2. Contractor is responsible for the construction of a complete weather tight building within the scope of the construction documents. If contractor feels conformance with the construction documents is in conflict with this goal he shall discuss conflicts with Architect.

3. Contractor is responsible for coordinating and supervising all sub-contractors. Workmanship standards shall be those generally accepted for high-grade custom multi-family residential construction. Contractor warranties all work for a minimum of one year from final completion of job. Other explicit warranties may be in addition to above.

BUILDING CODES (COMMERCIAL)

APPLICABLE BUILDING CODES: Locality: PORTLAND, ME Cumberland County, Maine Local Code Enforcement Officer: City of Portland Room 306 City Hall Congress Street Maine Uniform Building and Energy Code (MUBEC) and state amendments based on: Building- 2009 International Building Code (excluding Chapters 11, 20-22, 24-40, 43) IEBC- 2009 Energy- 2009 International Energy Conservation Code Fire - NFPA 101, 2009 Electrical - NFPA 1 Portland City Code- Chapter 10- Fire Prevention and Protection

See Zoning Analysis sheet A-0.1 for more information

Plumbing - Maine State Plumbing Code

Non-Mandatory: ASHRAE 62.2 - 2007 (Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings) Radon Control - ASTM-E-1465-06 Standard Practice For Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings

DESIGN LOADS (IBC 2009, MUBEC)

OTHER APPLICABLE DESIGN CRITERIA Ground snow load: 50psf (R301.2(5)) Wind speed: 90 mph (R301.2(4)) Frost depth: 48" (Local Building Practice) Seismic category: B (R301.2(2)) Termite Infestation Probability: None to slight (R301.2(6)) Weathering for concrete: Severe (R301.2(3))

ADDITIONAL STRUCTURAL NOTES see Shee t S-1.1

MINIMUM INSULATION VALUES (IECC 2009 table 402.1.1) Climate zone: 6A-Moist (IECC 301.1) Windows / doors: U-value 0.35 Roofs/ Ceilings: R-49 Walls (wood framed): R-20 (total) or R13 + R5 Walls (CMU): R-5 (ext), R-10 (int) Floors: R-30 Basement Walls: R-15 (on wall) R-19 (if cavity) Slab-on-grade: R-10 Crawl space walls: R-10 (on wall)

Above Finished Floor

COMMON ABBREVIATIONS

Bottom of

Typical

Top of

Verify in Field

AFF

B.O.

T.O.

VIF

CMU Concrete Masonry Unit CEO Code Enforcement Officer CFCI Contractor Furnished, Contractor Installed ETR Existing to Remain GYP Gypsum Board IBC International Building Code IECC International Energy Conservation Code IRC International Residential Code MIN Minimum MAXMaximum MUBEC Maine Uniform Building and Energy Code OFCI Owner Furnished, Contractor Installed PT Pressure-Treated PSF Pounds per square foot PSI Pounds per square inch T.O. Top of TYP









PROJECT NARRATIVE

Currently the existing building is a 4 unit multifamily apartment building w/ rear covered decks and storage rooms and a gravel driveway. Renovations shall include the following to provide 3- condominiums:

> - Interior demolition of walls, kitchens, bathrooms and existing wall finishes as required by documents.

- New interior rated and non-rated walls as per documents.

- Existing exit stair shall remain from ground floor to third floor. A New Stair shall extend from Basement to Ground Level and third floor to Roof.

- Roof demo. as required by new Stair. - Rear Deck and Storage Rooms shall be removed. New Full Width Decks shall be Built.

- Install new asphalt driveway and planting areas as per site plan.

- Removed existing front stairs and porch roof and rebuild new Stair and Roof.

SHEET INDEX

ID Name

CS COVER SHEET

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SP-02 NEW SITE PLAN

ECS... EXISTING CONDITIONS SURVEY EX-1.1 EXISTING CONDITIONS

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A-1.0 DEMOLITION PLANS

A-1.1 FLOOR PLANS A-1.2 FLOOR & ROOF PLANS

A-1.3 WINDOW SCHEDULES

A-1.4 DOOR SCHEDULE

A-1.5 ROOM FINISH SCHEDULE

A-1.6 SCHEDULES

A-1.7 ELECTRICAL REFLECTED CEILING PLANS

A-1.8 ELECTRICAL REFLECTED CEILING PLAN

A-2.1 PROPOSED ELEVATIONS

A-3.1 BUILDING SECTION

A-4.1 DETAILS

A-5.1 3D VIEWS

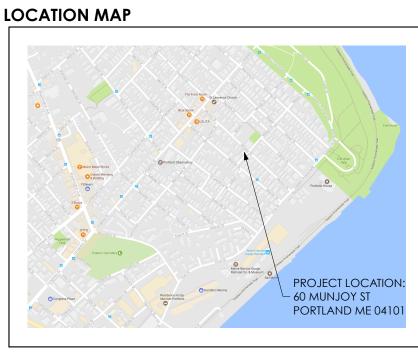
S-1.0 GENERAL NOTES, ETC.

S-1.1 FOUNDATION AND GROUND FLOOR FRAMING PLANS

S-1.2 SECOND AND THIRD FLOOR FRAMING PLANS

S-1.3 MAIN ROOF AND HIGH ROOF FRAMING PLANS

S-2.1 DETAILS



PROJECT ARCHITECT Caleb Johnson Architects + Builders 265 Main Street Ste 201 Biddeford, ME 04005 207-283-8777

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Point of Contact: Michael Chestnutt (C) 207-756-4153 michael@cjab.me

OWNER:

SUSAN GRISANTI #Client Full Address #Client Phone Number

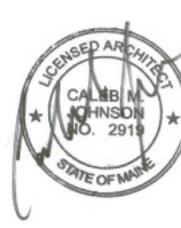
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ST

MUNJOY