

72 MUNJOY STREET CONDOS


72 MUNJOY STREET PORTLAND, MAINE SITE PLANS

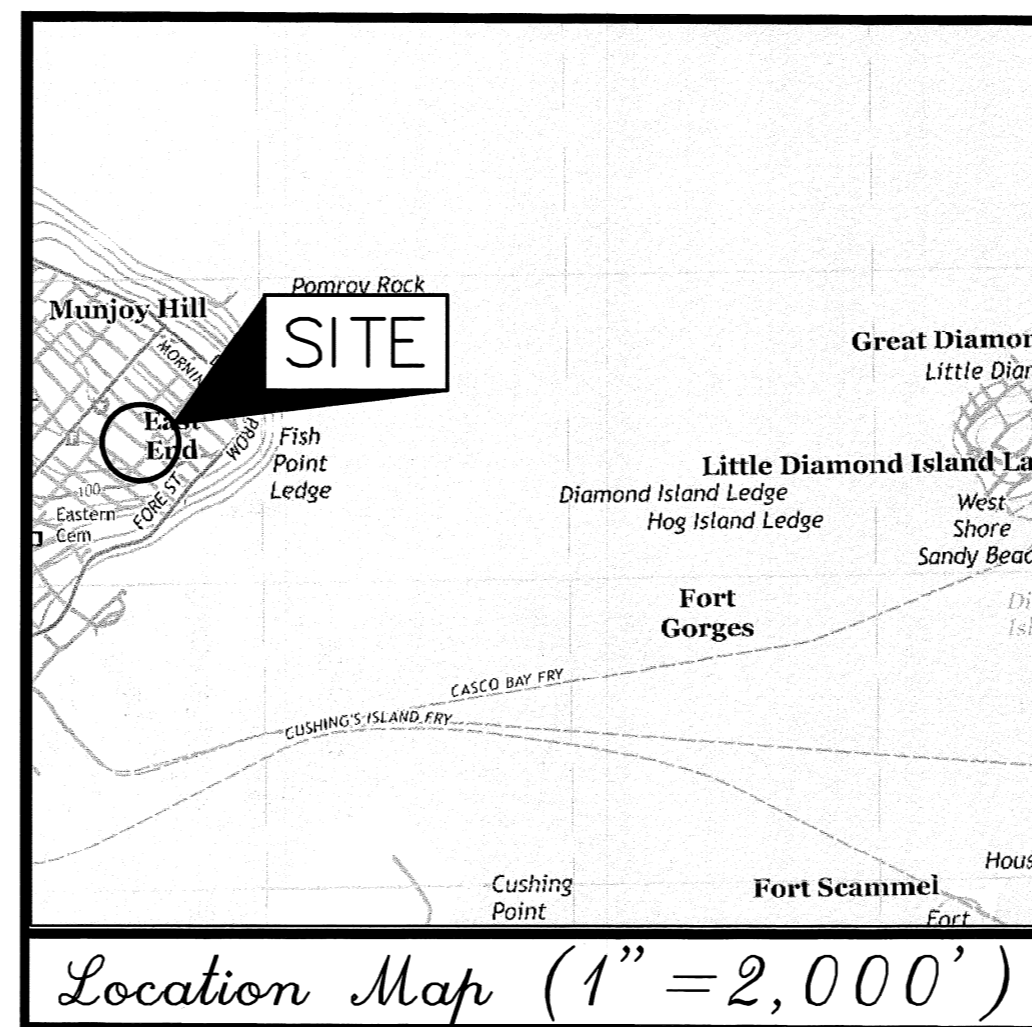
JULY 20, 2015

APPLICANT: PENINSULA PROPERTY DEVELOPMENT
59 MOODY STREET
PORTLAND, MAINE 04101

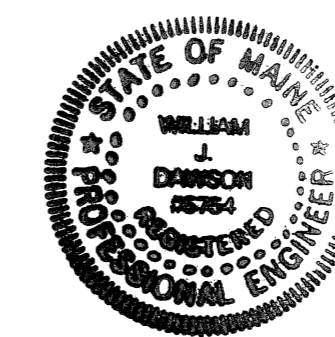
PREPARED BY: **Tighe & Bond**
Consulting Engineers
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
(603) 433-8818 info@tighebond.com

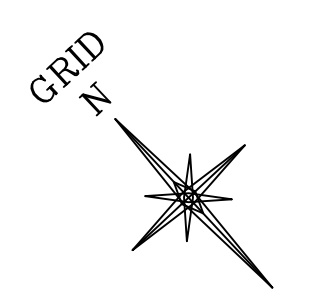
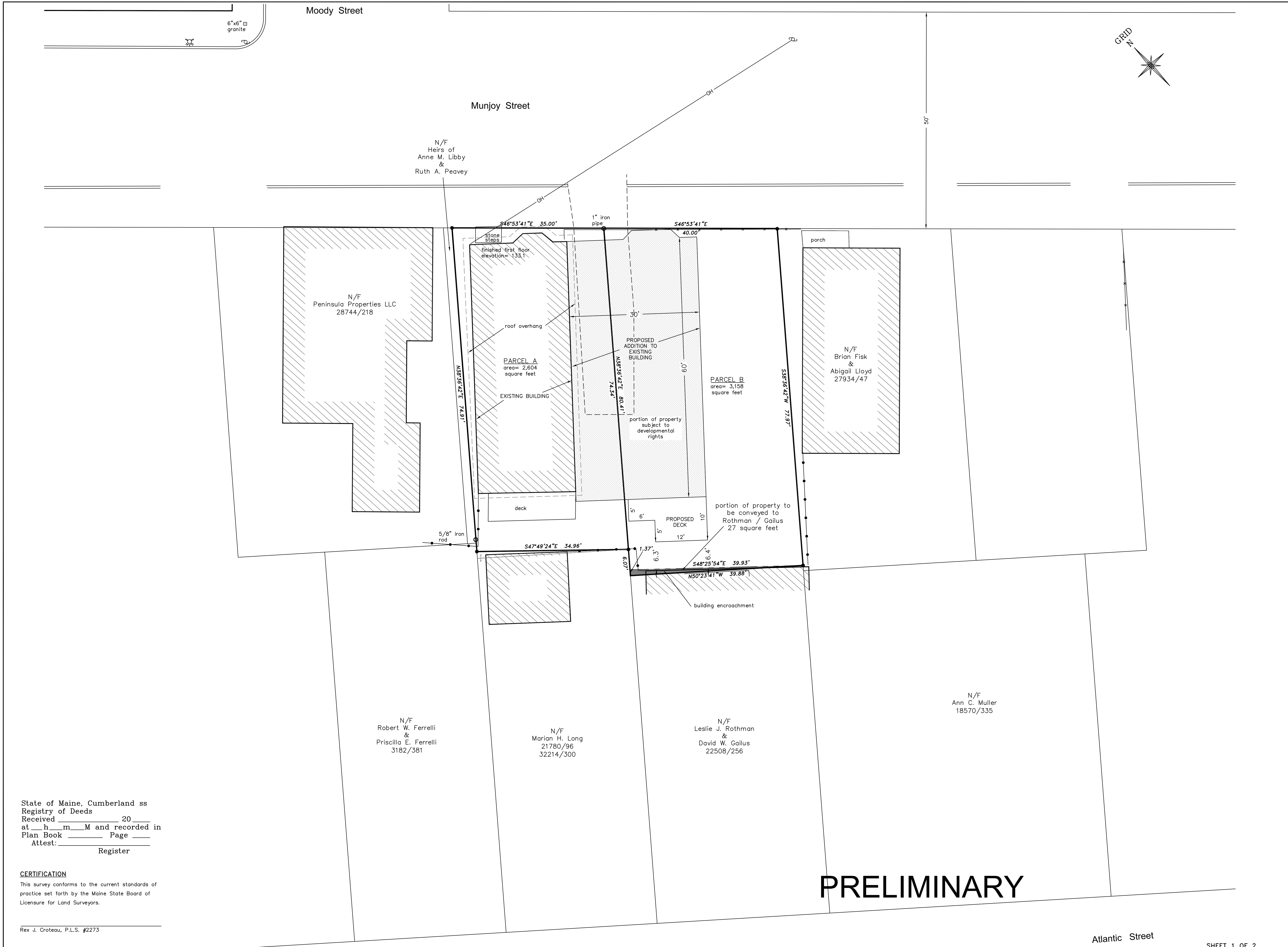
ARCHITECT: J. CALL DESIGN
151 ROOSEVELT TRAIL
WINDHAM, MAINE

SURVEYOR:  **Titcomb Associates**
133 Gray Road, Falmouth, Maine 04105
(207)797-9199 www.titcombsurvey.com



LIST OF DRAWINGS		
SHEET NO.	TITLE	LAST REVISED
	COVER SHEET	07/20/2015
1 OF 2	BOUNDARY PLAN OF 72 MUNJOY STREET CONDOMINIUMS	02/11/2015
C-1	EXISTING CONDITIONS AND DEMOLITION PLAN	07/20/2015
C-2	SITE PLAN	07/20/2015
C-3	GRADING, DRAINAGE, EROSION CONTROL, AND UTILITIES PLAN	07/20/2015
C-4	EROSION CONTROL NOTES AND DETAILS SHEET	07/20/2015
C-5	DETAILS SHEET	07/20/2015
P-1	FRONT AND REAR ELEVATIONS	05/2015
P-2	LEFT ELEVATION	05/2015
P-3	RIGHT ELEVATION	05/2015





LEGEND

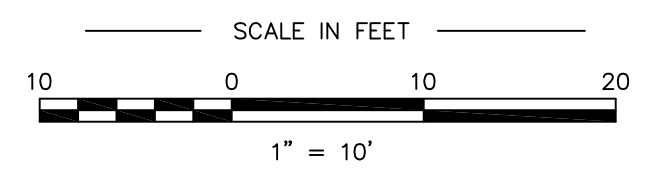
- Iron marker - found
- Iron marker - set (#5 rebar)
- Monument - found
- Property line (locus)
- - - Property line (abutment)
- Stockade fence
- Curb
- Overhead utility line
- Chainlink fence
- Edge of pavement
- Utility pole
- N/F Now or formerly of
- 1234/567 Deed reference (Book/Page)
- ⊕ Fire hydrant
- ▨ Existing building

- NOTES**
- 1) Book and Page references are to the Cumberland County Registry of Deeds.
 - 2) Bearings are referenced to grid north, Maine State Plane Coordinate System, NAD83, West Zone.
 - 3) Elevations are based on City of Portland datum.
 - 4) Utility information on this plan is approximate, based on location of visible features. DigSafe and/or the appropriate utilities should be contacted prior to any construction.
 - 5) Project area was covered by snow and ice at the time of the survey and some features may have been obscured and not shown on this plan.

- PLAN REFERENCES**
- 1) City of Portland street right of way plans.
 - 2) Condominium Plat, Moody Street Condominium made for Moody Street Development, LLC by Northeast Civil Solutions dated May 22, 2007 and revised October 22, 2007 recorded in Plan Book 207, Page 645.
 - 3) Recording Plat on Moody Street, Vesper Street, Wilson Street and Munjoy Street made for Avesta Housing Development Corp. by Owen Haskell, Inc. dated April 30, 2012 recorded in Plan Book 212, Page 210.

AREA
As noted

OWNERS OF RECORD
C and B Realty LLC
(currently known as Peninsula Property Development)
71 West Street Portland, Maine
Parcel A: Book 31834, Page 265
Parcel B: Book 31834, Page 263



State of Maine, Cumberland ss
Registry of Deeds
Received _____ 20____
at _____ h _____ m _____ M and recorded in
Plan Book _____ Page _____
Attest: _____
Register

CERTIFICATION
This survey conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

Rex J. Croteau, P.L.S. #2273

PRELIMINARY

Atlantic Street

PLAN OF
Boundary Survey
72 Munjoy Street Condominiums
68 and 72 Munjoy Street Portland, Maine

MADE FOR
Peninsula Property Development LLC
71 West Street Portland, Maine

JOB #215007	DATE: February 11, 2015	SCALE: 1" = 10'
BOOK #887		
2015/215007.dwg		
FILE #9766		

Titcomb Associates
133 Gray Road, Falmouth, Maine 04105
(207)797-9199 www.titcombsurvey.com

NOTES

- 1) BOOK AND PAGE REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- 2) BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, NAD83, WEST ZONE.
- 3) ELEVATIONS ARE BASED ON CITY OF PORTLAND DATUM.
- 4) UTILITY INFORMATION ON THIS PLAN IS APPROXIMATE, BASED ON LOCATION OF VISIBLE FEATURES. DIGSAFE AND/OR THE APPROPRIATE UTILITIES SHOULD BE CONTACTED PRIOR TO ANY CONSTRUCTION.
- 5) PROJECT AREA WAS COVERED BY SNOW AND ICE AT THE TIME OF THE SURVEY AND SOME FEATURES MAY HAVE BEEN OBSCURED AND NOT SHOWN ON THIS PLAN.

PLAN REFERENCES

- 1) CITY OF PORTLAND STREET RIGHT OF WAY PLANS.
- 2) CONDOMINIUM PLAT, MOODY STREET CONDOMINIUM MADE FOR MOODY STREET DEVELOPMENT, LLC BY NORTHEAST CIVIL SOLUTIONS DATED MAY 22, 2007 AND REVISED OCTOBER 22, 2007 RECORDED IN PLAN BOOK 207, PAGE 645.
- 3) RECORDING PLAT ON MOODY STREET, VESPER STREET, WILSON STREET AND MUNJOY STREET MADE FOR AVESTA HOUSING DEVELOPMENT CORP. BY OWEN HASKELL, INC. DATED APRIL 30, 2012 RECORDED IN PLAN BOOK 212, PAGE 210.
- 4) "BOUNDARY SURVEY 72 MUNJOY STREET CONDOMINIUMS", PREPARED BY TITCOMB ASSOCIATES, DATED FEBRUARY 11, 2015.

OWNERS OF RECORD

C AND B REALTY LLC
(CURRENTLY KNOWN AS PENINSULA PROPERTY DEVELOPMENT)
71 WEST STREET PORTLAND, MAINE

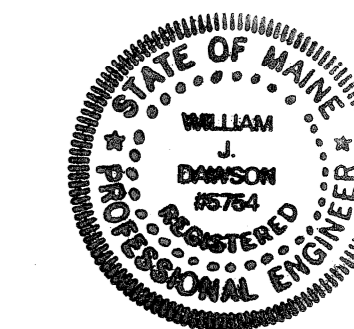
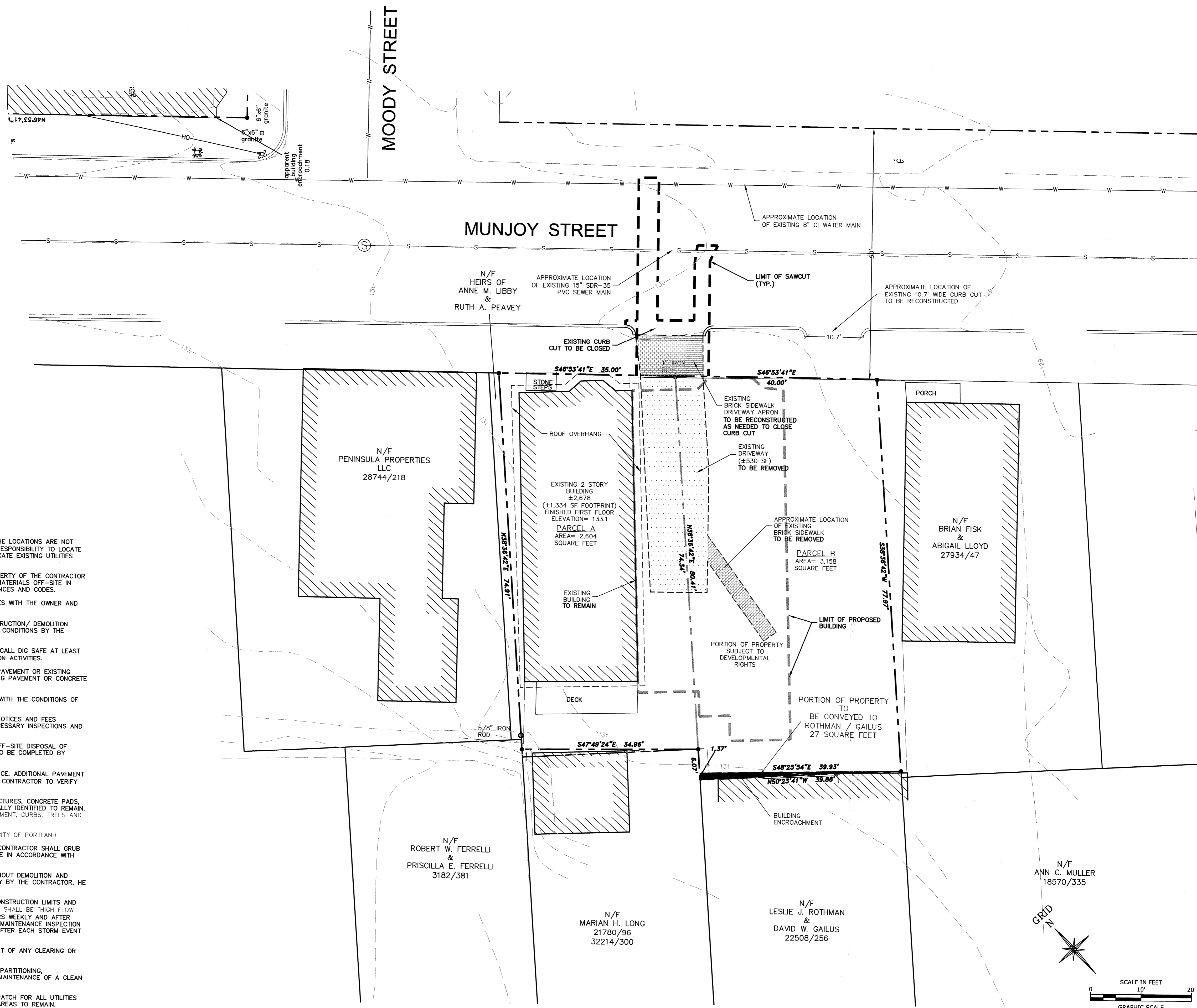
PARCEL A: BOOK 31834, PAGE 265
PARCEL B: BOOK 31834, PAGE 263

LEGEND

- IRON MARKER - FOUND
- IRON MARKER - SET (#5 REBAR)
- MONUMENT - FOUND
- PROPERTY LINE (LOCUS)
- - - PROPERTY LINE (ABUTTER)
- +— STOCKADE FENCE
- OH — CURB
- OH — OVERHEAD UTILITY LINE
- X - X - CHAINLINK FENCE
- - - EDGE OF PAVEMENT
- ○ ○ UTILITY POLE
- N/F NOW OR FORMERLY OF
- 1234/567 DEED REFERENCE (BOOK/PAGE)
- ⊕ FIRE HYDRANT
- W — EXISTING WATER MAIN
- S — EXISTING SEWER
- - - SAWCUT LIMIT
- ▨ EXISTING BUILDING
- - - EXISTING DRIVEWAY TO BE REMOVED

DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
6. SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
11. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, TREES AND LANDSCAPING.
12. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTLAND.
13. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
14. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE IT.
15. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACKS" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.
16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
17. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRIAGING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
18. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.



72 Munjoy Street Condos

Peninsula Property Development

Portland, Maine

VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

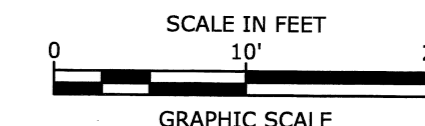
July 20, 2015

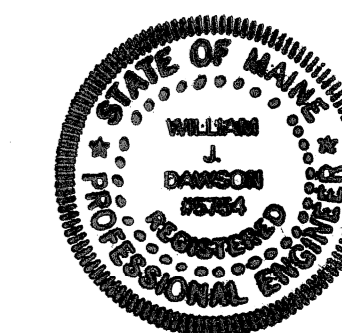
MARK	DATE	DESCRIPTION

EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: 1" = 10'

C-1





72 Munjoy Street Condos

Peninsula Property Development

Portland, Maine

VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

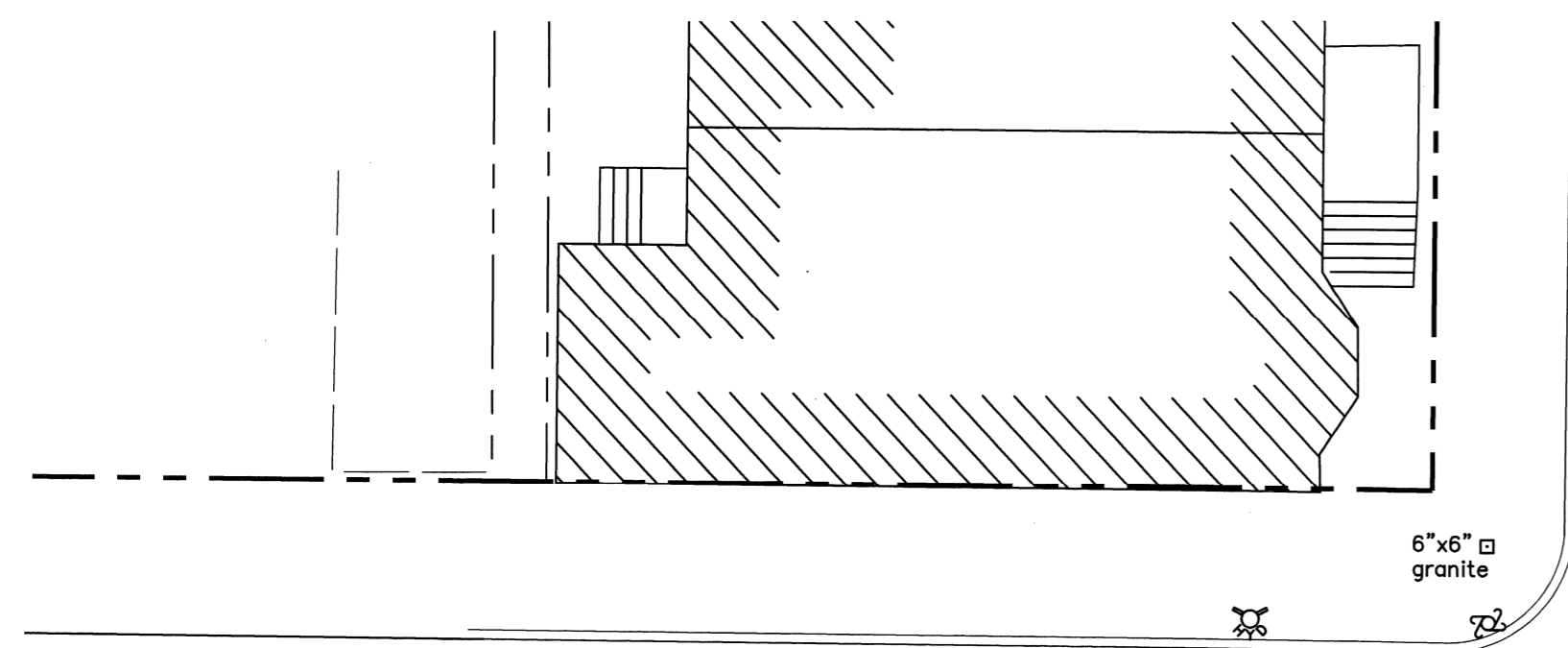
July 20, 2015

MARK	DATE	DESCRIPTION
PROJECT NO:	P-0765	
DATE:	2015/06/16	
FILE:	P0765-SITE.dwg	
DRAWN BY:	GWH	
CHECKED BY:	WJD	
APPROVED:	GMM	

SITE PLAN

SCALE: 1" = 10'

C-2



MOODY STREET

MUNJOY STREET

N/F HEIRS OF ANNE M. LIBBY & RUTH A. PEAVEY

CONST. PAVEMENT TRENCH PATCH

EXISTING CURB CUT TO BE CLOSED

END VGC

BEGIN VGC RECONSTRUCT EXISTING BRICK SIDEWALK AS NEEDED FOR UTILITY CONSTRUCTION

EXISTING 10.7' WIDE CURB CUT AND SIDEWALK TO BE RECONSTRUCTED

N/F PENINSULA PROPERTIES LLC 28744/218

EXISTING 2 STORY BUILDING ±2,678 (±1,334 SF FOOTPRINT) FINISHED FIRST FLOOR ELEVATION= 133.1

PROPOSED POROUS CONCRETE DRIVEWAY (±1,230 SF)

PROPOSED 4 STORY CONDOMINIUM ±8,078 SF (±1,800 SF FOOTPRINT)

PORCH

N/F BRIAN FISK & ABIGAIL LLOYD 27934/47

PROPOSED OVERHEAD GARAGE DOOR (TYP. OF 5 GARAGE SPACES)

DECK

PROPOSED DECK (±105 SF)

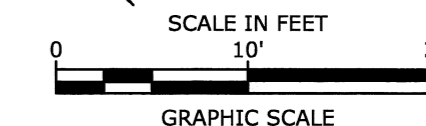
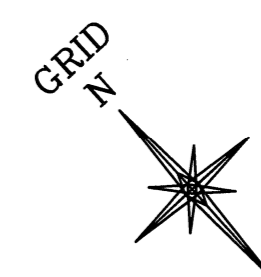
10' REAR YARD SETBACK

N/F ROBERT W. FERRELLI & PRISCILLA E. FERRELLI 3182/381

N/F MARIAN H. LONG 21780/96 32214/300

N/F LESLIE J. ROTHMAN & DAVID W. GAILUS 22508/256

N/F ANN C. MULLER 18570/335



SITE DATA

LOCATION: 72 MUNJOY STREET PORTLAND, MAINE CHART 16 LOTS B-8/9
OWNER: C AND B REALTY LLC 71 WEST STREET PORTLAND, MAINE 04102

ZONING DISTRICT: R-6 RESIDENTIAL ZONE

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	2,000 SF	5,762 SF
MINIMUM STREET FRONTAGE:	20 FT	75 FT
MINIMUM FRONT YARD SETBACK:	5 FT	0 FT
SIDE SETBACK:	5 FT	18.6 FT
REAR SETBACK:	10 FT	10 FT
MAXIMUM BUILDING LOT COVERAGE:	60 %	54.5 %
LANDSCAPED OPEN SPACE:	20%	25%
MAXIMUM HEIGHT:	45 FT	43.5 FT

*CAN BE REDUCED TO THE AVERAGE DEPTH OF ADJACENT FRONT YARD SETBACKS

LEGEND

- PROPERTY LINE
- ABUTTER LOT LINE
- BUILDING SETBACK
- PROPOSED DRIVEWAY
- EXISTING BUILDING
- EXISTING UTILITY POLE
- NOW OR FORMERLY DEED REFERENCE (BOOK/OAGE)
- EXISTING FIRE HYDRANT
- PROPOSED BRICK SIDEWALK

SITE NOTES:

1. THE CONTRACTOR SHALL EMPLOY A MAINE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
2. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR TOWN CODES & SPECIFICATIONS.
4. WORK WITHIN MUNJOY STREET AND SHALL BE COORDINATED WITH CITY OF PORTLAND
5. ALL WORK SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL MANUAL STANDARDS.
6. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%

* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

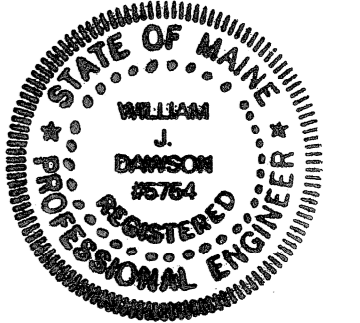
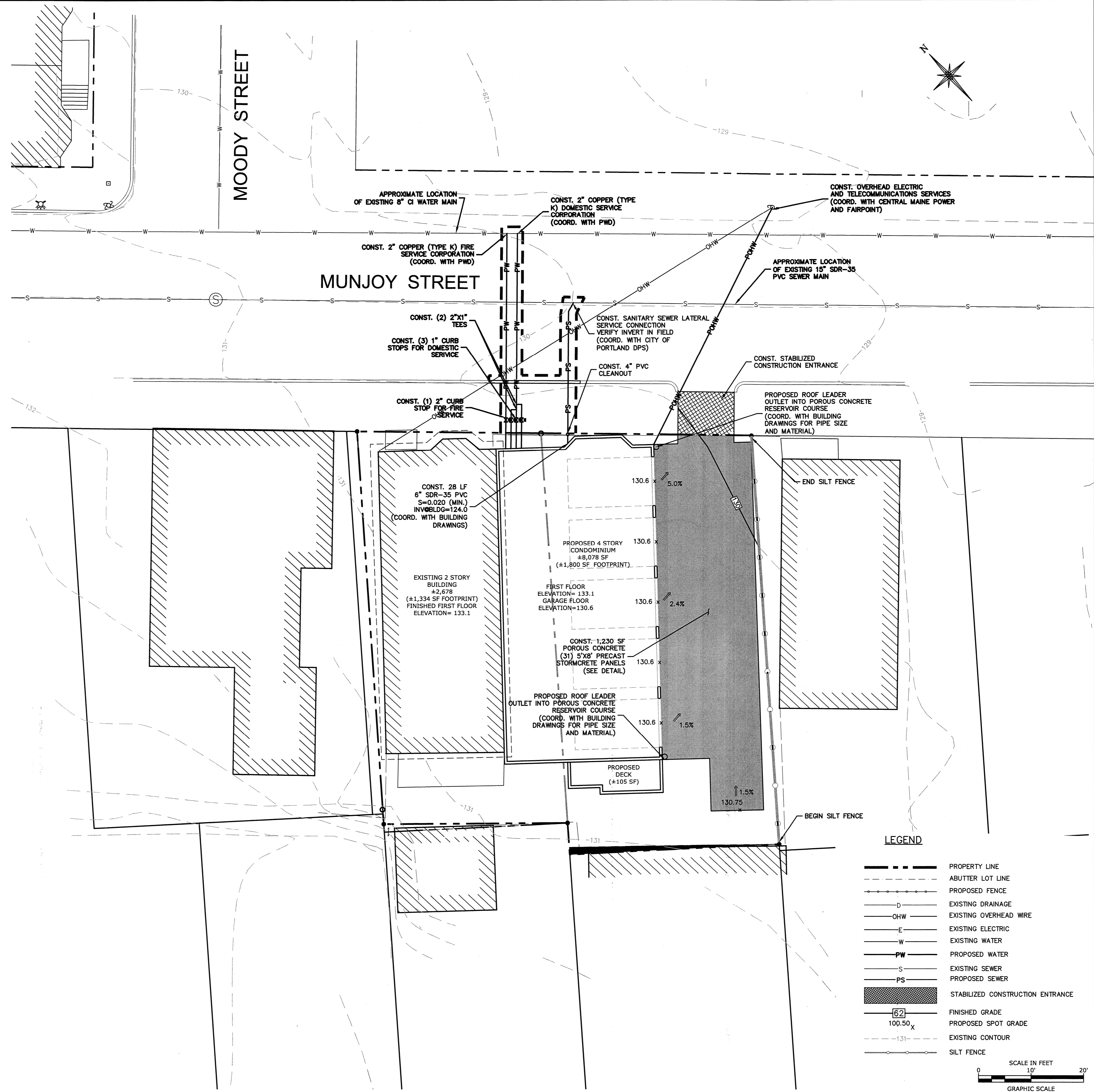
1. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
2. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
5. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
7. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
5. INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.

UTILITY NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
NATURAL GAS - JUNIATA
WATER - PORTLAND WATER DISTRICT
SEWER - CITY OF PORTLAND SEWER DEPARTMENT
ELECTRIC - CENTRAL MAINE POWER
TELEPHONE - FAIRPOINT COMMUNICATIONS
3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
5. ALL WORK WITHIN CITY ROWS SHALL BE COORDINATED WITH CITY OF PORTLAND.
6. CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO PORTLAND WATER DISTRICT STANDARDS.
7. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
8. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
9. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
10. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
11. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
12. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
13. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
14. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
15. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
16. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTLAND SEWER DEPARTMENT.
17. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.



72 Munjoy Street Condos

Peninsula Property Development

Portland, Maine

VERIFY SCALE

BAR IS 1 INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

July 20, 2015

MARK	DATE	DESCRIPTION
PROJECT NO:	P-0765	
DATE:	2015/06/16	
FILE:	P0765-SITE.dwg	
DRAWN BY:	GWJ	
CHECKED:	WJD	
APPROVED:	GMM	

GRADING, DRAINAGE, EROSION CONTROL, AND UTILITIES PLAN

SCALE: 1" = 10'

C-3

PROJECT NAME AND LOCATION
 72 MUNJOY STREET CONDOS
 72 MUNJOY STREET
 PORTLAND, MAINE 04103

43°-39'-29.87"N
 70°-17'-43.50"W

DESCRIPTION
 THE PROJECT CONSISTS OF THE DEMOLITION OF EXISTING FEATURES ON SITE FOR A PROPOSED 4-STORY 1,800 SF (FOOTPRINT) MULTI-FAMILY BUILDING WITH ASSOCIATED SITE IMPROVEMENTS INCLUDING SIDEWALK, STORMWATER MANAGEMENT, UTILITIES AND LANDSCAPING.

DISTURBED AREA
 THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 3,700 SF.

SOIL CHARACTERISTICS
 BASED ON NATIONAL RESOURCES CONSERVATION SERVICE (NRCS) SOILS MAP THE SOILS CONSIST OF HINCKLEY GRAVELLY SANDY LOAM, WHICH IS IN HYDROLOGIC GROUP A SOILS.

SEQUENCE OF MAJOR ACTIVITIES

- CUT AND CLEAR TREES.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
 - NEW CONSTRUCTION
 - DEVELOPMENT OF BORROW PIT AREAS
 - DISPOSAL OF SEDIMENT SOIL, STUMP AND OTHER SOLID WASTE
 - CONTROL OF DUST
 - CONSTRUCTION OF SITE ACCESS
 - NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
 - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMP'S PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL DRIVES AND PARKING AREAS - ALL DRIVES AND PARKING AREA SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SILT SOCKS, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL DRIVES AND PARKING AREAS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

NOTE: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

NAME OF RECEIVING WATERS
 THE STORM WATER RUNOFF FLOWS OFFSITE INTO MUNJOY STREET AND EVENTUALLY REACHES THE CITY OF PORTLAND'S CLOSED DRAINAGE SYSTEM.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
 - TEMPORARY SEEDING
 - MULCHING
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED BY NOVEMBER 15.
- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- WINTER STABILIZATION PRACTICES:
 - ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURE WITH ANCHOR NETTING, ELSEWHERE.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
 - AFTER NOVEMBER 15TH, INCOMPLETE DRIVE OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

OFF SITE VEHICLE TRACKING
 THE CONTRACTOR SHALL CONSTRUCT THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO ANY EXCAVATION ACTIVITIES.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

- GENERAL: THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.
 - ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 - THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DEMOLISHED AT ONE TIME.
 - ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
 - ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
 - BUILT UP SEDIMENT WILL BE REMOVED FROM SILT SOCK WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE SILT SOCK.
 - ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
 - TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
 - A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
 - A REPRESENTATIVE OF THE SITE CONTRACTOR, WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
 - THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL MANUAL.
 - ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES OR SPECIFICATIONS.
 - THE USE OF SAND FOR THE PURPOSE OF PEDESTRIAN SAFETY AND SAFE DRIVING CONDITION SHALL BE MINIMIZED.
 - THE OWNER SHALL CLEAN ALL CATCH BASINS, DRAIN MANHOLES AND SWEEP THE PARKING LOT ON AN ANNUAL BASIS.
- FILTERS:
 - SILT SOCK
 - APPLICATION
 - SILT SOCK ARE TO BE INSTALLED DOWN SLOPE OF ANY DISTURBED AREA REQUIRING EROSION AND SEDIMENT CONTROL AND FILTRATION OF SOLUBLE POLLUTANTS FROM RUNOFF. SILT SOCK ARE EFFECTIVE WHEN INSTALLED PERPENDICULAR TO SHEET OR LOW CONCENTRATED FLOW.
 - INSTALLATION DETAILS
 - SILT SOCK USED FOR PERIMETER CONTROL OF SEDIMENT AND SOLUBLE POLLUTANTS IN STORM RUNOFF SHALL MEET FILTREXX SOXX MATERIAL SPECIFICATIONS, OR APPROVED EQUAL AND USE CERTIFIED FILTREXX FILTER MEDIA, OR APPROVED EQUAL.
 - CONTRACTOR IS REQUIRED TO BE FILTREXX CERTIFIED AS DETERMINED BY FILTREXX INTERNATIONAL, LLC., OR APPROVED EQUAL. CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION. LOOK FOR THE FILTREXX CERTIFIED SEAL, OR APPROVED EQUAL.
 - SILT SOCK WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER.
 - SILT SOCK SHOULD BE INSTALLED PARALLEL TO THE BASE OF THE SLOPE OR OTHER DISTURBED AREA. IN EXTREME CONDITIONS (i.e. 2:1 SLOPES), A SECOND SILT SOCK SHALL BE CONSTRUCTED AT THE TOP OF THE SLOPE.
 - STAKES SHALL BE INSTALLED THROUGH THE MIDDLE OF THE SILT SOCK ON 10 FT CENTERS, USING 2 INCH BY 2 INCH BY 3 FEET WOODEN STAKES. IN THE EVENT STAKING IS NOT POSSIBLE, I.E. WHEN SILT SOCK ARE USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SILT SOCK TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.
 - STAKING DEPTH FOR SAND AND SILT LOAM SOILS SHALL BE 12 INCHES, AND 8 INCHES FOR CLAY SOILS.
 - LOOSE COMPOST MAY BE BACKFILLED ABOVE THE UPSLOPE SIDE OF THE SILT SOCK, FILLING THE SEAM BETWEEN THE SOIL SURFACE AND THE DEVICE, IMPROVING FILTRATION AND SEDIMENT RETENTION.
 - IF THE SILT SOCK IS TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, IT MAY BE SEEDED AT TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.
 - SILT SOCK ARE NOT TO BE USED IN PERENNIAL, EPHEMERAL, OR INTERMITTENT STREAMS.
 - SEE DETAIL FOR CORRECT SILT SOCK INSTALLATION.
 - SEQUENCE OF INSTALLATION:
 - SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

- MAINTENANCE:
 - SILT SOCK BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
 - SHOULD THE FABRIC ON A SILT SOCK BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT SOCK BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

- MULCHING:
 - TIMING:
 - IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:
 - APPLY MULCH PRIOR TO ANY STORM EVENT. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
 - REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD. THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON A AREA. THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

- APPLICATION RATE:
 - MULCH SHALL BE APPLIED AT A RATE OF BETWEEN 1.5 TO 2 TONS PER ACRE, OR 90 TO 100 POUNDS PER 1000 SQUARE FEET. THE MINIMUM MULCH REQUIREMENT, REGARDLESS OF APPLICATION RATE IS THAT SOIL MUST NOT BE VISIBLE.

- GUIDELINES FOR WINTER MULCH APPLICATION:
 - WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH. NO MULCH IS TO BE APPLIED OVER MORE THAN TWO (2) INCHES OF SNOW IF SNOW DEPTH IS GREATER THAN TWO (2) INCHES IT SHALL BE REMOVED BEFORE MULCHING.

- MAINTENANCE:
 - ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR FULL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

- EXCELSIOR MATTING:
 - EXCELSIOR MATTING SHALL BE USED IN PLACE OF MULCH ON ALL SLOPES STEEPER THAN 3:1.

- SLOPES:
 - ALL SLOPES GREATER THAN 15% DURING THE REGULAR CONSTRUCTION SEASON ARE TO HAVE NETTING OVER MULCH OR COMBINATION EROSION CONTROL MAT USED (MULCH AND NET). THIS APPLIES TO ALL SLOPES GREATER THAN 8% AFTER OCTOBER 1. MULCHING IS REQUIRED OVER HYDROSEEDING.

- TEMPORARY GRASS COVER:
 - SEEDBED PREPARATION:
 - APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10 FERTILIZER.
 - APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
 - SEEDING:
 - UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
 - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
 - APPLY SEED UNIFORM, HYDROSEEDING, OR HYDROSEEDER SLURRY INCLUDING SEED AND FERTILIZER. HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.

- MAINTENANCE:
 - TEMPORARY SEEDINGS SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).

- PERMANENT MULCHING
 - TIMING:
 - APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS THAT RESIST DECOMPOSITION SUCH AS WOOD CHIPS OR CRUSHED STONE TO THE SOIL SURFACE WHERE VEGETATION STABILIZATION IS EITHER IMPRACTICAL OR DIFFICULT TO ESTABLISH.
 - WINTER STABILIZATION SHALL MEET OR EXCEED THE FOLLOWING REQUIREMENTS.

- CONSIDERATIONS:
 - PERMANENT MULCHING SHALL BE USED TO STABILIZE CHRONIC EROSION AREAS WHICH RECEIVE HEAVY FOOT OR VEHICLE TRAFFIC. NOT INTENDED FOR AREAS OF CONCENTRATED FLOWS.
 - IF WOOD CHIPS ARE USED IN LANDSCAPED AREAS (TREES & SHRUBS), A SUPPLEMENTAL APPLICATION OF CHEMICAL FERTILIZER SHOULD BE APPLIED AT A RATE OF TWO POUNDS OF 5-10-5 PER 100 SQUARE FEET OF MULCH.
 - IF CRUSHED STONE IS USED, A PLASTIC FILTER CLOTH SHALL BE PLACED BETWEEN THE GROUND AND THE STONE.

- SPECIFICATIONS:
 - WOOD CHIPS OR AGGREGATE SHALL BE USED ON SLOPES NO STEEPER THAN 3 HORIZONTALLY ON 1 VERTICALLY.
 - PERMANENT MULCH SHALL BE 3 INCHES OR MORE IN DEPTH.
 - WOOD CHIPS SHALL BE APPLIED AT A RATE OF 500-900 POUNDS PER 1,000 SQUARE FEET OR 10-20 TONS PER ACRE. WOOD CHIPS SHALL BE GREEN OR AIR-DRIED AND FREE OF OBJECTIONABLE COARSE MATERIALS.
 - AGGREGATE COVER (GRAVEL, CRUSHED STONE OR SLAG) SHALL BE WASHED, 0.25 INCHES TO 2.5 INCHES AND APPLIED AT A RATE OF 9 CUBIC YARD PER 1,000 SQUARE FEET.

- MAINTENANCE:
 - WOOD CHIPS SHALL BE MONITORED FOR DECOMPOSITION AND NEW APPLICATIONS MADE.
 - CRUSHED STONE SHALL BE MONITORED FOR WASH OUT AND SLIPPING DOWN SLOPE. IF EITHER OCCUR, NEW MATERIAL SHALL BE PROVIDED ON THE BARREN AREAS.

- VEGETATIVE PRACTICE:
 - FOR PERMANENT MEASURES AND PLANTINGS.
 - LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 3 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
 - FERTILIZER SHALL BE SPREAD ON THE LOAM AND WORKED INTO THE SURFACE.
 - FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
 - SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4.5 POUNDS AND 5.5 POUNDS PER INCH OF WIDTH.
 - SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN, IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
 - HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.
 - THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORY COVERED WITH GRASS SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.
 - THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED.
 - A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEEDING RATE:	
OREERING RED FESCUE	XX LBS/ACRE
TALL FESCUE	XX LBS/ACRE
REDTOP	X LBS/ACRE
 - IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

- DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL)
 - FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

- STORM DRAIN INLET PROTECTION:
 - SILT SACK
 - SACK SHALL BE INSTALLED WITHIN CATCH BASIN, MAKING SURE EMPTY STRAPS ARE LAID FLAT OUTSIDE THE BASIN.
 - SACK SHALL FIT TIGHTLY WITHIN THE BASIN TO PREVENT SEDIMENT FROM GOING THROUGH ANY GAPS.
 - ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINSTORM AND REPAIRS MADE AS NECESSARY.
 - SEDIMENT SHOULD BE REMOVED FROM THE DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE-THIRD THE DEPTH OF THE TRAP.
 - SILT SACK SHALL BE REMOVED UPON THE COMPLETION OF PROJECT.

- STABILIZED CONSTRUCTION ENTRANCE:
 - SPECIFICATIONS:
 - AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES.
 - WIDTH: TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS.

- D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET
- E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.
- F. FINISH: SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED.
- G. CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREVA SPUNBOND 1135, MIRAFI 600X OR APPROVED EQUAL.

- MAINTENANCE:
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

TIMING OF CONTROLS/MEASURES

- THE MAXIMUM AREA TO BE DISTURBED AT ONE TIME SHALL BE KEPT UNDER FIVE (5) ACRES. A PHASING PLAN DESCRIBING THE AREAS TO BE DISTURBED SHALL BE SUBMITTED TO THE DESIGN ENGINEER AND NHDOS. AN INDEPENDENT MONITORING COMPANY SHALL BE HIRED BY THE CONTRACTOR TO MONITOR ALL EROSION CONTROL DEVICES.
- AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF ANY WETLAND OR STREAM, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAYBALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

- WASTE MATERIALS:
 - ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE:
 - ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE:
 - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

A. MATERIAL MANAGEMENT PRACTICES:
 THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

- GOOD HOUSEKEEPING:
 - THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
 - AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
 - ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - HAZARDOUS PRODUCTS:
 - THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
 - SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

- PRODUCT SPECIFICATION PRACTICES:
 - THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
 - PETROLEUM PRODUCTS:
 - ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - FERTILIZERS:
 - FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A RESEALABLE PLASTIC BIN TO AVOID SPILLS.
 - PAINTS:
 - ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

- SPILL CONTROL PRACTICES:
 - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
 - THE SPILL PREVENTION AND CLEANUP MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT OCCURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

- VEHICLE FUELING AND MAINTENANCE PRACTICE:
 - EFFORTS SHOULD BE MADE TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.
 - CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY.
 - IF POSSIBLE KEEP AREA COVERED.
 - KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
 - VEHICLES SHALL BE INSPECTED REGULARLY FOR LEAKS AND DAMAGE.
 - USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

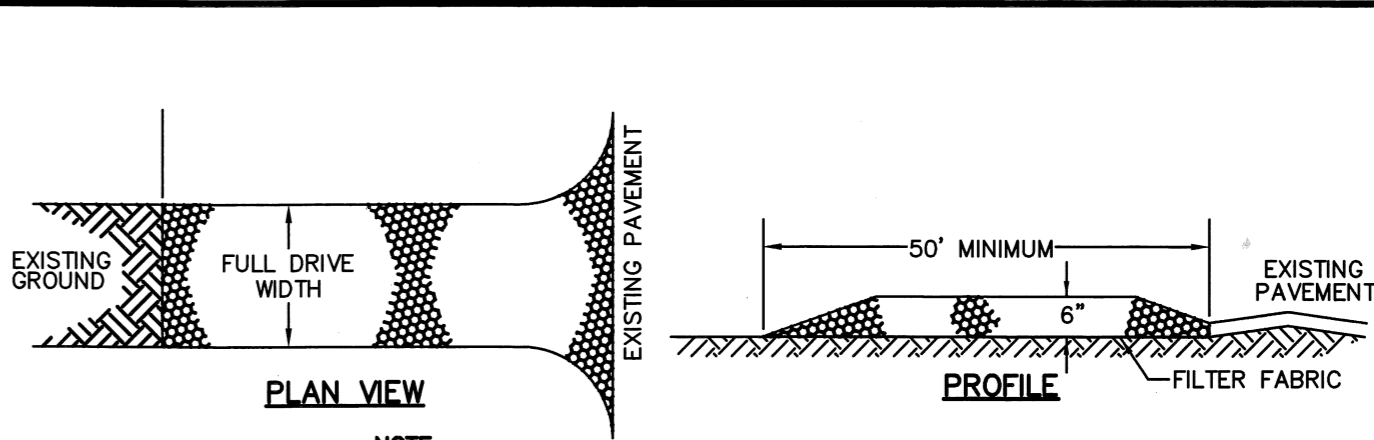
- DUST CONTROL:
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT BE LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

CONCRETE WASHOUT AREA:

- THE CONCRETE CONTRACTOR SHOULD BE ENCOURAGED WHERE POSSIBLE, TO USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
- WASHOUT AREAS SHOULD ALSO BE PROVIDED FOR PAINT AND STUCCO OPERATIONS.
- ATTEMPTS SHOULD BE MADE TO LOCATE WASHOUT AREA A LEAST 50 YARDS AWAY FROM STORM DRAINS AND WATERWAYS WHENEVER POSSIBLE.
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

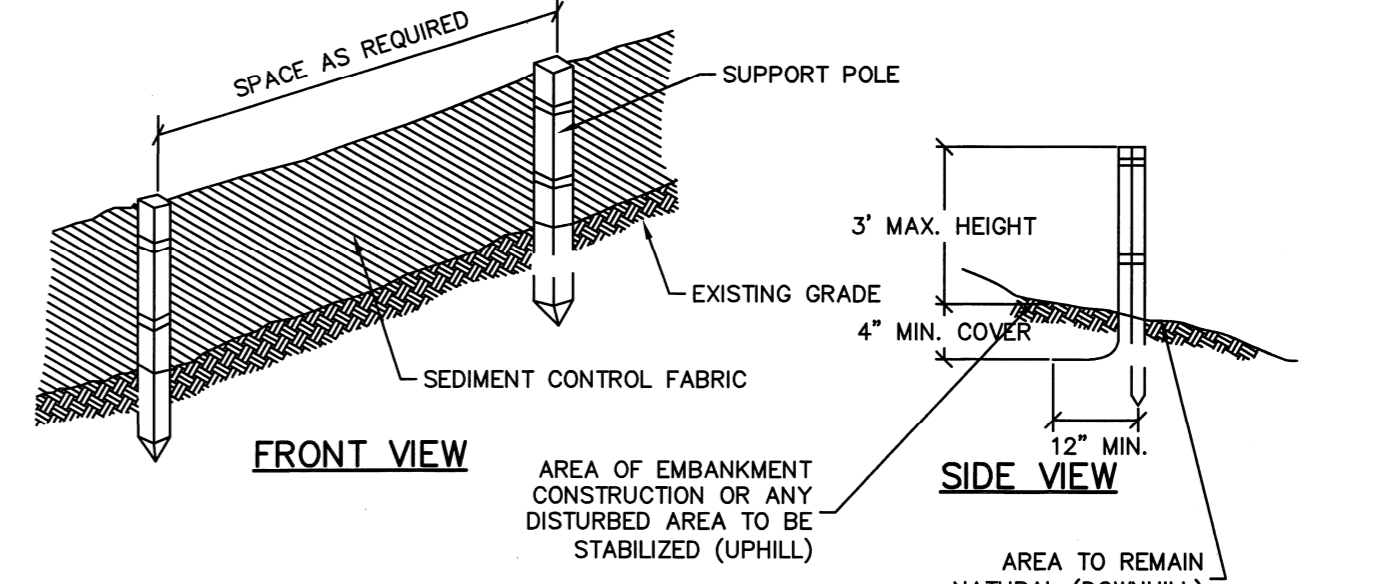
ALLOWABLE NON-STORMWATER DISCHARGES:

- DISCHARGES FROM FIRE-FIGHTING ACTIVITIES
- FIRE HYDRANT FLUSHINGS
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
- WATER USED TO CONTROL DUST
- POTABLE WATER INC. UNCONTAMINATED WATER LINE FLUSHINGS
- ROUTINE EXTERNAL BUILDING WASH DOWN -NO DETERGENTS
- PAVEMENT WASH WATERS -NO SPILLS OR DETERGENTS
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATE
- UNCONTAMINATED GROUND WATER OR SPRING WATER
- FOUNDATION OR FOOTING DRAINS -NOT UNCONTAMINATED
- UNCONTAMINATED EXCAVATION DEWATERING
- LANDSCAPE IRRIGATION



NOTE:
 1. SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.

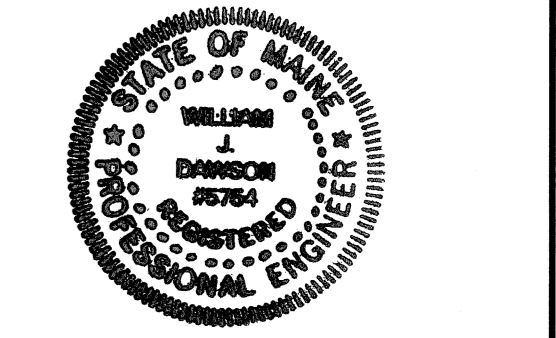
STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



NOTE:
 1. SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.

SILT FENCE
 NOT TO SCALE

Tighe & Bond
 www.tighebond.com



72 Munjoy Street Condos

Peninsula Property Development

Portland, Maine

VERIFY SCALE	
BAR IS 1 INCH ON ORIGINAL DRAWING	0 = 1 INCH
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	

July 20, 2015

MARK	DATE	DESCRIPTION

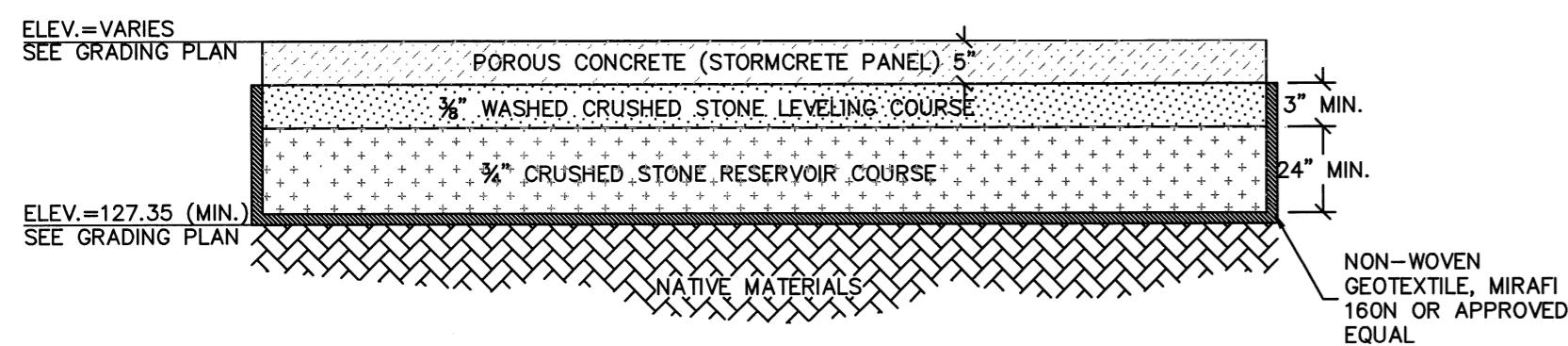
PROJECT NO: P-0765
 DATE: 2015/06/16
 FILE: P0765-DETAILS.dwg
 DRAWN BY: GWH
 CHECKED: WJD
 APPROVED: GMM

EROSION CONTROL NOTES AND DETAILS SHEET

SCALE: AS SHOWN

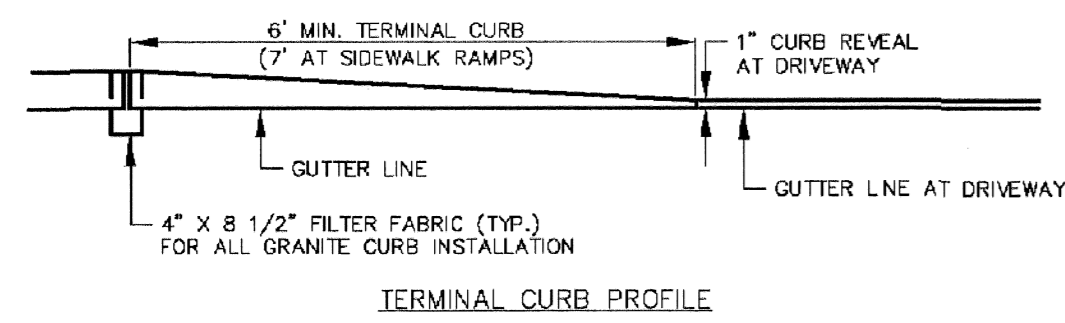
C-4

Last Saved: 7/20/2015 3:26pm By: gwh
 Plotted On: Jul 2

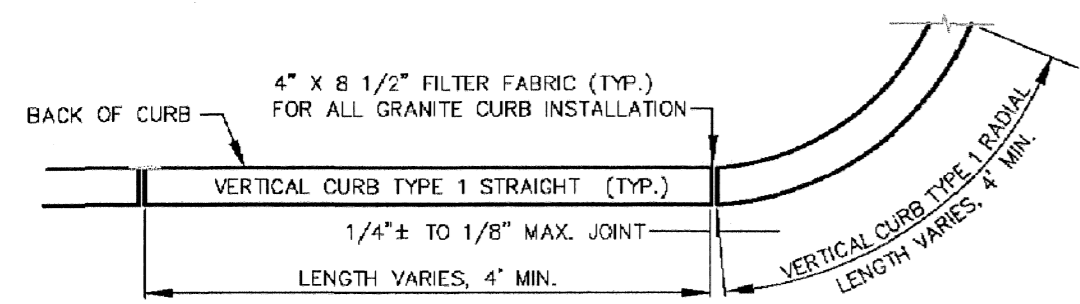


- NOTES:**
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - POROUS CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

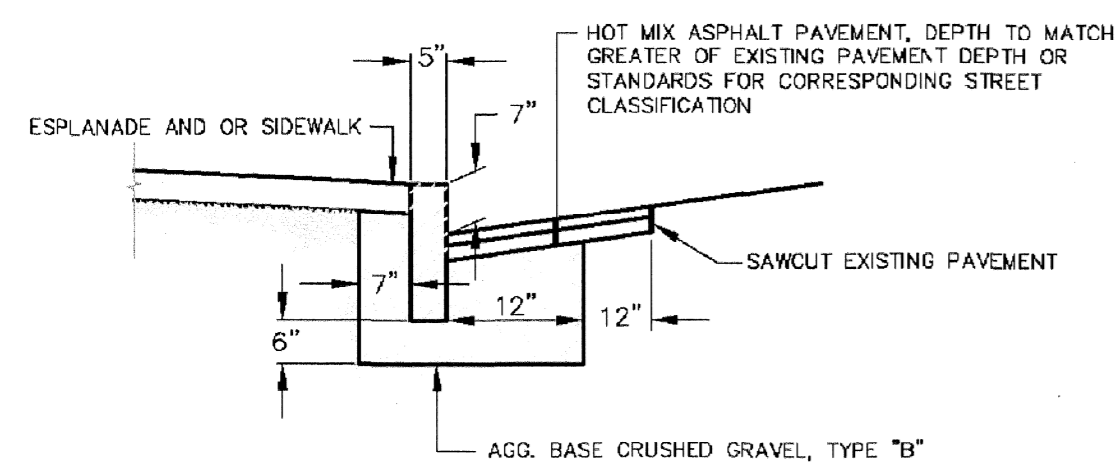
POROUS CONCRETE DRIVEWAY SECTION
NOT TO SCALE



TERMINAL CURB PROFILE



VERTICAL GRANITE CURB PLAN VIEW



VERTICAL GRANITE CURB CROSS SECTION

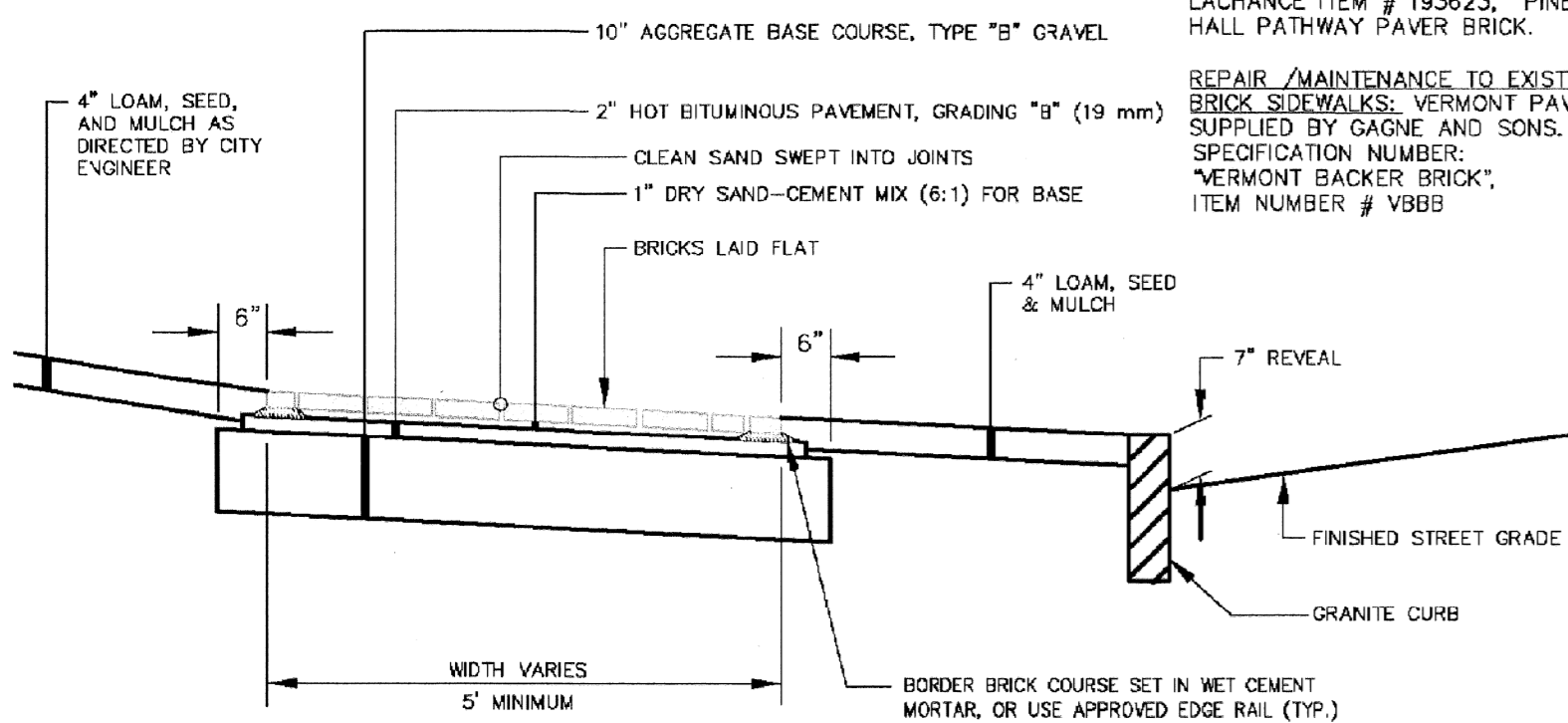
- NOTE:**
- DETAIL TAKEN FROM THE CITY OF PORTLAND TECHNICAL MANUAL. ALL WORK IN THE CITY ROW SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL MANUAL, LATEST EDITION.

CITY OF PORTLAND - VERTICAL GRANITE CURB IN EXISTING STREETS
NOT TO SCALE

BRICKS TO BE USED:

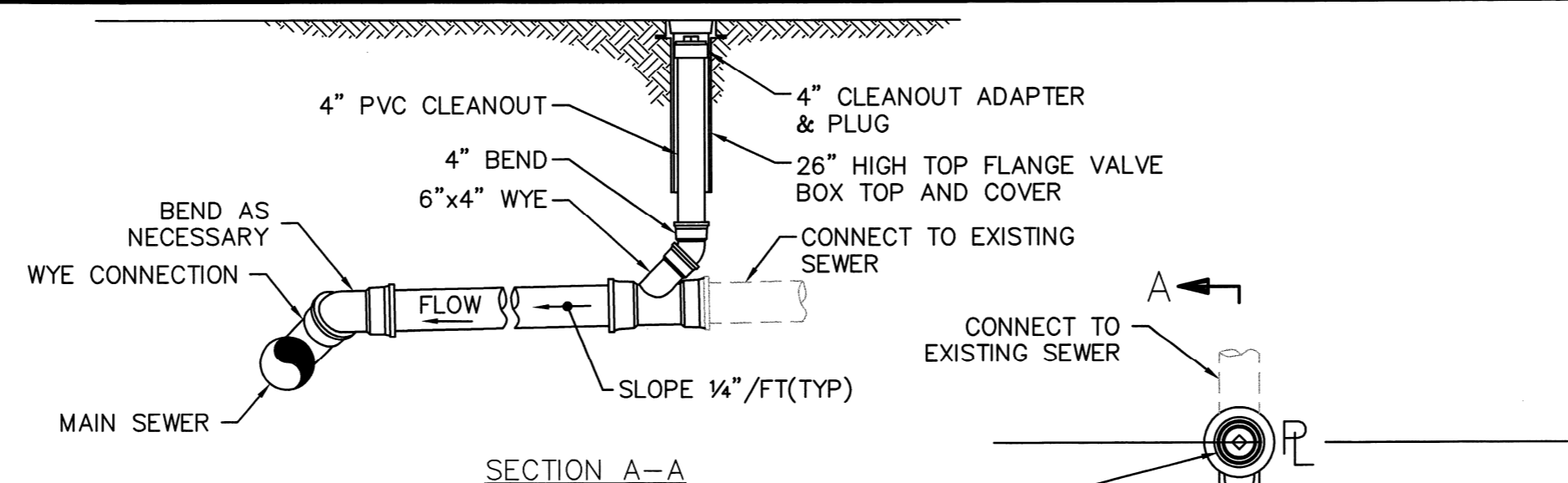
NEW CONSTRUCTION:
4"x8" PINE HALL PATHWAY PAVER BRICK; MFG. BY PINE HALL BRICK CO., MADISON, NORTH CAROLINA. LACHANCE ITEM # 193623, PINE HALL PATHWAY PAVER BRICK.

REPAIR / MAINTENANCE TO EXISTING BRICK SIDEWALKS: VERMONT PAVER; SUPPLIED BY GAGNE AND SONS. SPECIFICATION NUMBER: "VERMONT BACKER BRICK", ITEM NUMBER # VB88



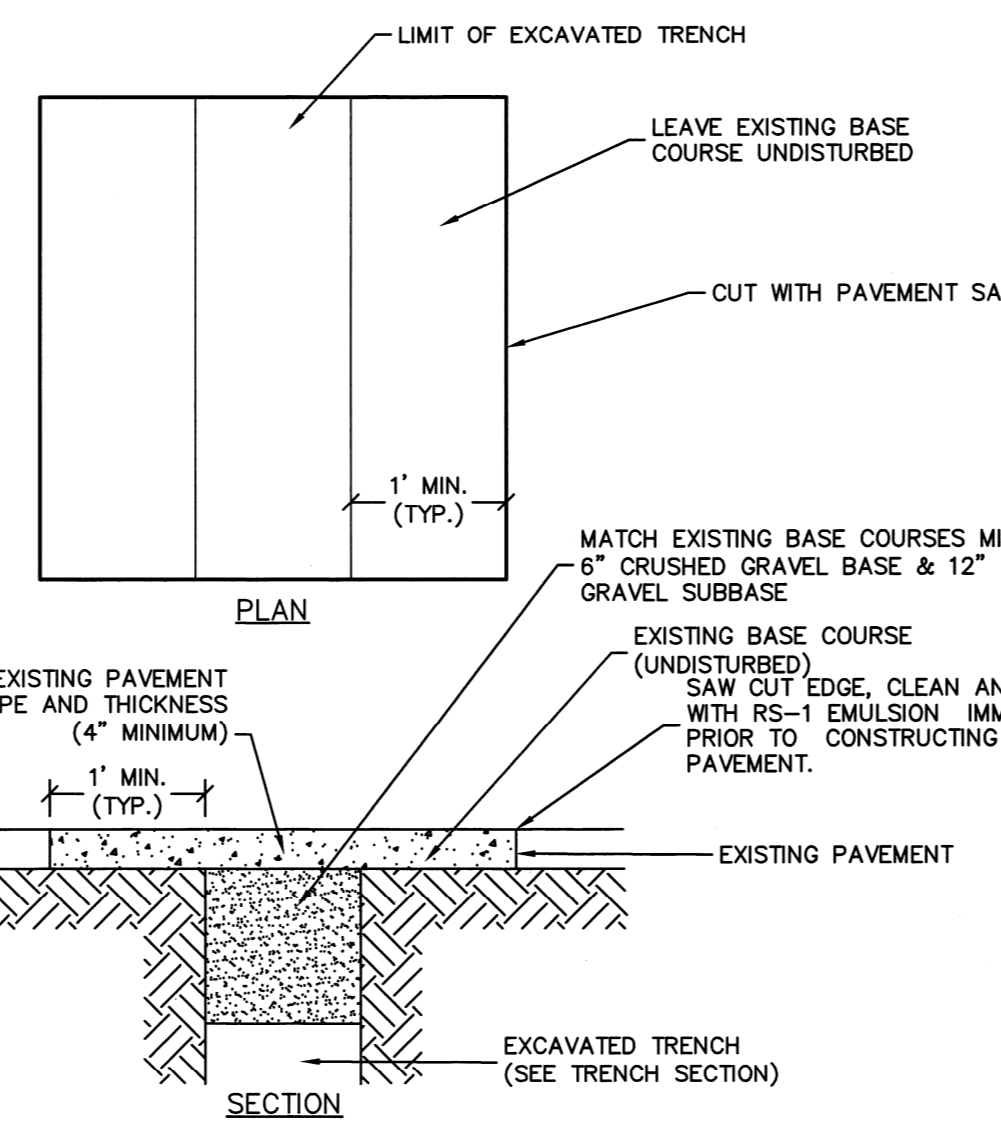
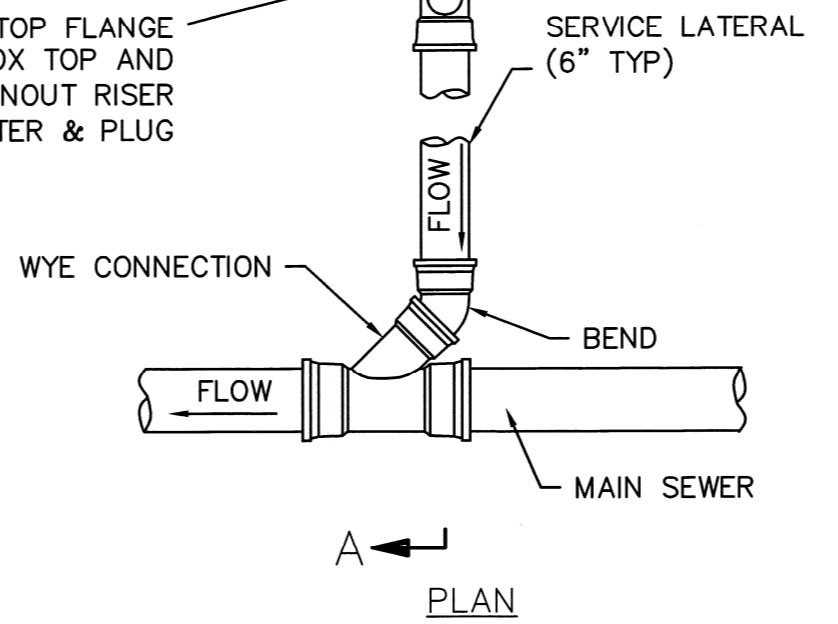
- NOTE:**
- DETAIL TAKEN FROM THE CITY OF PORTLAND TECHNICAL MANUAL. ALL WORK IN THE CITY ROW SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL MANUAL, LATEST EDITION.

CITY OF PORTLAND - BRICK SIDEWALK DETAIL
NOT TO SCALE

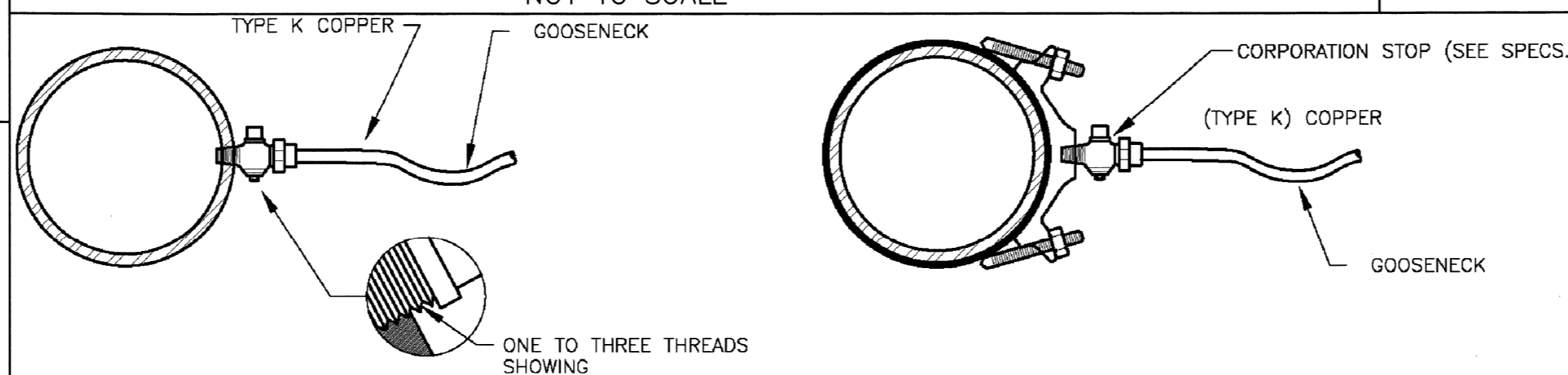


- NOTES:**
- MINIMUM PITCH FOR SERVICE LATERALS IS 1/4" PER FOOT.
 - SEWER LATERAL SHALL BE CONSTRUCTED W/CLEANOUT ADAPTER & PLUG IN ACCORDANCE WITH THE CITY OF PORTLAND TECHNICAL STANDARDS.

SANITARY SERVICE LATERAL WITH CLEANOUT
NOT TO SCALE



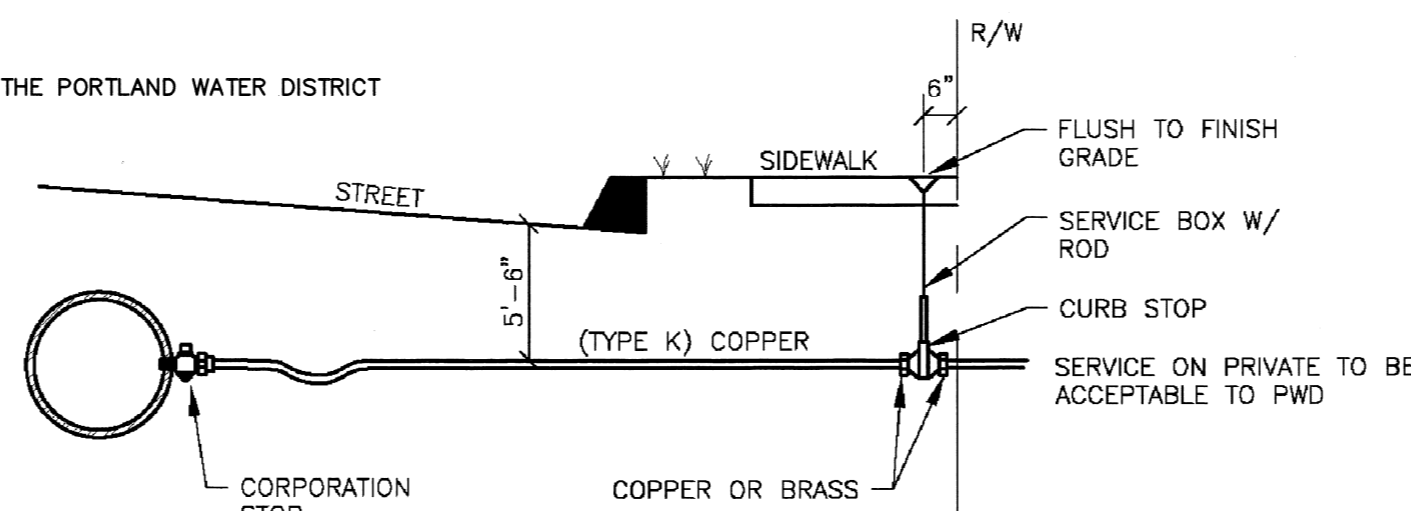
PAVEMENT TRENCH PATCH
NOT TO SCALE



SERVICE TAP
(3/4" AND 1" C.C. THREAD)

SERVICE SADDLE
(1-1/2" AND 2" C.C. THREAD)

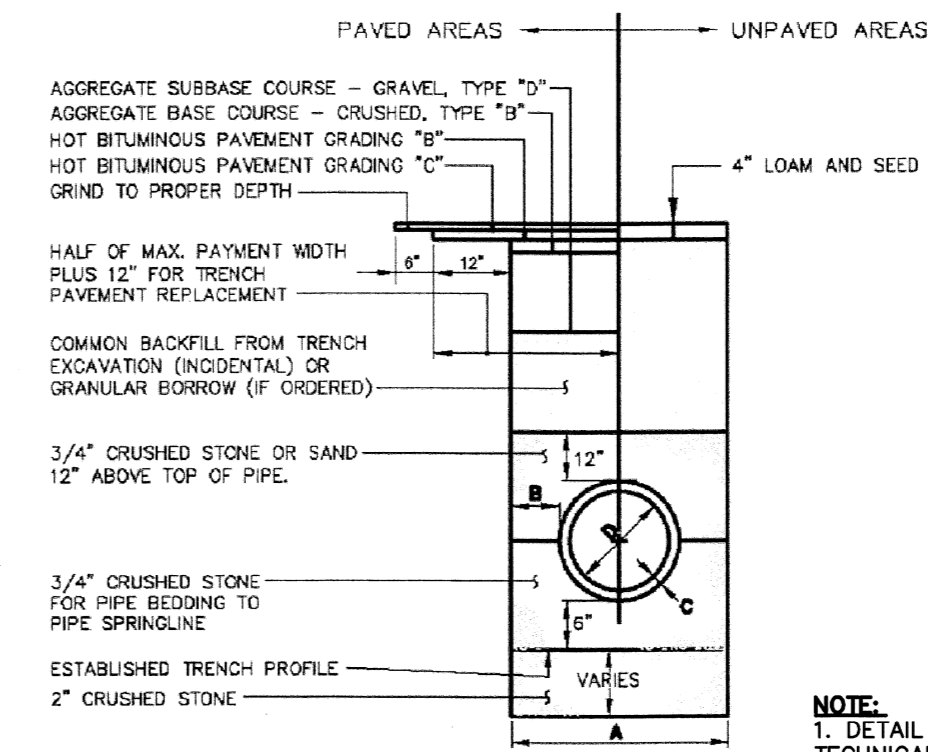
- NOTE:**
- DETAIL TAKEN FROM THE PORTLAND WATER DISTRICT STANDARD DETAILS.



PORTLAND WATER DISTRICT - TYPICAL SERVICE CONNECTION
NOT TO SCALE

NOTES:

- DEPTH OF BITUMINOUS PAVEMENT AND AGGREGATE COURSES SHALL BE DETERMINED BY STREET CLASSIFICATION.
- ANY ALTERNATE TRENCHING OR PAVEMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES.



TYPICAL PIPE TRENCH INSTALLATION
NOT TO SCALE

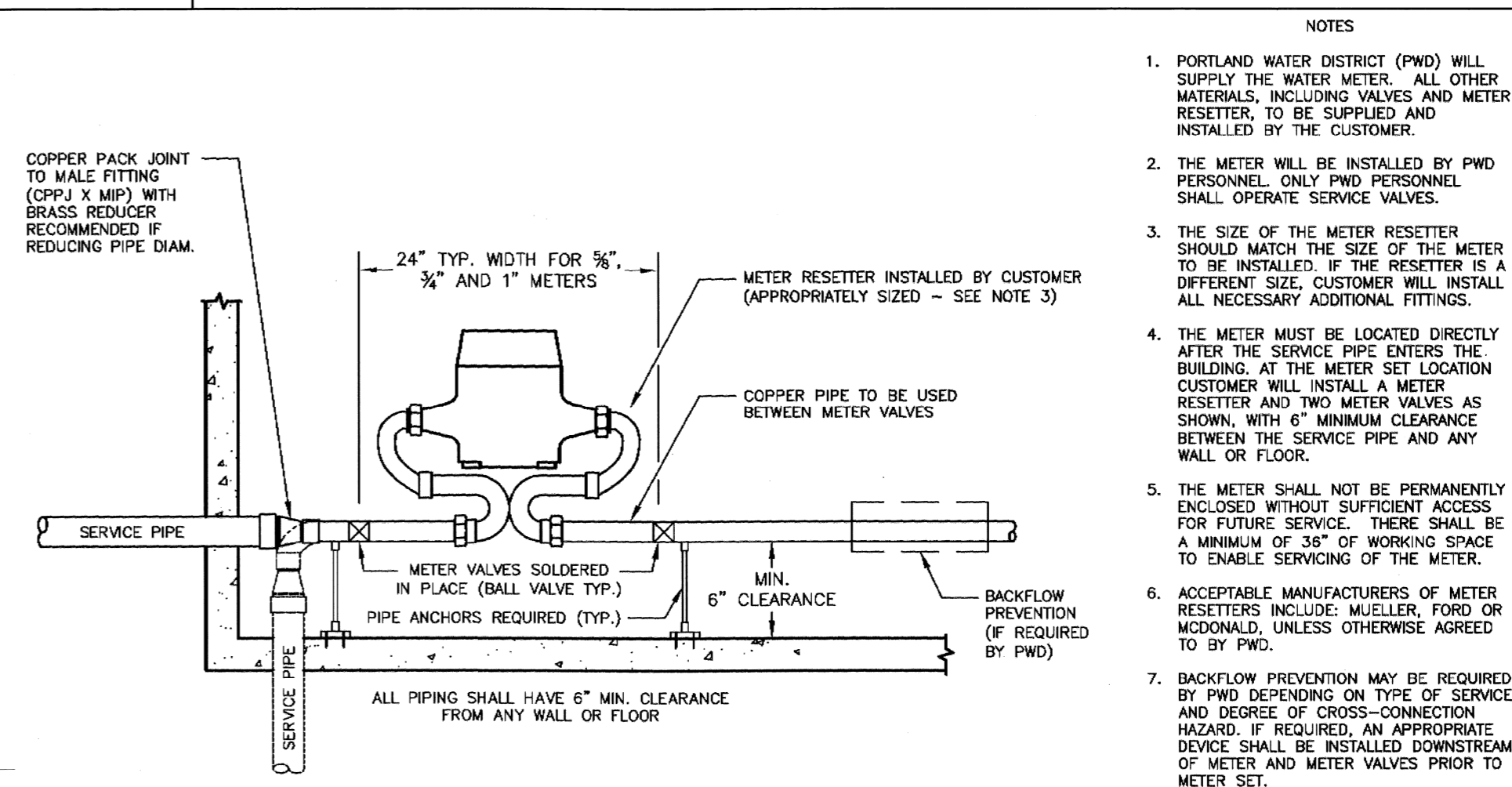
- NOTES:**
- ALTERNATIVE CONSTRUCTION METHODS OR PAYMENT METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
 - IN PAVED AREAS, DEPTHS OF GRAVEL AND HOT MIX ASPHALT PAVEMENT SHALL MATCH THE GREATER OF EXISTING CONDITIONS OR THE REQUIREMENTS FOR THE CORRESPONDING STREET CLASSIFICATION.
 - DIMENSION B SHALL BE SUFFICIENT TO ALLOW CRUSHED STONE BEDDING TO BE PLACED AND COMPACTED UNDER THE HAIRPINS OF THE PIPE, BUT IN ALL CASES DIMENSION B SHALL BE AT LEAST 1".
 - DIMENSION A IS THE MAXIMUM WIDTH ALLOWED FOR CALCULATING PAY QUANTITIES UNDER GRANULAR BORROW, CRUSHED STONE, STRUCTURAL EARTH EXCAVATION, AND STRUCTURAL ROCK EXCAVATION. DIMENSION A SHALL BE BASED ON PIPE DIAMETER D, AS SET FORTH IN THE FOLLOWING TABLE.

PIPE DIAMETER, D (INCHES)	MAX. TRENCH WIDTH, A (FEET)
4	4.0
6	4.0
8	4.0
10	4.0
12	5.0
18	5.0
24	5.0
27	6.0
30	6.0
36	6.0
42	7.0
48	7.0

- NOTE:**
- DETAIL TAKEN FROM THE CITY OF PORTLAND TECHNICAL MANUAL. ALL WORK IN THE CITY ROW SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL MANUAL, LATEST EDITION.

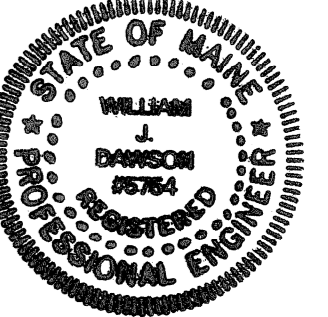
TYPICAL PIPE INSTALLATION - NOTES
NOT TO SCALE

CITY OF PORTLAND - TYPICAL PIPE TRENCH DETAIL
NOT TO SCALE



- NOTE:**
- DETAIL TAKEN FROM THE PORTLAND WATER DISTRICT STANDARD DETAILS.

PORTLAND WATER DISTRICT - TYPICAL WATER METER
NOT TO SCALE



72 Munjoy Street Condos

Peninsula Property Development

Portland, Maine

VERIFY SCALE
BAR IS 1 INCH ON ORIGINAL DRAWING
0 = 1 INCH
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

July 20, 2015

MARK	DATE	DESCRIPTION
PROJECT NO:	P-0765	
DATE:	2015/06/16	
FILE:	P0765-DETAILS.dwg	
DRAWN BY:	GWH	
CHECKED:	WJD	
APPROVED:	GMM	

DETAILS SHEET

SCALE: AS SHOWN

C-5

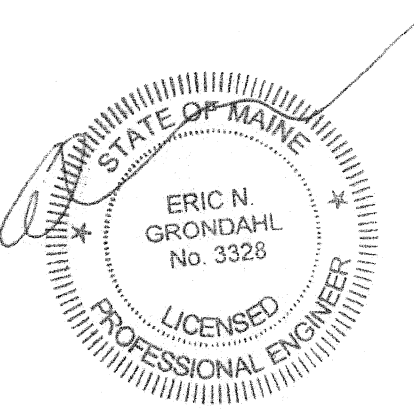
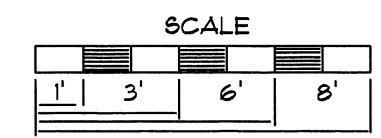
Last Saved: 7/20/2015 3:27pm By: GWH
 Plotted On: Jul 20, 2015 3:27pm By: Tighe & Bond, Inc. J:\P\PD\765 Peninsula Property Development\DWG-CAD\DESIGN\PD0765-DETAILS.dwg

FRONT ELEVATION
NEW 4 STORY HERE

ALL SOLID LINES REPRESENT NEW WORK



REAR ELEVATION



72 MUNJOY STREET CONDOS
016 B008 - 016 B009

J. CALL DESIGN
PLANNING AND DESIGN SERVICES FOR
RESIDENTIAL AND COMMERCIAL
151 ROOSEVELT TRAIL, WINDHAM, ME. 207-892-2810

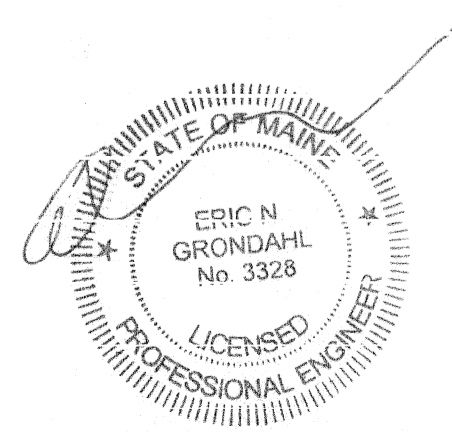
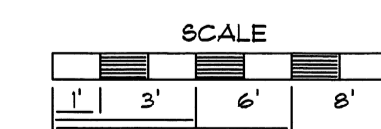
SCALE	DRAWN BY
1/4" = 1'	J. CALL
5/2015	1
DATE	PAGE

THESE DRAWINGS ARE DONE UNDER THE DIRECTION OF AN ENGINEER. IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS PROJECT IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY QUESTIONS ARRISE PLEASE CONTACT, J CALL DESIGN.

PENINSULA PROPERTY DEV.
robertleblanc1@me.com
DRAWING **FRONT AND REAR ELEVATIONS**



LEFT ELEVATION



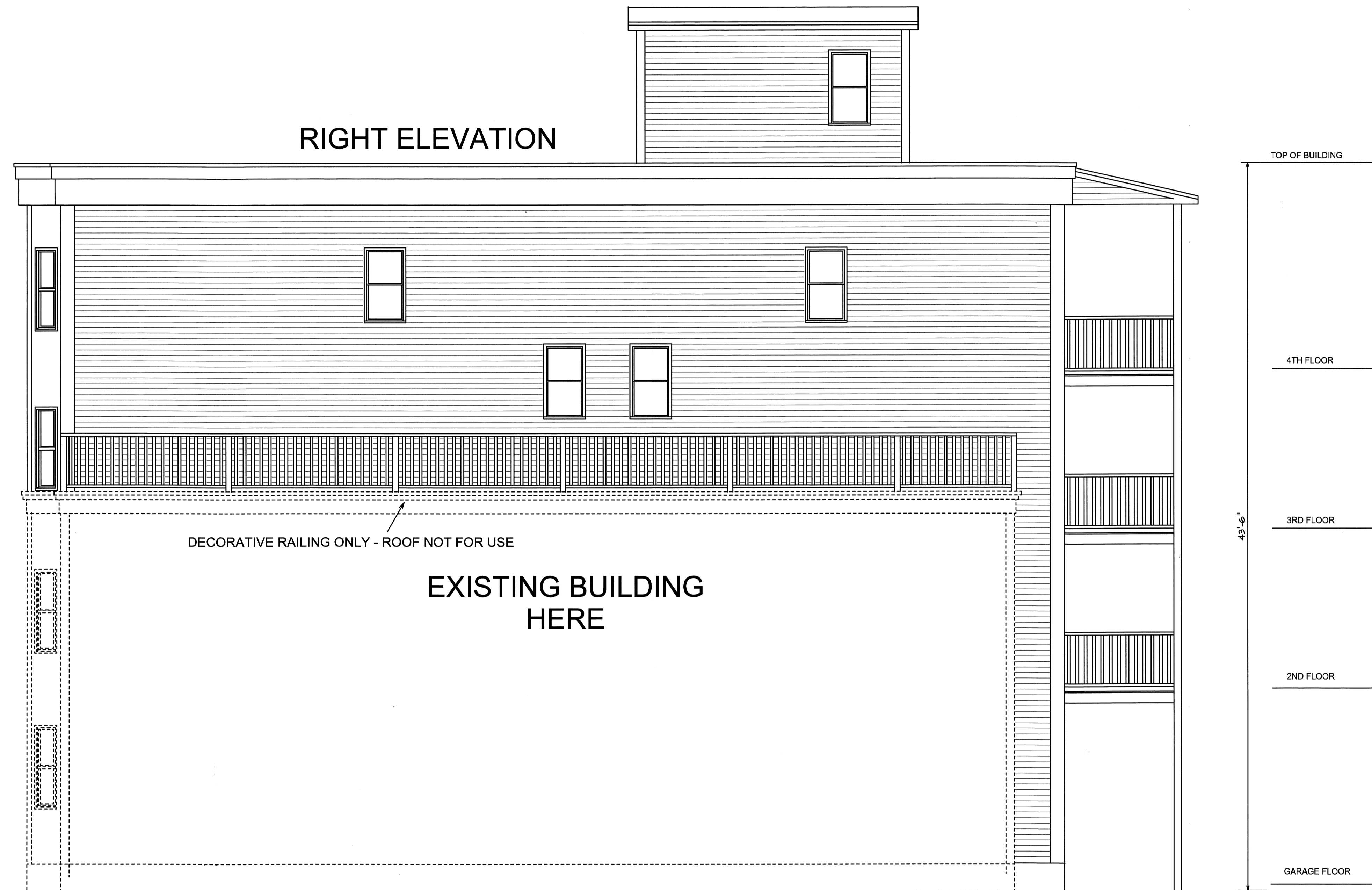
72 MUNJOY STREET CONDOS
016 B008 - 016 B009

J. CALL DESIGN
 PLANNING AND DESIGN SERVICES FOR
 RESIDENTIAL AND COMMERCIAL
 151 ROOSEVELT TRAIL, WINDHAM, ME. 207-892-2810

SCALE	DRAWN BY
1/4" = 1'	J. CALL
5/2015	2
DATE	PAGE

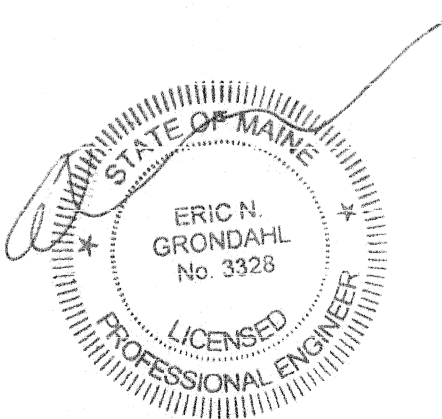
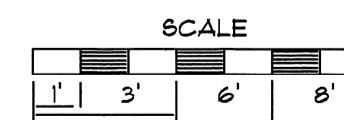
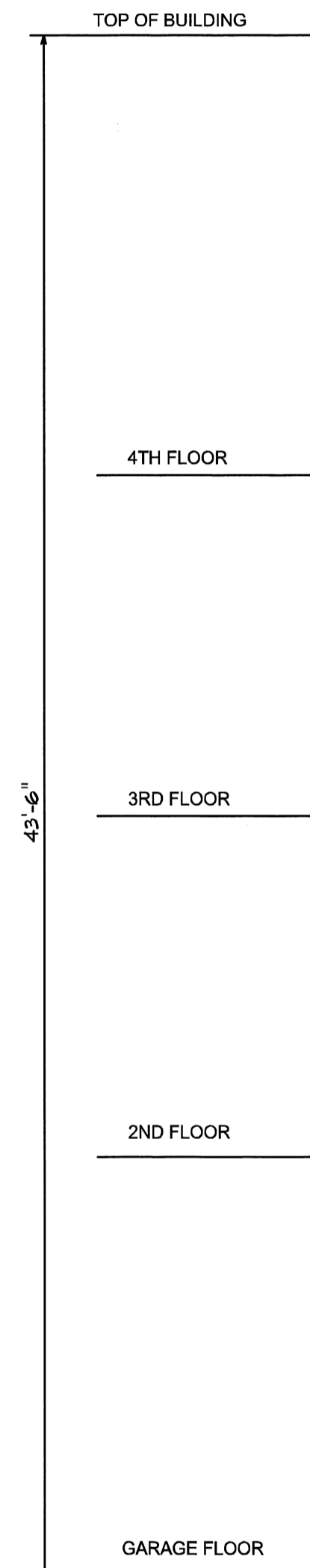
THESE DRAWINGS ARE DONE UNDER THE DIRECTION OF AN ENGINEER. IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS PROJECT IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY QUESTIONS ARRISE PLEASE CONTACT, J CALL DESIGN.

PENINSULA PROPERTY DEV.
 robertleblanc1@me.com
 DRAWING **LEFT ELEVATION**



DECORATIVE RAILING ONLY - ROOF NOT FOR USE

EXISTING BUILDING
HERE



72 MUNJOY STREET CONDOS
016 B008 - 016 B009



J. CALL DESIGN
PLANNING AND DESIGN SERVICES FOR
RESIDENTIAL AND COMMERCIAL
151 ROOSEVELT TRAIL, WINDHAM, ME. 207-892-2810

SCALE	DRAWN BY
1/4" = 1'	J. CALL
5/2015	3
DATE	PAGE

THESE DRAWINGS ARE DONE UNDER THE DIRECTION OF AN ENGINEER. IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS PROJECT IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER, WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY QUESTIONS ARRISE PLEASE CONTACT, J CALL DESIGN.

PENINSULA PROPERTY DEV.
robertleblanc1@me.com
DRAWING **RIGHT ELEVATION**