

GENERAL NOTES:

- Contractor will review all drawings and specifications and confirm any unclear information with the Architect before proceeding. Sheets are not to be separated when distributed to subcontractors in order to maintain contextual information.
- Contractor is responsible for the construction of a complete weather tight building within the scope of the construction documents. If contractor feels conformance with the construction documents is in conflict with this goal he shall discuss conflicts with Architect.
- Contractor is responsible for coordinating and supervising all sub-contractors. Workmanship standards shall be those generally accepted for high-grade custom multi-family residential construction. Contractor warrants all work for a minimum of one year from final completion of job. Other explicit warranties may be in addition to above.

BUILDING CODES (COMMERCIAL)

APPLICABLE BUILDING CODES:
 Locality: PORTLAND, ME
 Cumberland County, Maine
 Local Code Enforcement Officer:
 City of Portland
 Room 306
 City Hall
 Congress Street

Maine Uniform Building and Energy Code (MUBEC) and state amendments based on:
 Building- 2009 International Building Code (excluding Chapters 11, 20-22, 24-40, 43)
 IEBC- 2009
 Energy- 2009 International Energy Conservation Code
 Fire - NFPA 101, 2009
 Electrical - NFPA 1
 Portland City Code- Chapter 10- Fire Prevention and Protection
 Plumbing - Maine State Plumbing Code

Zoning:
 See Zoning Analysis sheet A-0.1 for more information

Non-Mandatory:
 ASHRAE 62.2 - 2007 (Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings)
 Radon Control - ASTM-E-1465-06 Standard Practice For Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings

DESIGN LOADS (IBC 2009, MUBEC)
 Live Load: 40psf

OTHER APPLICABLE DESIGN CRITERIA
 Ground snow load: 50psf (R301.2(5))
 Wind speed: 90 mph (R301.2(4))
 Frost depth: 48" (Local Building Practice)
 Seismic category: B (R301.2(2))
 Termite Infestation Probability: None to slight (R301.2(6))
 Weathering for concrete: Severe (R301.2(3))

ADDITIONAL STRUCTURAL NOTES
 see Shee 1 S-1.1

MINIMUM INSULATION VALUES (IECC 2009 table 402.1.1)
 Climate zone: 6A-Moist (IECC 301.1)
 Windows / doors: U-value 0.35
 Roofs/ Ceilings: R-49
 Walls (wood framed): R-20 (total) or R13 + R5
 Walls (CMU): R-5 (ext), R-10 (int)
 Floors: R-30
 Basement Walls: R-15 (on wall) R-19 (if cavity)
 Slab-on-grade: R-10
 Crawl space walls: R-10 (on wall)

COMMON ABBREVIATIONS

AFF	Above Finished Floor
B.O.	Bottom of
CMU	Concrete Masonry Unit
CEO	Code Enforcement Officer
CFCI	Contractor Furnished, Contractor Installed
ETR	Existing to Remain
GYP	Gypsum Board
IBC	International Building Code
IECC	International Energy Conservation Code
IRC	International Residential Code
MIN	Minimum
MAX	Maximum
MUBEC	Maine Uniform Building and Energy Code
OFICI	Owner Furnished, Contractor Installed
PT	Pressure-Treated
PSF	Pounds per square foot
PSI	Pounds per square inch
T.O.	Top of
TYP	Typical
T.O.	Top of
VIF	Verify in Field



1 EXISTING CORNER VIEW
 SCALE: 1:0.83



2 PROPOSED CORNER VIEW
 SCALE: 1:0.32

PROJECT NARRATIVE

Currently the existing building is a 4 unit multi-family apartment building w/ rear covered decks and storage rooms and a gravel driveway. Renovations shall include the following to provide 3- condominiums:

- Interior demolition of walls, kitchens, bathrooms and existing wall finishes as required by documents.
- New interior rated and non-rated walls as per documents.
- Existing exit stair shall remain from ground floor to third floor. A New Stair shall extend from Basement to Ground Level and third floor to Roof.
- Roof demo, as required by new Stair.
- Rear Deck and Storage Rooms shall be removed. New Full Width Decks shall be Built.
- Install new asphalt driveway and planting areas as per site plan.
- Removed existing front stairs and porch roof and rebuild new Stair and Roof.

SHEET INDEX

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CS	COVER SHEET
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SP-02	NEW SITE PLAN
ECS...	EXISTING CONDITIONS SURVEY
EX-1.1	EXISTING CONDITIONS
A-0.1	ORDINANCE AND CODES
A-1.0	DEMOLITION PLANS
A-1.1	FLOOR PLANS
A-1.2	FLOOR & ROOF PLANS
A-1.3	WINDOW SCHEDULES
A-1.4	DOOR SCHEDULE
A-1.5	ROOM FINISH SCHEDULE
A-1.6	SCHEDULES
A-1.7	ELECTRICAL REFLECTED CEILING PLANS
A-1.8	ELECTRICAL REFLECTED CEILING PLAN
A-2.1	PROPOSED ELEVATIONS
A-3.1	BUILDING SECTION
A-4.1	DETAILS
A-5.1	3D VIEWS
S-1.0	GENERAL NOTES, ETC.
S-1.1	FOUNDATION AND GROUND FLOOR FRAMING PLANS
S-1.2	SECOND AND THIRD FLOOR FRAMING PLANS
S-1.3	MAIN ROOF AND HIGH ROOF FRAMING PLANS
S-2.1	DETAILS

LOCATION MAP



PROJECT ARCHITECT

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