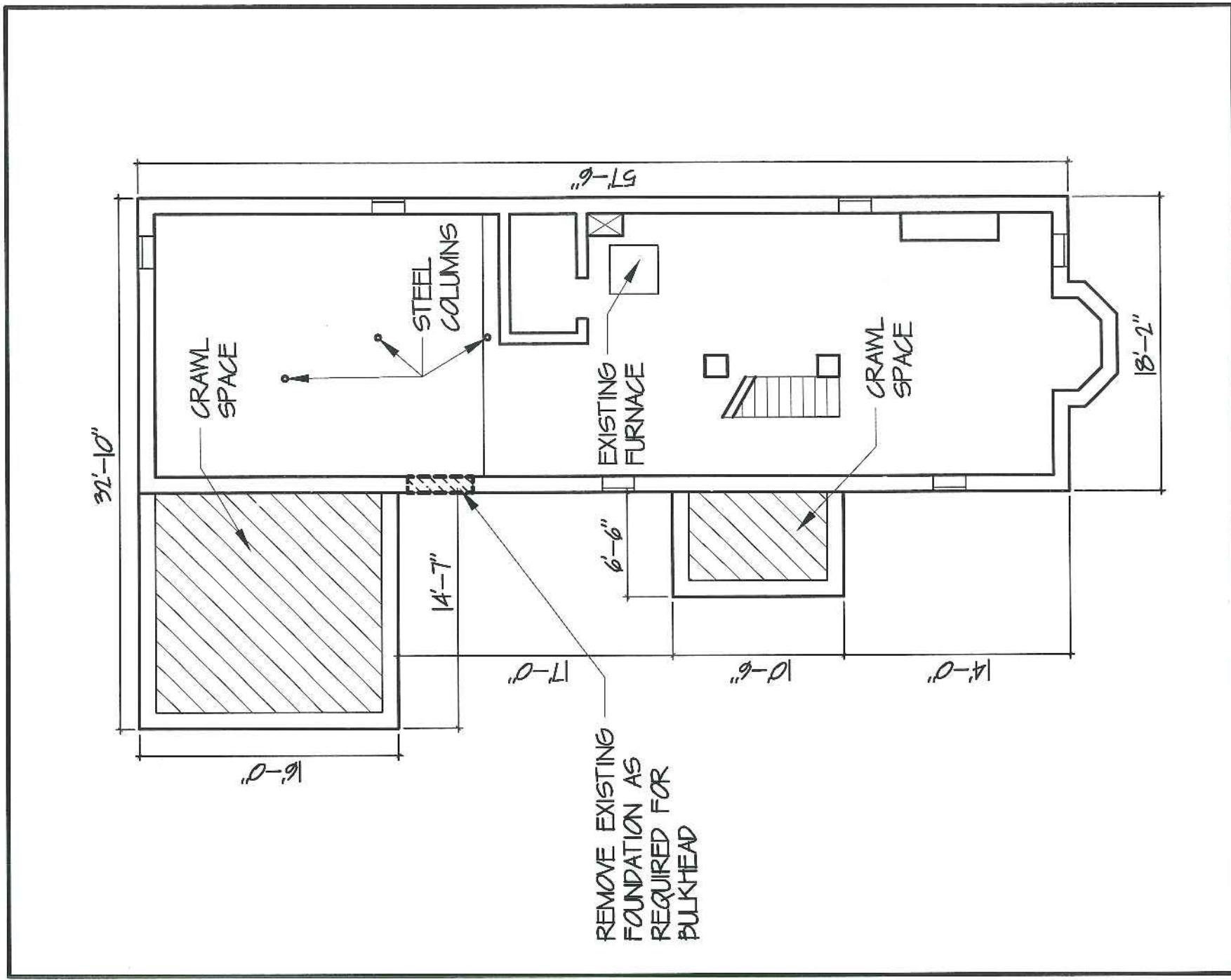
30 MUNJOY STREET

BILL D ARCHITECTURE

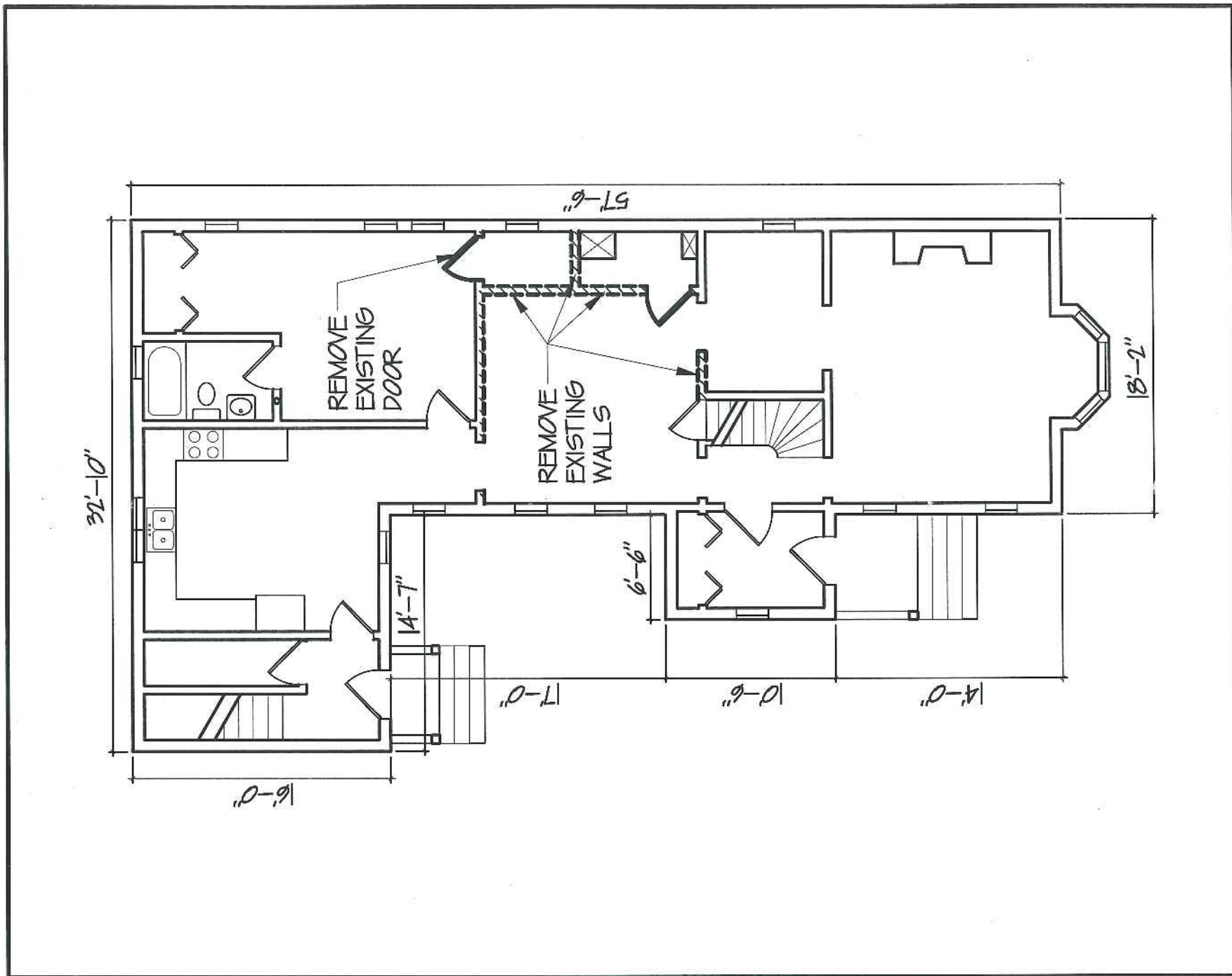
DRAWN BY FAC 7/1/11

EXISTING SITE

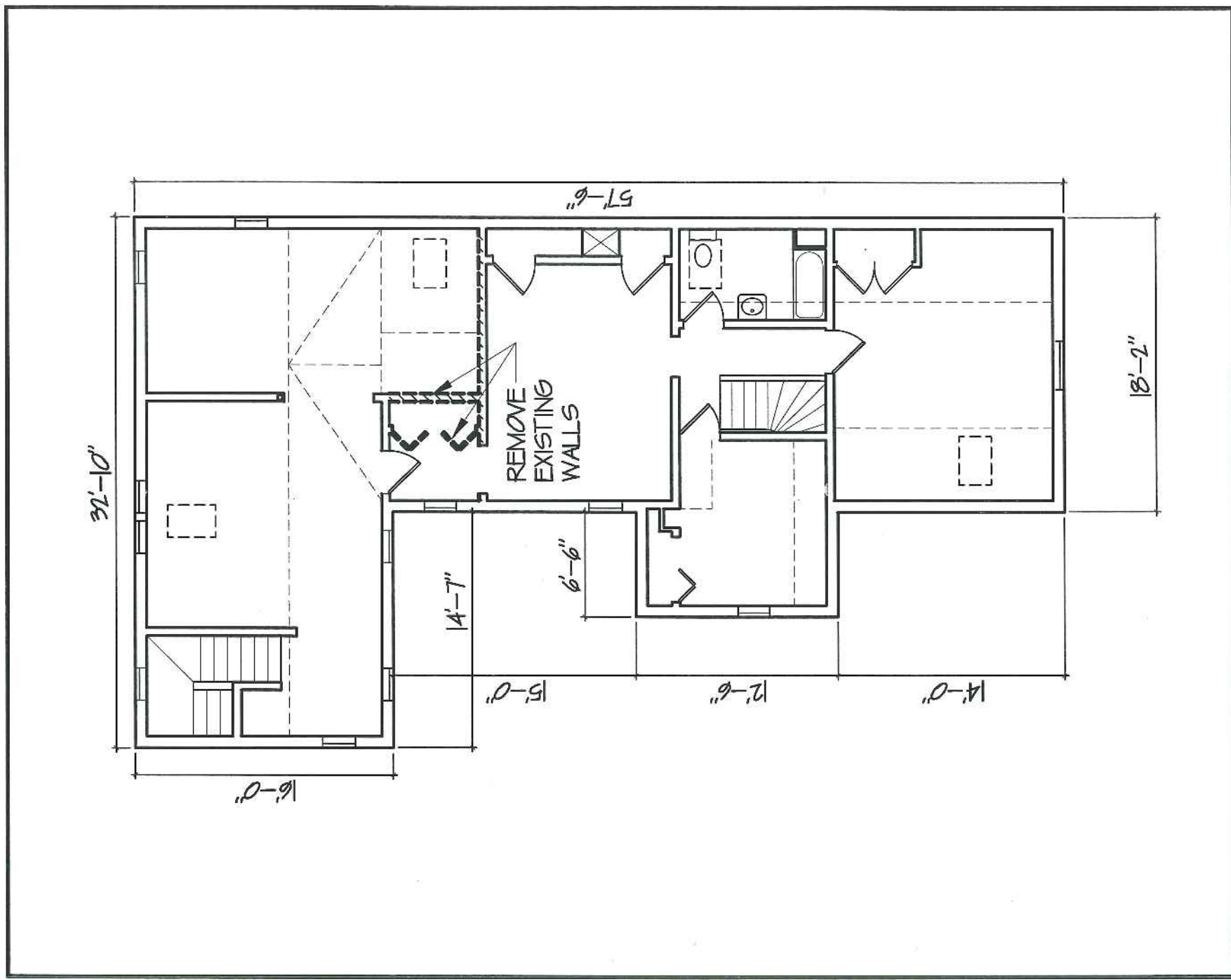
SHFT 001



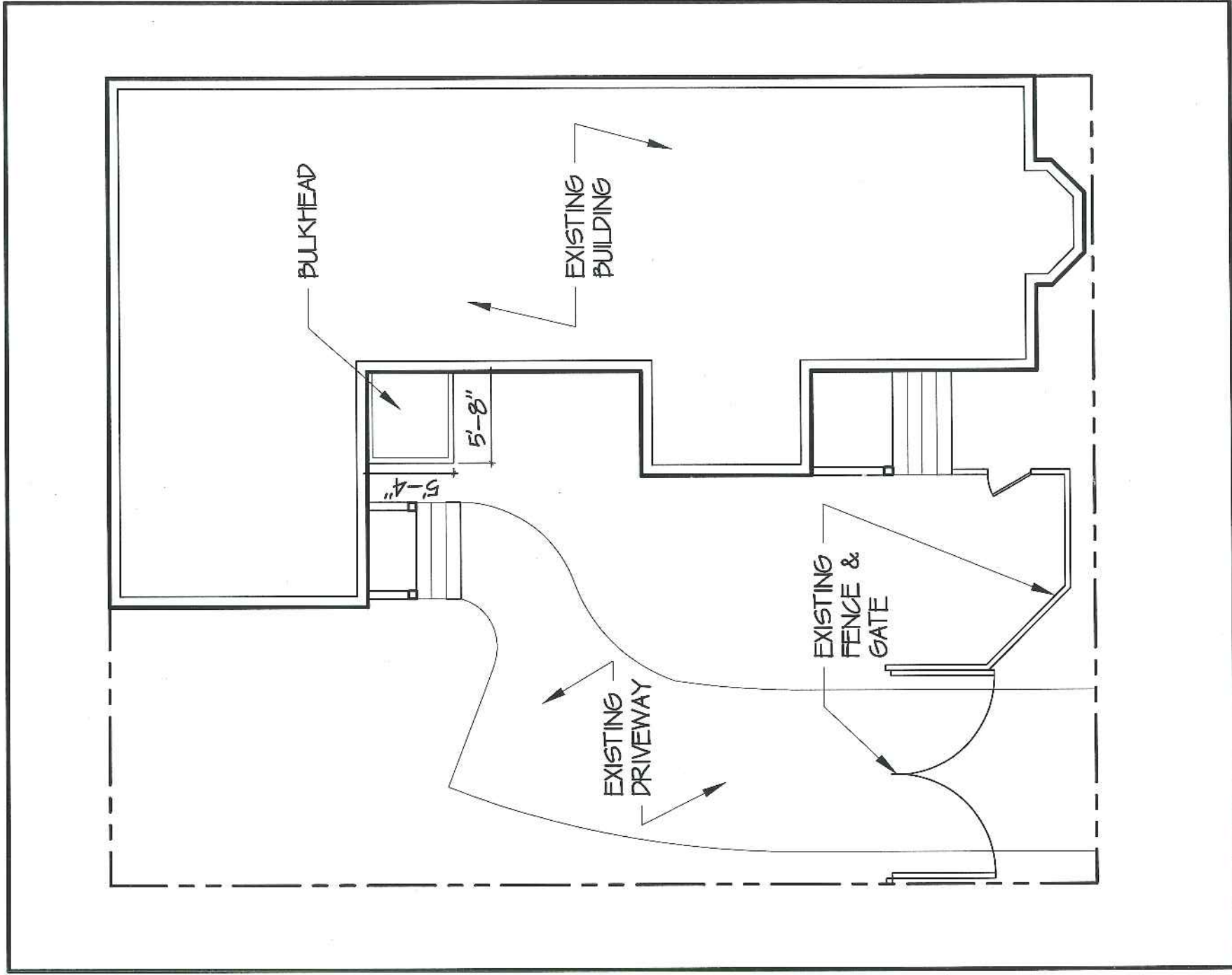
REMOVE EXISTING FOUNDATION AS REQUIRED FOR BULKHEAD



30 MUNJOY STREET EXISTING 1ST FLOOR PLAN SHEET D11
 BILD ARCHITECTURE DRAWN BY FAC 7/1/11



30 MUNJOY STREET EXISTING 2ND FLOOR PLAN SHEET D12
 BID ARCHITECTURE DRAWN BY FAC 7/1/11



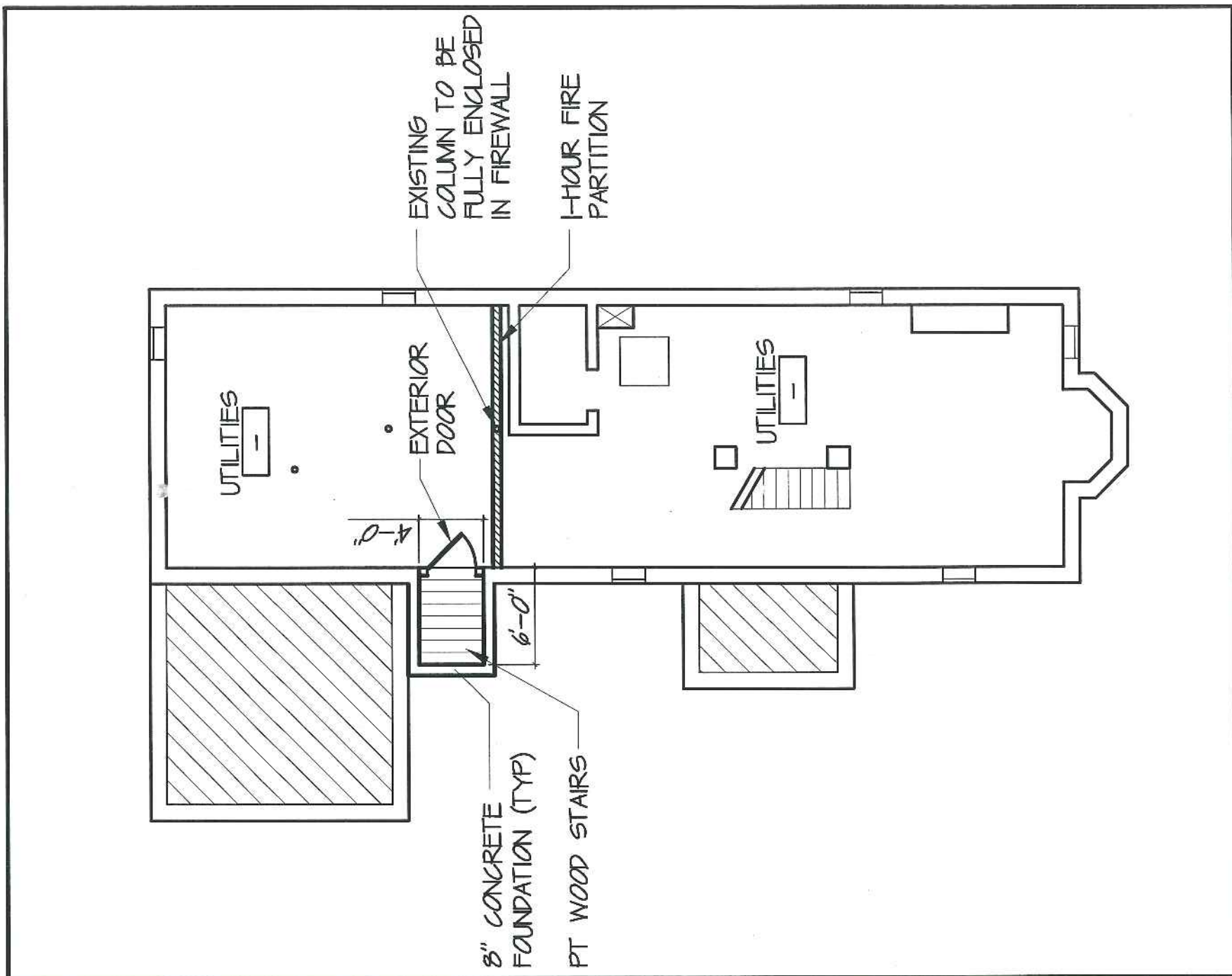
30 MUNJOY STREET

BILL D ARCHITECTURE

DRAWN BY FAC 7/1/11

SITE PLAN

SHEET A01



EXISTING COLUMN TO BE FULLY ENCLOSED IN FIREWALL

1-HOUR FIRE PARTITION

UTILITIES

EXTERIOR DOOR

4'-0"

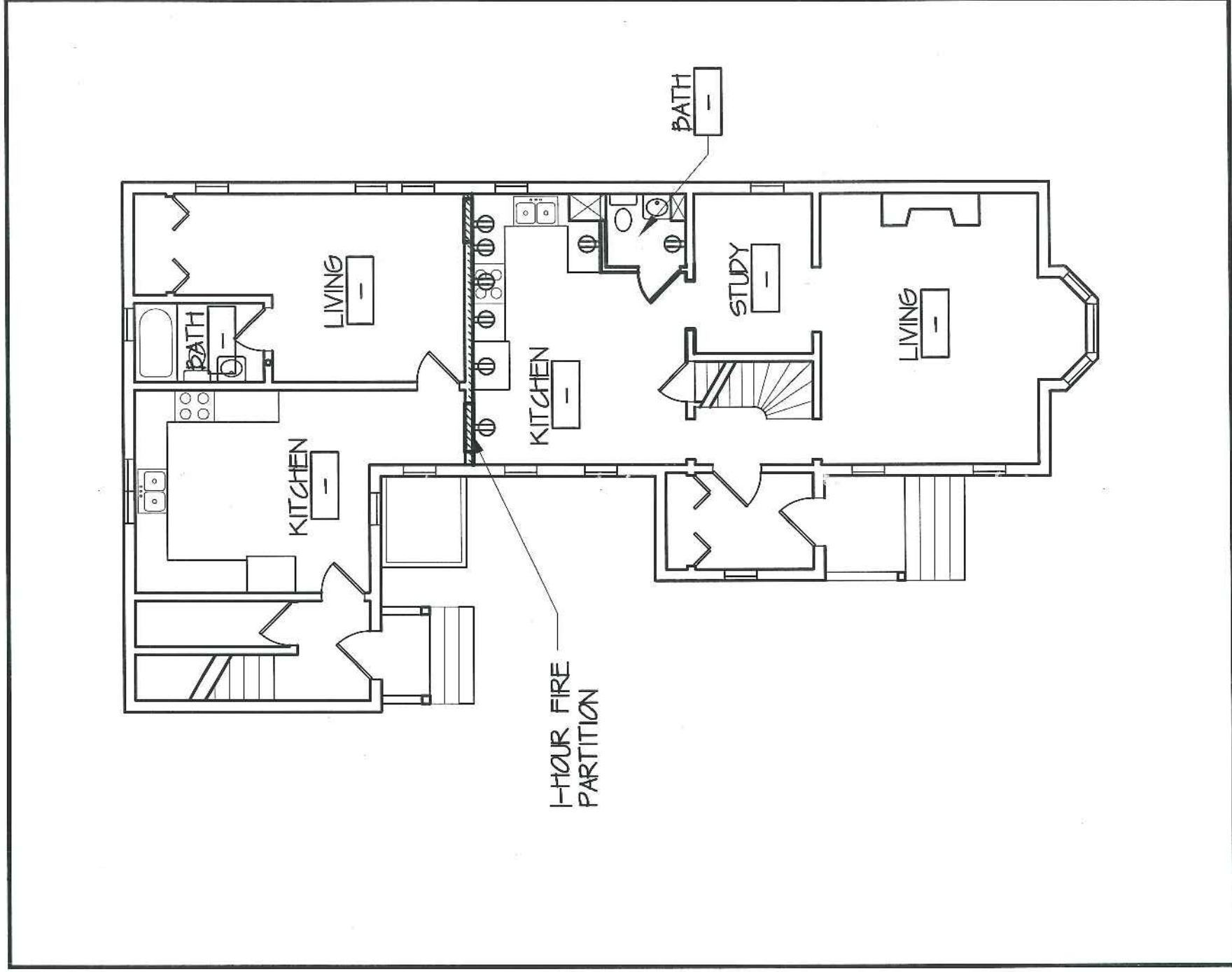
UTILITIES

8" CONCRETE FOUNDATION (TYP)

PT WOOD STAIRS

6'-0"

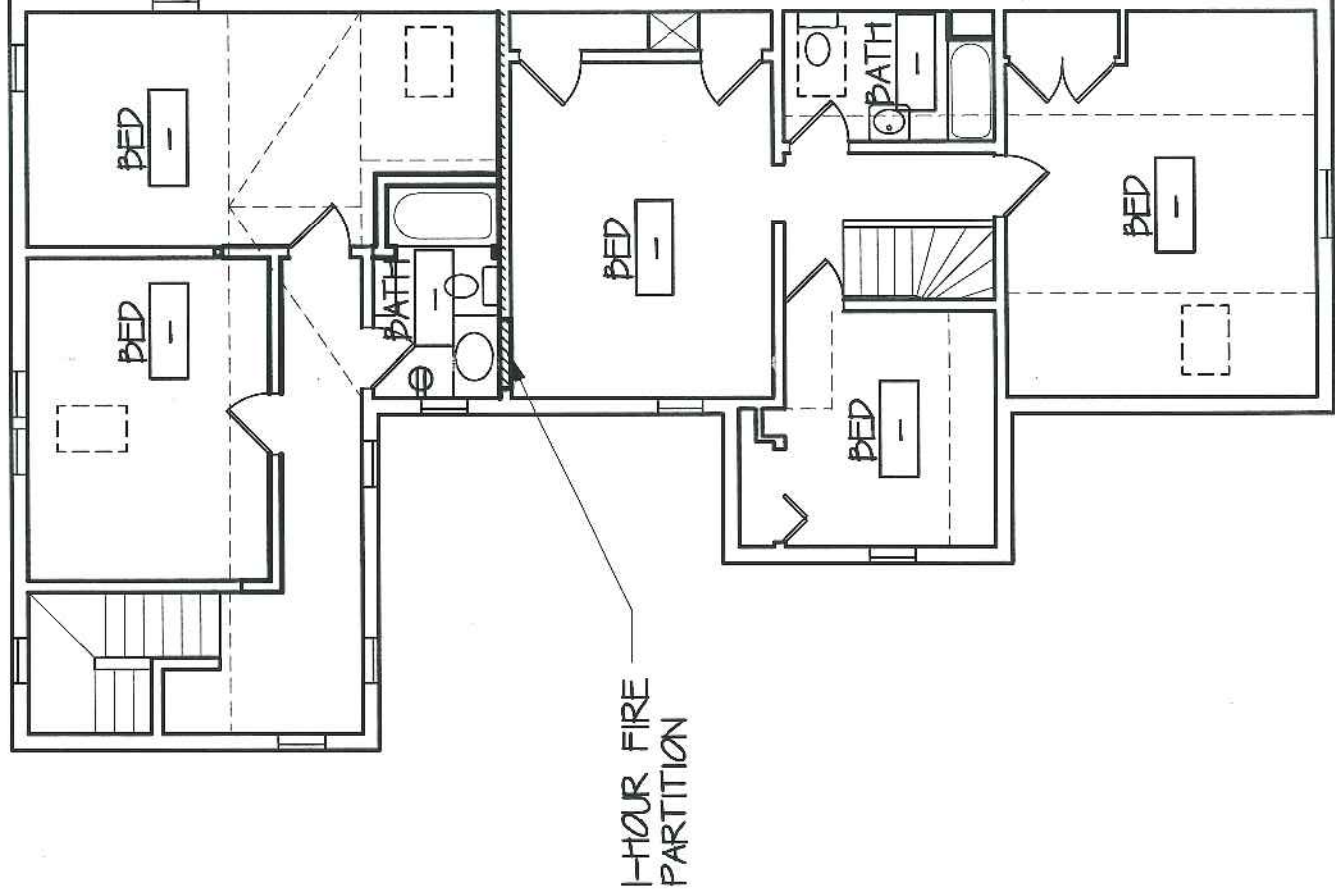
30 MUNJOY STREET
 BILD ARCHITECTURE
 BASEMENT PLAN
 DRAWN BY FAC 7/1/11
 SHEET A10



30 MUNJOY STREET
BID ARCHITECTURE

1ST FLOOR PLAN
SHFTT AII

DRAWN BY FAG 7/1/11



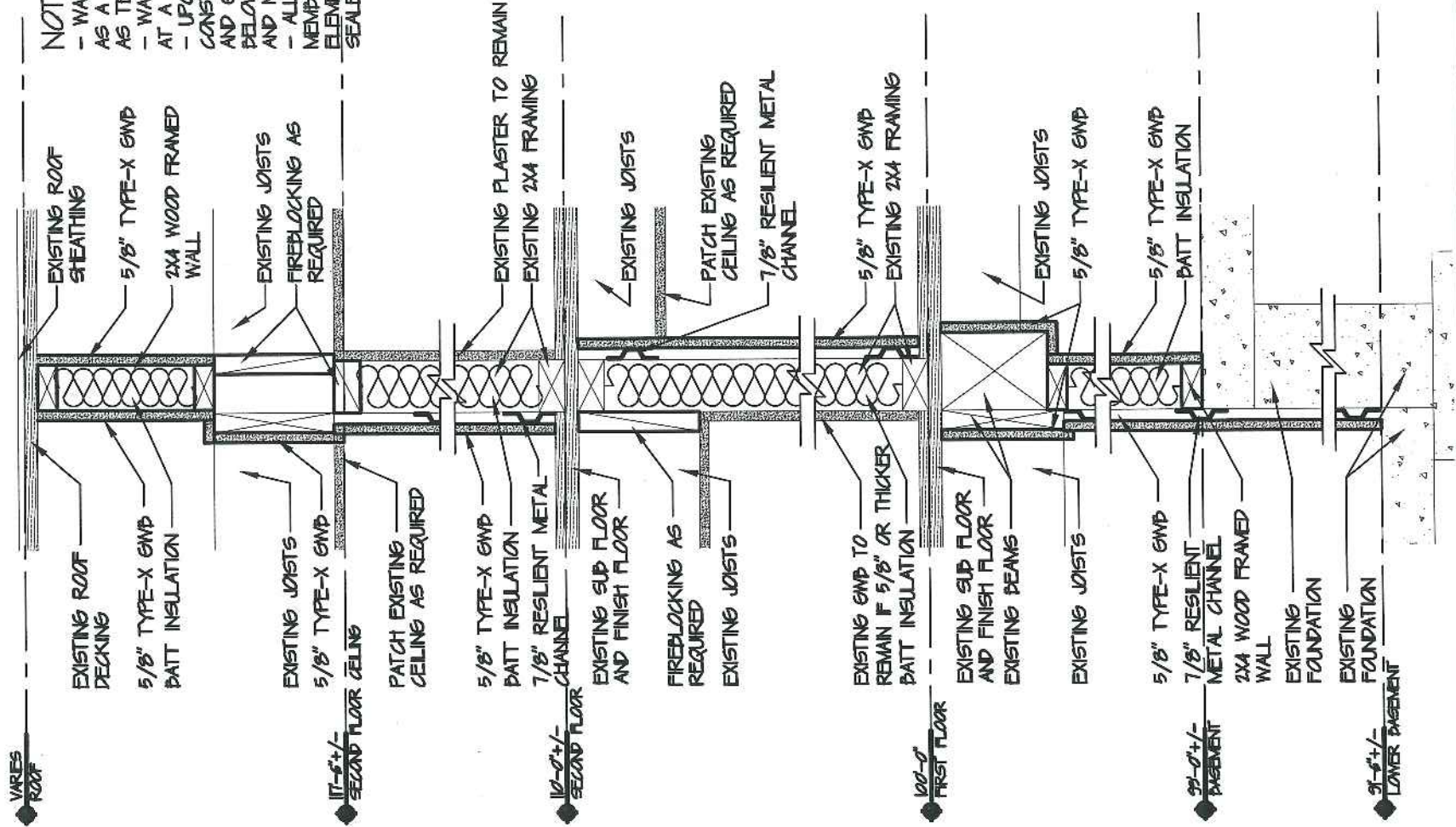
30 MUNJOY STREET

BJD ARCHITECTURE

2ND FLOOR PLAN

DRAWN BY FAG 7/1/11

SHFTT A12



NOTES:

- WALL ASSEMBLY MUST PERFORM AS A 1-HOUR RATED FIRE PARTITION AS TESTED BY UL263 STANDARDS
- WALL ASSEMBLY MUST PERFORM AT A STC-45 FOR SOUND PRIVACY UPON INVESTIGATION DURING CONSTRUCTION. EXISTING PLASTER AND GWP MAY BE FOUND TO BE BELOW FIRE RATING STANDARDS AND MAY NEED TO BE REPLACED.
- ALL PENETRATIONS IN WALL MEMBRANE BY PIPING OR OTHER ELEMENTS MUST BE PROPERLY FIRE SEALED.

Shukria Wiar - 30 Munjoy Street Site Plan

From: Evan Carroll <evan@bildarchitecture.com>
To: Marge Schmuckal <mes@portlandmaine.gov>
Date: 7/12/2011 4:09 PM
Subject: 30 Munjoy Street Site Plan
CC: Clare Lygo Yarn <clareyar@maine.rr.com>
Attachments: 30 Munjoy Street - A0.1 - Site Plan - 07.12.11.pdf

Good afternoon, Marge.

I believe that you recently spoke with Clare Yarn about a site plan showing parking spaces for 30 Munjoy Street. I just called and left you a message, but I thought it might be good to go ahead and email the drawing to you as well.

Also, as I understand it, you are looking for an administrative authorization to the site review. This has been submitted to the planning office and I have a call into Barbara Barhydt to check on it's progress.

Please feel free to contact me by phone or by email.

Thank you,
Evan

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Evan Carroll, AIA
Principal Architect

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207-408-0168

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