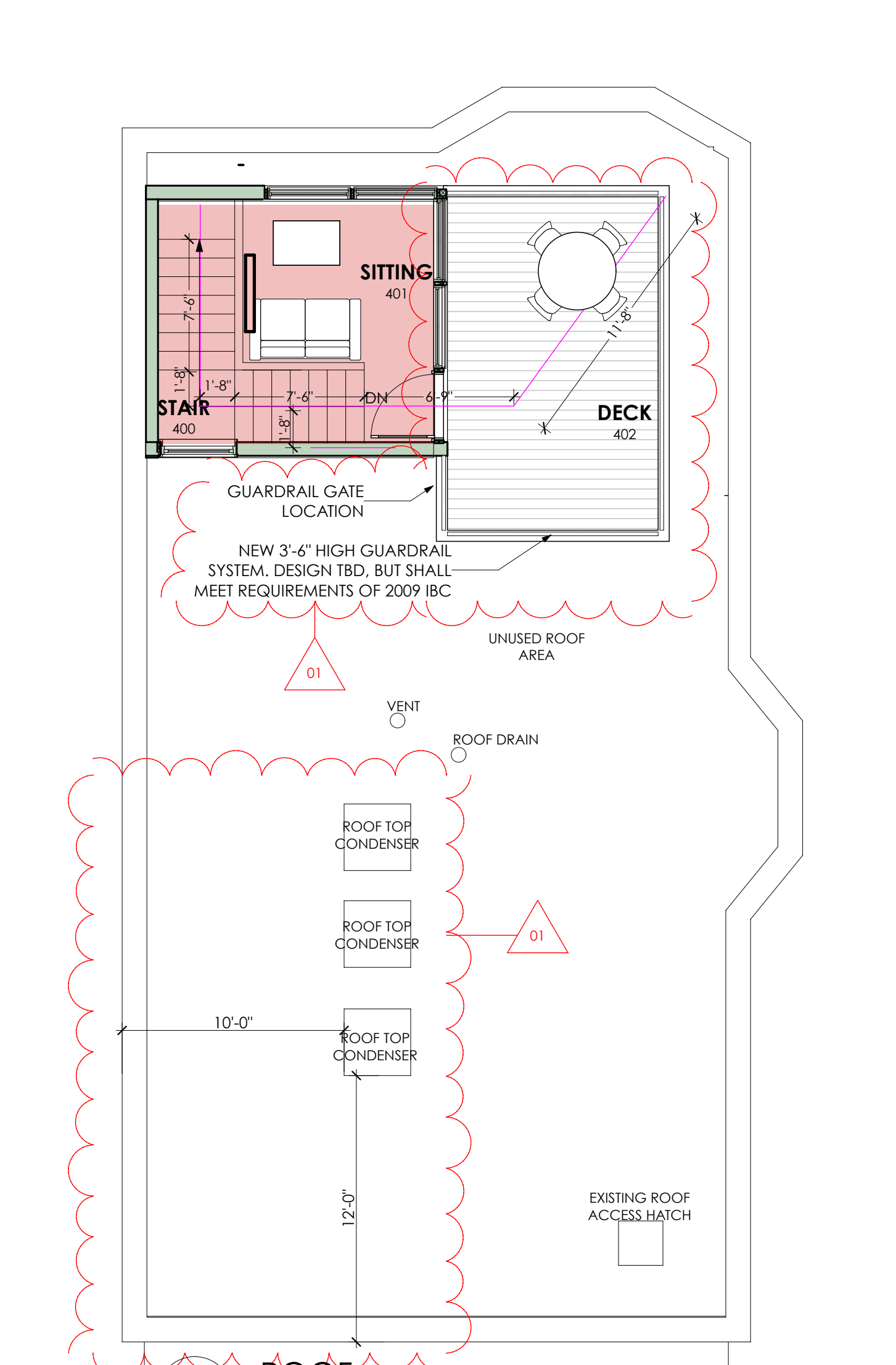
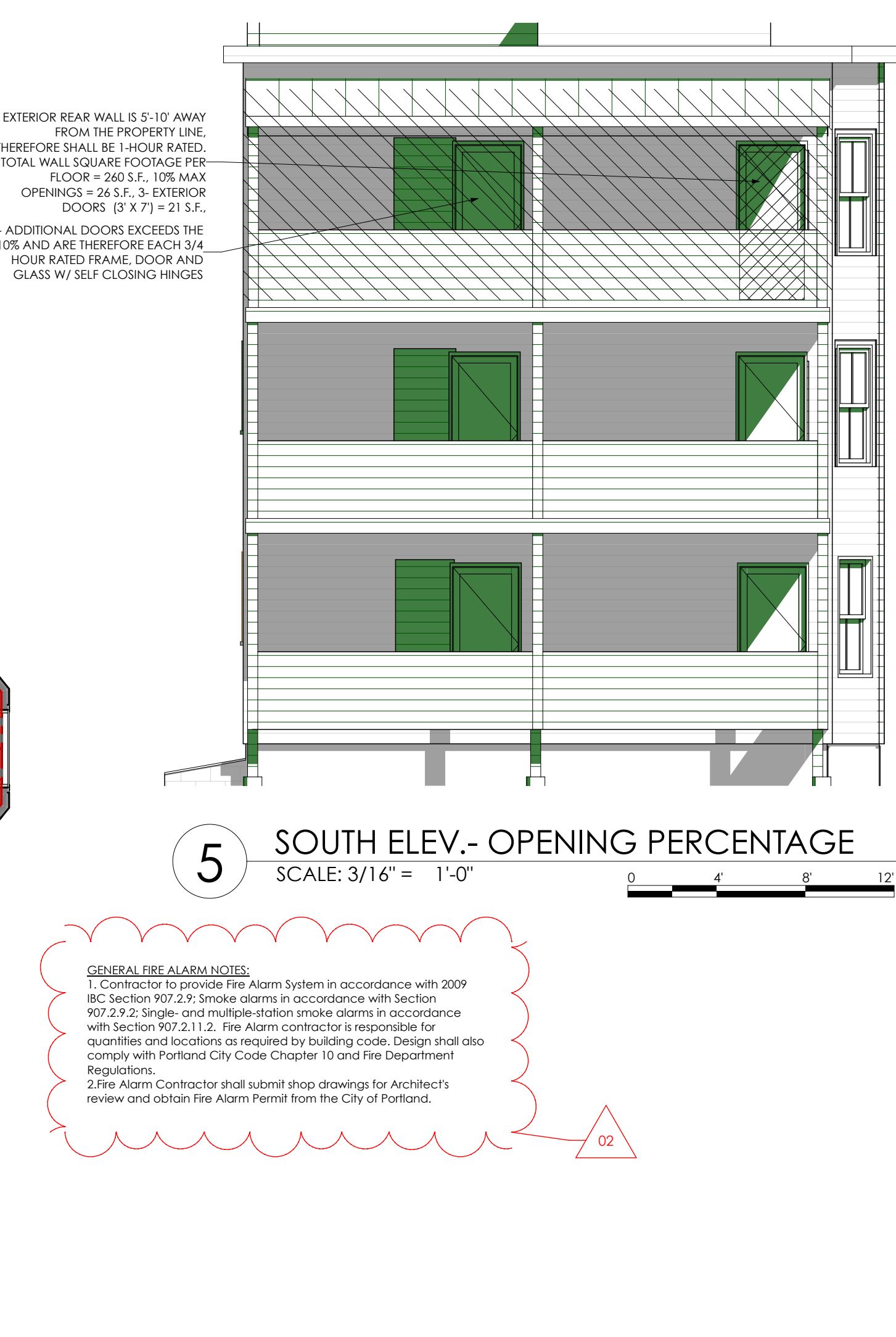
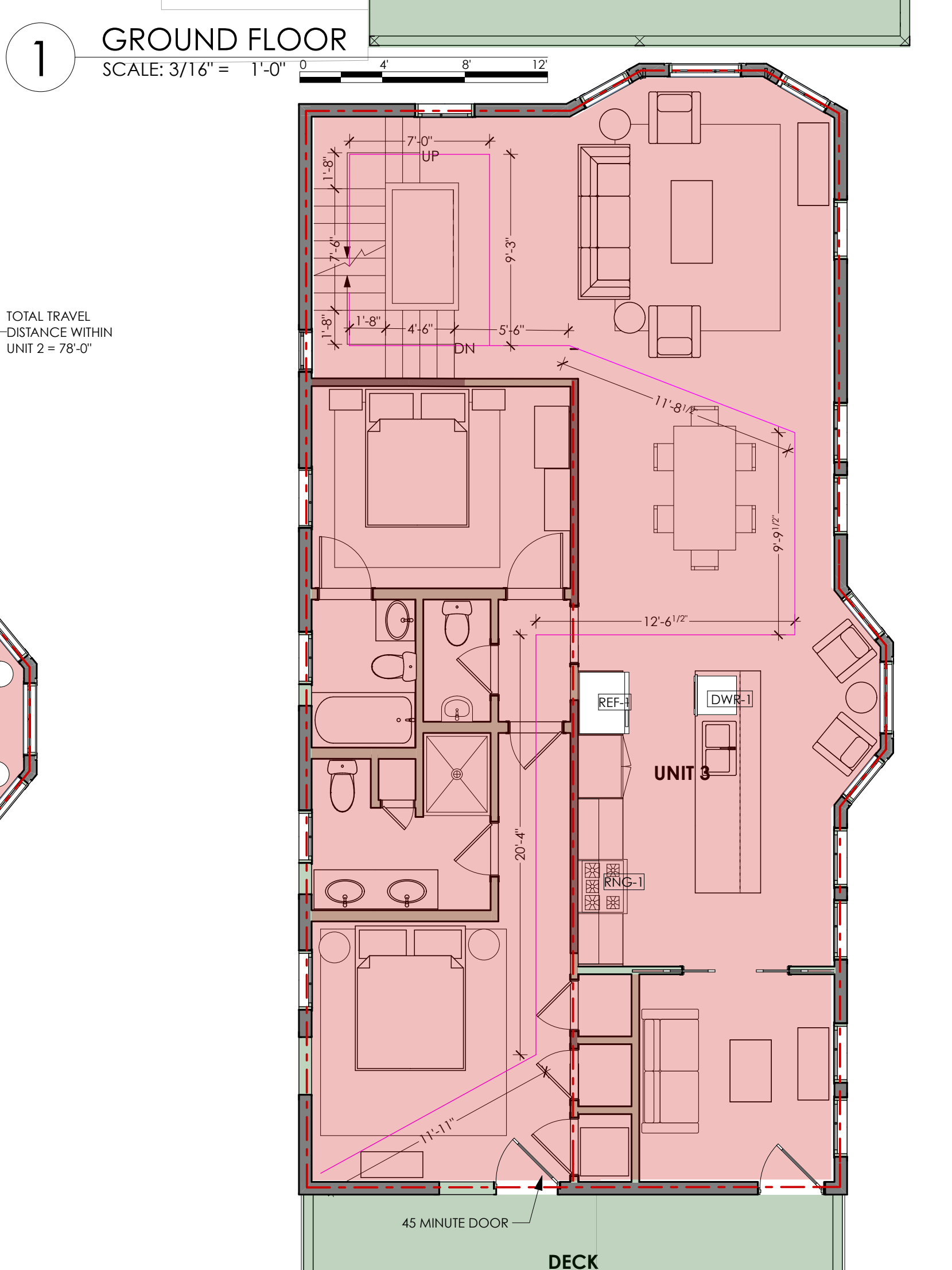
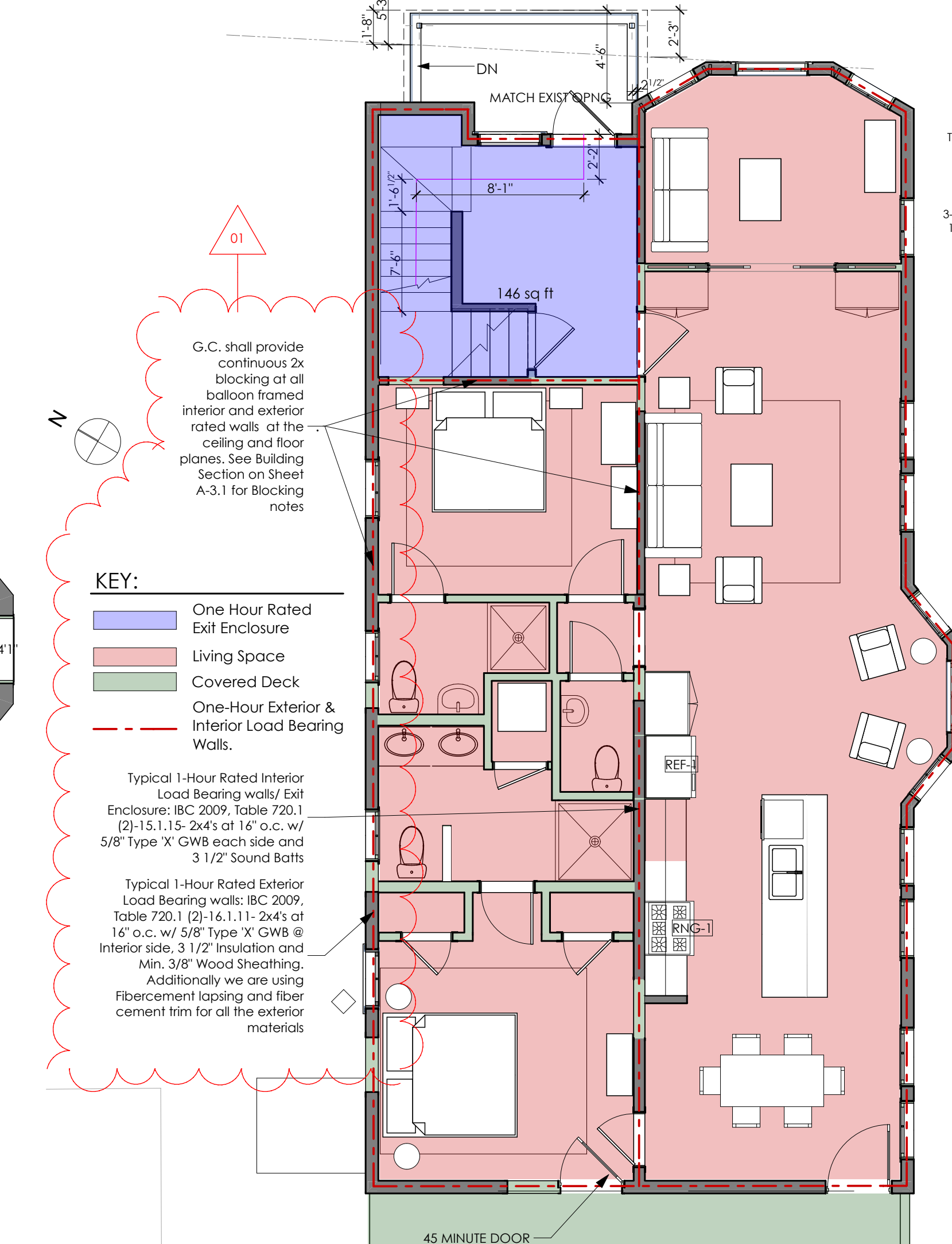
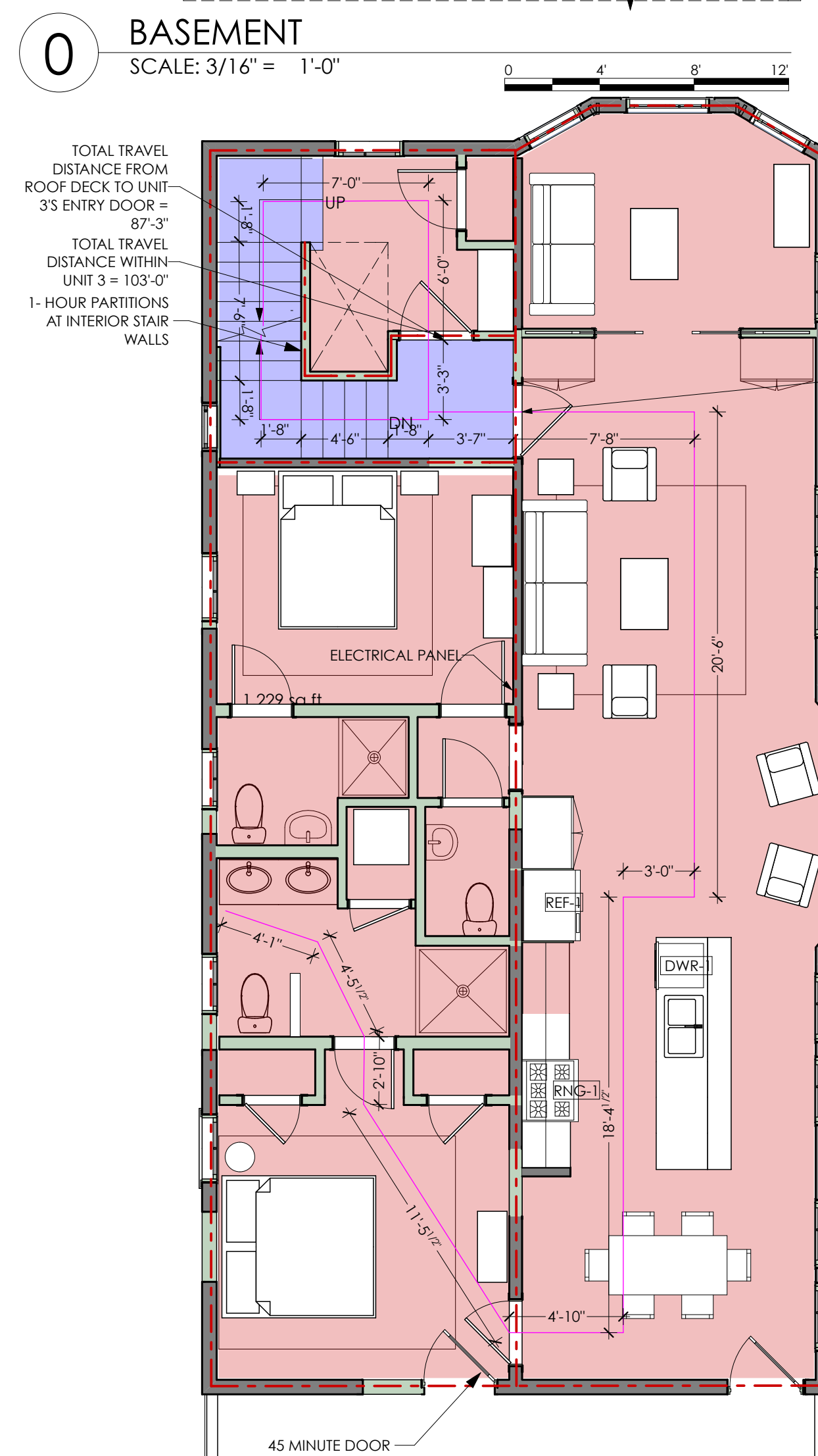
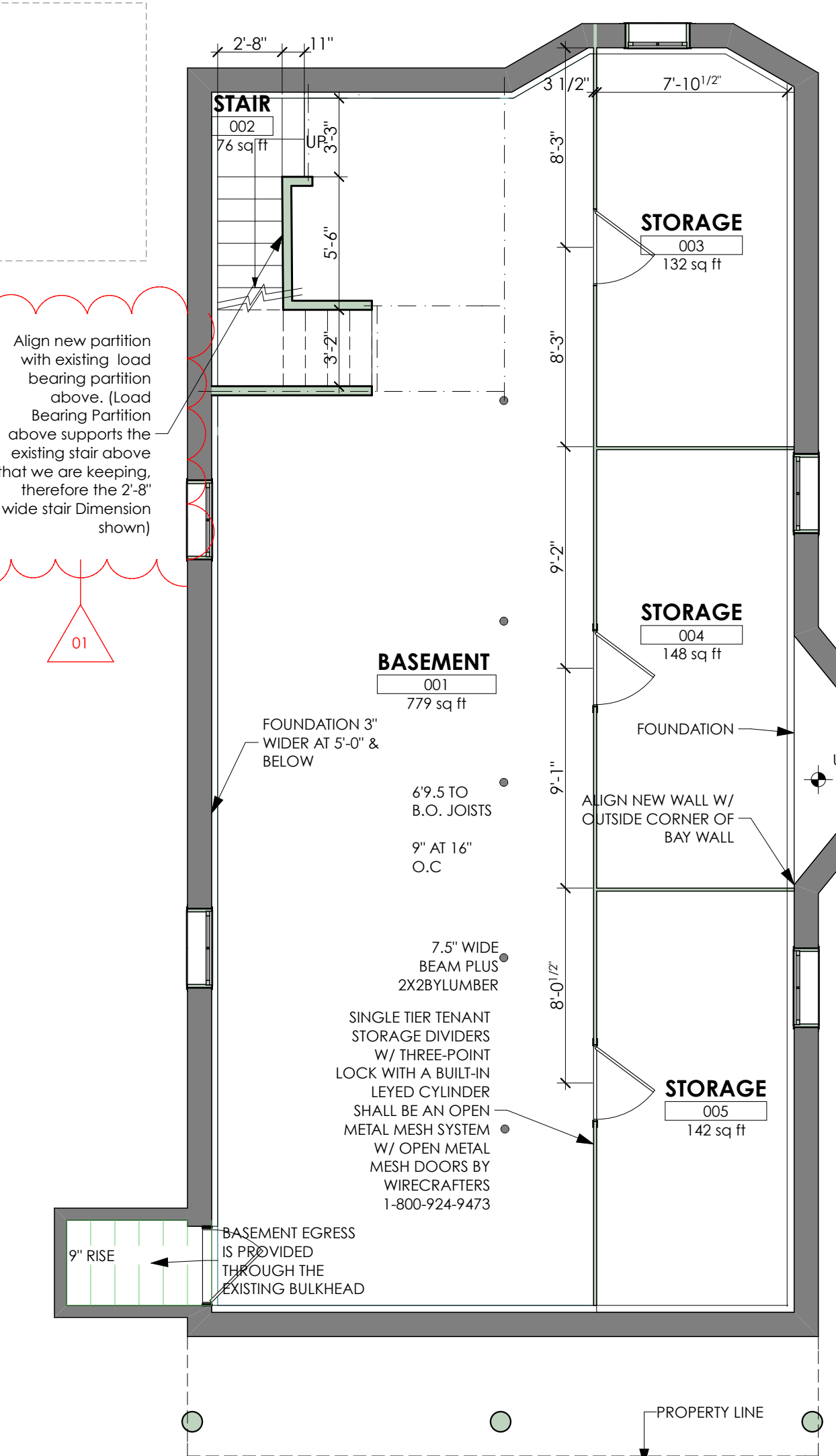


Volumes/Network Files/CJAB/PROJECTS/B COMMERCIAL-STUDIO/1 Current Projects/Grisanti Munjoy S/1 DESIGN/DRAWINGS/5 Cb/ARCHICAD/Grisanti CD 9.22.17 A C20 Dark Exterior.pjn



- Applicable Codes:
 City of Portland, Maine Code of Ordinances
 Maine Uniform Building and Energy Code (MUBEC)
 2009 International Residential Code (IRC)
 2009 International Building Code (IBC)
 2009 International Existing Building Code (IEBC)
 2009 International Energy Conservation Code (IECC)
 American Society of Heating, Refrigerating & Air-Conditioning Engineers (ASHRAE) Standards
 2007 ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality
 2007 ASHRAE 62.2 - Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings
 2007 ASHRAE 90.1 - Energy Standard for Buildings except Low Rise Residential Buildings w/out addenda
 2006 E-1465 Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings

CODE REVIEW SUMMARY:
 Portland Ordinance Review:
 ITEM: CITY OF PORTLAND, MAINE CODE OF ORDINANCES
 Zoning: Zone: R-6
 Minimum Lot Size: 2,000 sq ft / 750 sq ft per dwelling
 Minimum Street Frontage: 20 ft
 Minimum Side Street Yard Setback: 0 ft / 10 ft
 Minimum Rear Yard Setback: 10 ft
 Parking: 0 in R-6 (otherwise 1 space per unit)
 Maximum Building Footprint: 60% / 1,873.2 sq ft
 Minimum Landscaped Open Space (not parking): 20% / 624.4 sq ft
 Maximum Building Height: 45 ft
 Structure Setbacks: Above 35'-10" from side property line, 15' from rear property line when abuts residential zone. Does not apply to side yards on side streets

ACTUAL:
 3,122 sq ft (4 units allowable)
 50 ft
 0 ft and 21 ft
 0 ft - Nonconforming
 2
 1,565 sq ft (not including street side deck & steps)
 0% - Nonconforming
 32'-2" grade to bottom of cornice

ITEM #	SECTION	REQUIREMENT/CONDITION	2009 NFPA 101 - Life Safety Code	PROPOSED COMPLIANCE	
1.0	USE AND OCCUPANCY	Basement: Unoccupiable Ground Floor: R-2 Residential - Apartments Second Floor: R-2 Residential - Apartments Third Floor: R-2 Residential - Apartments Roof Deck: R-2 Residential - Apartments	Residential: Apartment Building Residential: Apartment Building Residential: Apartment Building Residential: Apartment Building	No Change in Use No Change in Use No Change in Use No Change in Use	
2.0	CONSTRUCTION TYPE & GENERAL BUILDING HEIGHT AND AREA LIMITATIONS	Construction Type: 602.5 Type V-A (Existing) Area Limitation: Group R-2: V-A: 12,000 sq ft per story. Story Limitation: Group R-2: V-A: 3 stories, increase up to 4 stories w/ sprinkler and 1-hour rated exterior walls. Height Limitation: Group R-2: V-A: 40 ft, increase up to 60 ft w/ sprinkler.	Table A.8.2.1.2 Type V (Existing) R-2: V-A 12,000 sq ft per story. NFPA 5000 7.4.1 NFPA 5000 not adopted by the Maine State Fire Marshal's Office NFPA 5000 7.4.1 NFPA 5000 not adopted by the Maine State Fire Marshal's Office	No Change of Use. Construction Type shown for compliance with current standards. Existing gross floor area = 1,420 s.f. 41'-7" Proposed	
3.0	BUILDING SEPARATION & EXPOSURE PROTECTION	Exterior Walls: Load Bearing & Non-load bearing: Table 602 Fire Resistance: Table 602.4	Rear Wall 5' to 10' from property line so wall shall = 1 hr. NFPA 101 7.10.1	All Exterior Walls will have a 1 hr. rating. UK Design U330. Door Openings that are required shall be self-closing 3/4 Hour. See Exterior Elevation S/A.0.1.	
4.0	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS	Fire Resistance: Table 601	Table A.8.2.1.2	1-hour ratings for Exterior and Interior Load Bearing walls. Roof Construction and roof construction shall be provided.	
5.0	FIRE AND SMOKE PROTECTION FEATURES	Automatic Sprinkler Systems: 903/903.2.8 Corridor Construction: 1018.1 Sleeping Unit Separation: 420.2/709.3 ex 2 Exit Stair Enclosure: 1022.1/1022.6	Sprinkler system required for Group R 1 hour w/ No Reduction for 13R System 1 hr required, if Units are adjacent to each other. No Reduction w/ 13R System Exit Enclosures shall have a fire-resistance rating of not less than 1-hour if it connects less than 4 stories.	Option #4: Buildings Protected Through-out by an Approved Automatic Sprinkler System Exit Access Corridors due not exist in this project because Unit Doors are directly adjacent to a Roted Fire Enclosure. Not Required: Apartments are made-up of an entire floor and are not adjacent to each other. Exit stairway requires walls with 1-hour fire separation and a 1-hour opening protection with self-closing doors.	
6.0	MEANS OF EGRESS	Occupant Load: 1004.1 Egress Width per Occupant: 1005.1 Minimum Door Widths: 1008.1.1 Common Path of Travel: 1014.3 Travel Distance: 1016.1 Spaces w/ 1 exit Access: 1015.1 Corridor Width: 1018.2 Dead End Corridors: 1018.4 Number of Exits and Continuity: 1021.1 Exit Discharge: 1027.1 Emergency Egress and Escape: 1021.2	200 sq ft gross per floor / 1,404 s.f. = 7 per floor for 3-Floors. Plus a 256 s.f. Roof Deck = 2 People. Total Occupant Load = 23 3" per person Stairways x 7 = 21" 2" per Person Horizontal 1' 4" 32" Minimum Clear Width R-2: 75 ft or 125 ft w/ sprinkler R-200 Feet or 250 Feet with sprinkler system R2 - maximum Occupant load 10, R-2 and 1015.1.1 one means of egress permitted from individual dwelling units w/ maximum Occupant Load of 20 w/ sprinklers. 44" min when occupancy > 50 36" min when occupancy < 50 20 Feet or 50 Feet with sprinkler system Exception 4. Group R-3 occupancy is allowed 1 means of egress if occupant load per floor is less than or equal to 20 Exits shall discharge directly to the exterior. One egress allowed if sprinkled and emergency escape and rescue openings have been provided.	7.3.1.2 200 sq ft gross per floor / 1,404 s.f. = 7 per floor for 3-Floors. Plus a 256 s.f. Roof Deck = 2 People. Total Occupant Load = 23 3" per person Stairways x 7 = 21" 2" per Person Horizontal 1' 4" 32" Minimum Clear Width 3' 0" + provided due to Occupant Load of 23 Provided of all doors for egress passage in new work areas. Common Path of Travel is 0'-0" because Unit Doors are directly adjacent to a Roted Fire Enclosure. Furthest travel Distance Outside Units is from roof deck to Exterior Door = 125'-0" 31.2.6 Within Apartment using Option 4: 125'-0" max. Max Distance other than Units = 200' 0" in Buildings protected through-out by an approved automatic sprinkler system 31.2.4.3 total number of spaces not to exceed 4 w/ sprinkler system. 7.4.3 44" min when occupancy > 50 36" min when occupancy < 50 29.2.5.5 50 Feet max. 31.2.4.5 Number of Exits: One allowed if all 7 conditions are met 7.7.1 Exits shall discharge directly to the exterior. Exit discharges directly to the exterior. All Bedrooms shall have either an egress window or a door that leads directly to a deck.	Actual Occupant load is anticipated at 3-4 per floor 3' 0" + provided due to Occupant Load of 23 Provided of all doors for egress passage in new work areas. Max. Distance within Apartment = 66'-0". Furthest travel max. Max Distance other than Units is from roof deck to Exterior Door = 125'-0"
7.0	SPECIAL OCCUPANCY REQUIREMENTS	Max. Area Exit: Wall opens based on fire separation distance and degree of opening protection: Table 705.8	5'-10" = 1 hr. Unprotected and Non-sprinkled = 10'-8"	Proposed Openings at Rear Elevation. See S/A-0.1 this sheet	
8.0	STAIRWAYS (IN AREAS OF NEW WORK)	Staircase Width Headroom: 1009.1 Stair Treads and Risers: 1009.2 Profile: 1009.4.5 Stairway Landings: 1009.5 Vertical Rise: 1009.7 Handrails: 1009.12 Handrail Height: 1012.2 Handrail Graspability: 1012.1 Handrail Extensions: 1012.6 Guard Rails: 10013.1 Guard Rail Height: 1013.2 Opening Limitations: 1013.3	44" Min (36" min. for <50 Occupants) 80" min headroom clearance 4" min < Riser < 7" max 11" min tread Risers shall be solid Required at top and bottom. Width and distance in direction of travel equal to or greater than stair width 12" max vertical rise between floors or landings. Handrails required on both sides 34" min and 36" max above stair tread nosing Must comply with Type 1 Must extend 12" beyond top riser and depth of 1 tread beyond bottom riser. Required on landings > 30" high 42" min 4" max opening	7.2.2.1.2 44" Min (36" min. for <50 Occupants) 7.2.2.1.1(a) 80" min headroom clearance. 7.2.2.1.1(a) 4" min < Riser < 7" max 11" min tread 7.2.2.3 Landing area can not decrease in the path of travel. Distance in direction of travel equal to or greater than stair width 7.2.2.1.1(a) 12" max vertical rise between floors or landings. 7.2.2.4.1 Handrails required on both sides. 7.2.2.4.1.1 34" min and 36" max above stair tread nosing 7.2.2.4.1.0 Must extend 12" beyond top riser and depth of 1 tread beyond bottom riser 7.2.2.4.2 42" min 7.2.2.4.3 4" max opening	All Stairways serve less than 50occups Stair meet rise and run requirements Stair meets landing requirements Proposed Stair is 9" 4" Floor to floor and 10" 4" floor to upper landing at roof deck interior landing. Stair Handrails meet requirements Stair Handrails meet requirements Stair Handrail extensions meet requirements Guards meet requirements Guards meet requirements

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STUDIO MANAGER: CALEB JOHNSON
PROJECT ARCHITECT: CALEB JOHNSON

CHANGES THIS ISSUE:
 ID: DESCRIPTION
 001 Revised Permit Set

ISSUE: 9/26/17
DATE: 9/26/17
REVISIONS: Revised Permit Set

CONSULTANTS: #Structural Engineering: Munjoy S/1
 #Portland, Maine: #Aron Jones

DRAFTSPERSON: Michael Chestnut
ISSUE: 9/26/17
PROJECT STATUS: PRELIMINARY DESIGN

ORDINANCE AND CODES:
A-0.1

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LICENSED ARCHITECT
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 STATE OF MAINE