

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1110	Issue Date: OCT 28 2003	CBL: 016 B004001
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Location of Construction: 82 Munjoy St	Owner Name: Morrisey Paul D	Owner Address: 82 Munjoy St CITY OF PORTLAND	Phone: 207-775-4794
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R6

Past Use: 2 unit single attached D.U. please note 70-80 Munjoy St is a legal 200 family D.U.

Proposed Use: 2 unit w/interior alterations to 2nd floor, addition of dormer and deck, stairs redone

Permit Fee: \$345.00	Cost of Work: \$35,400.00	CEO District: 1
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999	
Signature:	Signature: AMB 10/28/03	

Proposed Project Description:
Interior alterations to 2nd floor, addition of dormer and deck, stairs redone

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: kwd	Date Applied For: 09/09/2003	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 9/10/17/03</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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This permit is for the lot with the single family side only

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1110	Date Applied For: 09/09/2003	CBL: 016 B004001
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Location of Construction: 82 Munjoy St	Owner Name: Morrisey Paul D	Owner Address: 82 Munjoy St	Phone: 207-775-4794
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: single family w/interior alterations to 2nd floor, addition of dormer and deck, stairs redone	Proposed Project Description: Interior alterations to 2nd floor, addition of dormer and deck, stairs redone
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/17/2003

Note: I had trouble with the number of du until it was brought to my attention that there are two separate lots with an attached building. #82 Munjoy St is a single family which is attached to #80 Munjoy ST which is a two family. This permit is only for the single family located on lot 016-B-004 **Ok to Issue:**

- 1) Please note that the owner is responsible for knowing where the actual property lot lines are located. You shall be responsible for calling the code enforcement officer PRIOR to any placement of concrete or construction so that these setbacks can be checked and verified.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 10/28/2003

Note: 10/23/03 left vm to call regarding egress windows and fire wall separation. **Ok to Issue:**
10/28/03 left vm again
10/28 Paul M. Called to give existing window dimensions and spoke about fire wall, ok to issue

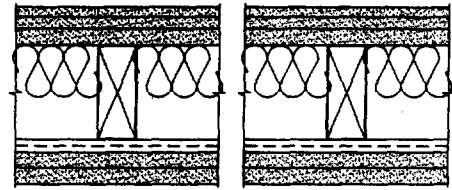
- 1) Party wall separation must be 1 hour and 45 STC. The abutters side may have been upgraded at a previous permit after fire in the mid 90"s. This can be checked when the wall is exposed.
- 2) Inspector check the measurements on the existing gable windows for egress size as verified by the owner.
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**GYPSUM WALLBOARD, RESILIENT CHANNELS,
GLASS FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" o.c. with 1" Type S drywall screws. **Base** layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 12" o.c. **Face** layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 3/4" daubs of adhesive 12" o.c. vertically and horizontally.

OPPOSITE SIDE: **Base** layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 5d coated nails, 1 5/8" long, 0.086" shank, 1 5/64" heads, 32" o.c. **Second** layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 8d coated nails, 2 3/8" long, 0.113" shank, 9/32" heads, 12" o.c. **Face** layer 3/8" regular gypsum wallboard applied parallel to studs with 3/4" daubs of adhesive 12" o.c. vertically and horizontally. 2" glass fiber insulation, 0.90 pcf, stapled to three layer side in stud space.

Joints staggered 16" each layer and side. (LOAD-BEARING)



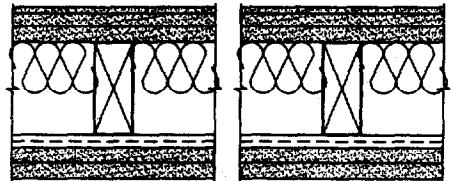
Thickness: 6 7/8"
Approx. Weight: 12 psf
Fire Test: UL R3660-2, 12-3-68,
UL Design U313
Sound Test: RAL TL69-117, 12-16-68

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GLASS FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" o.c. with 1" Type S drywall screws. **Base** layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 12" o.c. **Face** layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 3/4" daubs of adhesive 12" o.c. vertically and horizontally.

OPPOSITE SIDE: **Base** layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 5d coated nails, 1 5/8" long, 0.086" shank, 1 5/64" heads, 32" o.c. **Second** layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel to studs with 8d coated nails, 2 3/8" long, 0.113" shank, 9/32" heads, 12" o.c. **Face** layer 1/4" regular gypsum wallboard applied parallel to studs with 3/4" daubs of adhesive 12" o.c. vertically and horizontally. 2" glass fiber insulation, 0.90 pcf, stapled to three layer side in stud space.

Joints staggered 16" each layer and side. (LOAD-BEARING)



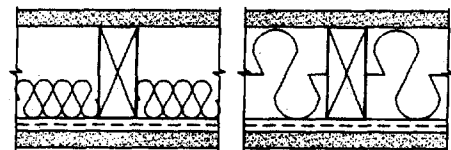
Thickness: 6 3/4"
Approx. Weight: 2 psf
Fire Test: UL R3660-2, 12-3-68,
UL Design U313
Sound Test: RAL TL69-286, 6-20-68
(Rev. 9-4-68)

**GYPSUM WALLBOARD, RESILIENT CHANNELS,
GLASS FIBER INSULATION, WOOD STUDS**

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" o.c. with 6d coated nails, 1 7/8" long, 0.086" shank, 1/4" heads. 1/2" x 3" gypsum wallboard filler strips attached to plate at floor line with 6d nails. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type S drywall screws 6" o.c. at horizontal joints and 12" o.c. at intermediate channels. 1 1/2" glass fiber insulation, 0.8 pcf, stapled to studs in stud space.

OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 6d nails 8" o.c.

End joints staggered 48" on opposite sides. Sound tested with 3 1/2" glass fiber insulation in stud space. (LOAD-BEARING)



FIRE SIDE

Thickness: 5 5/8"
Approx. Weight: 7 psf
Fire Test: OSU T-3127, 10-4-65
Sound Test: RAL TL77-138, 5-5-77

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Residential Building Permit Application

03-~~1110~~ 1110

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>82 Munjoy Street</u> <u>04101-4444</u>		
Total Square Footage of Proposed Structure <u>1420 ft² interior, 144 ft² deck, (¹²⁶⁴777 ft² tot)</u>	Square Footage of Lot <u>5163 ft²</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>016</u> Block# <u>B</u> Lot# <u>004-001</u>	Owner: <u>Paul Morrissey</u>	Telephone: <u>775-4794</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Paul Morrissey</u> <u>82 Munjoy St.</u> <u>Portland, ME 04101-4444</u>	Cost Of Work: \$ <u>35,400</u> Fee: \$ <u>345.00</u>
Current Specific use: <u>residential / 3 units</u>		
Proposed Specific use: <u>residential</u>		
Project description: <u>Interior gut/rehab with addition of a full "shed" dormer to the 2nd fl. Stairs to be redesigned to conform to code. A 12'x12' deck is to be attached to rear of bldg. w/conforming setbacks. All millwork, cabinets, fixtures and appurtenances are to be reused. Heating system will remain "as is". Construction is on one unit of a 3-unit</u>		
Contractor's name, address & telephone: <u>Self</u> <u>owner-occupied building. Recycled lumber is to be used for all interior framing and else-where as appropriate.</u>		
Who should we contact when the permit is ready: <u>applicant</u>		
Mailing address: <u>82 Munjoy Street</u> <u>Portland, ME</u> <u>04101-4444</u>		Phone: <u>775-4794</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

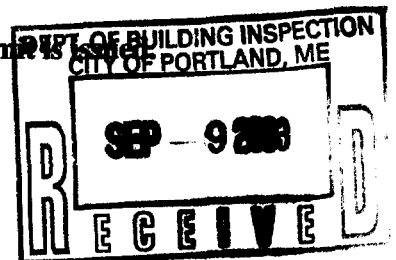
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Paul Morrissey</u>	Date:
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$90 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.





80-
2 family side



82

single fam. side

S. 1000

1. The first of the three...
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89. The eighty-ninth of the three...
90. The ninetieth of the three...

91. The ninety-first of the three...
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97. The ninety-seventh of the three...
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138. The hundred-thirty-eighth of the three...

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141. The hundred-forty-first of the three...

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144. The hundred-forty-fourth of the three...

145. The hundred-forty-fifth of the three...
146. The hundred-forty-sixth of the three...
147. The hundred-forty-seventh of the three...

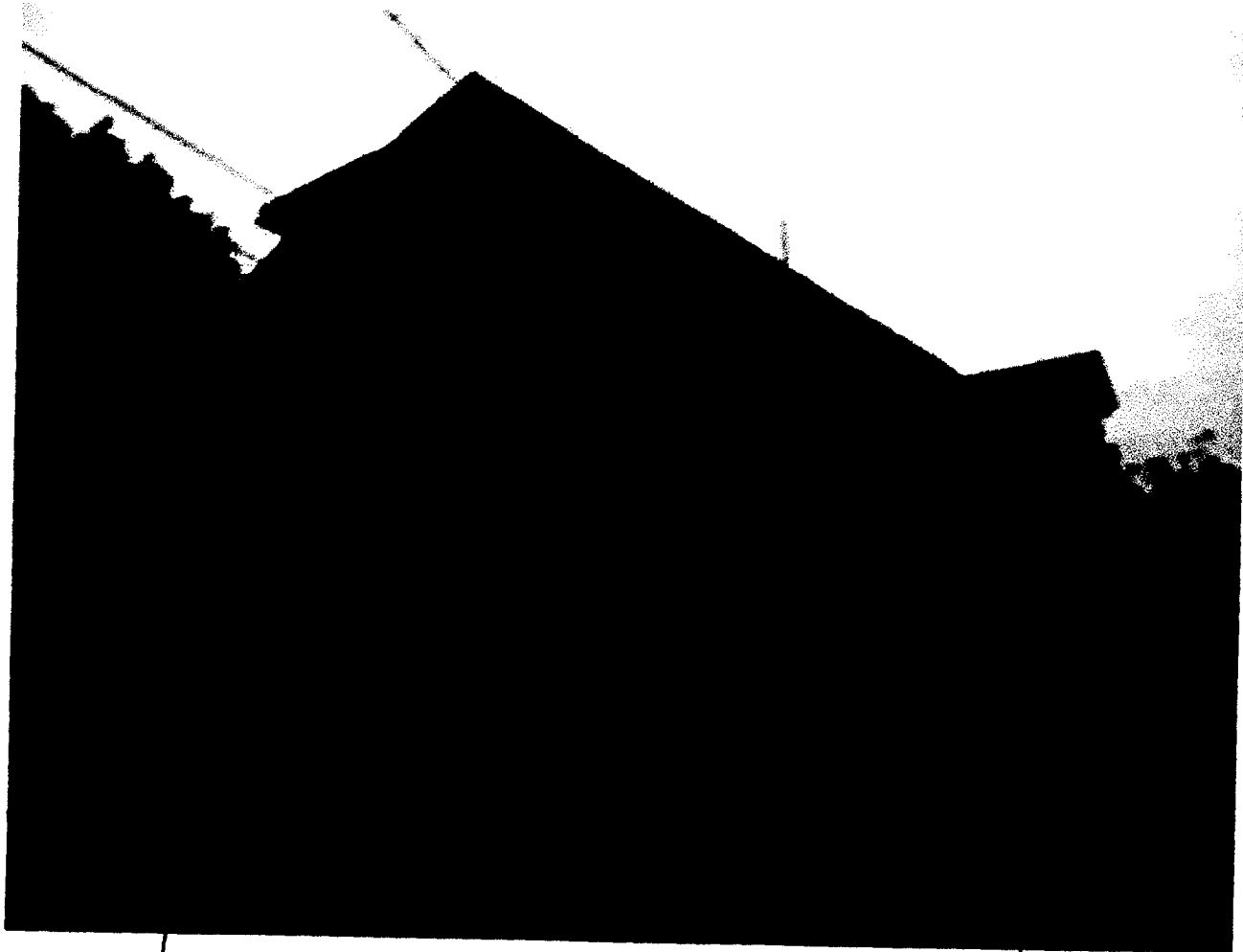
148. The hundred-forty-eighth of the three...
149. The hundred-forty-ninth of the three...
150. The hundred-fiftieth of the three...

151. The hundred-fifty-first of the three...
152. The hundred-fifty-second of the three...
153. The hundred-fifty-third of the three...

154. The hundred-fifty-fourth of the three...
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156. The hundred-fifty-sixth of the three...

157. The hundred-fifty-seventh of the three...
158. The hundred-fifty-eighth of the three...
159. The hundred-fifty-ninth of the three...

160. The hundred-sixtieth of the three...
161. The hundred-sixty-first of the three...
162. The hundred-sixty-second of the three...



78-82 Munjoy St

called 80

- 1924 2-Families
- 1996 2 Family w/ Deck
- 1996 Repair after fire 2F. Cojo

Drove By

called 82 1946-1 Family

10/9/03

To: Marge Schmuckal

Re: Permit 82 Munjoy Street
Morrissey

I have left these documents to show that 80 Munjoy and 82 Munjoy were once two separate properties with a common adjoining wall. 82 Munjoy is and always has been a single apartment, while 80 Munjoy is a two unit. (Please see Exhibit A for description)

80 Munjoy 016 B 005 001 } approx.
82 " 016 B 004 001 } prior to September 1991

The proposed work is the removal of a small dormer, to be replaced by a full dormer as indicated. No increase in interior ^{floor} space is to be made.

Please phone me on your return Tuesday to let me know how to resolve the permit hangup.

Thank you,

Paul Morin
10/10/03

CONTACT IN 10 DAYS



**NOTICE OF PROPERTY REVALUATION
OFFICE OF THE ASSESSOR
PORTLAND, MAINE**

JUNE 10, 1991 CATHLEEN
HAMEL

PARCEL IDENTIFICATION
016- - 8-004-001
PROPERTY LOCATION

MORRISSEY PAUL D
29 COLONIAL COURT
AMHERST MA 01002

82 MUNJOY ST
APRIL 1, 1991 ESTIMATE OF
VALUE:
LAND
BUILDINGS, ETC. 29,000
TOTAL 49,100
78,100

IMPORTANT INFORMATION

The City has completed a revaluation of all taxable property to be in place for the City's Fiscal Year, July 1, 1991 to June 30, 1992. This tax equalization program was completed in order to regain compliance with Maine State Statutes, i.e. Title 36, Section 327. Your new assessment is based upon an estimate of the current fair market value of your property as of April 1, 1991.

IMPORTANT - THIS IS NOT A TAX BILL. You will receive your tax bill in August, 1991. The above property value estimate will become your new assessment. The tax rate will be substantially lower than last year's rate. Therefore, DO NOT multiply your new assessment by last year's tax rate.

EXEMPTION - Veterans, blind and other allowable exemptions are not reflected in the above valuation estimate. Any exemptions for which you are qualified will be applied on your tax bill.

INFORMAL REVIEW - Cole-Layer-Trumble Company, the revaluation firm hired to conduct the City's property revaluation, will have appraisers available for the purpose of reviewing property values. A change in the proposed value will be considered only if the owner can demonstrate that the appraised value is in excess of market value. The appraisers are not authorized to discuss tax rates or estimate tax bills. If you desire, a request for review should be made within 10 days from the date of this notice. Do not call the Tax Assessor's office. Appointments may be made with the revaluation firm by calling the phone number shown below Monday through Friday between 8:30 A.M. and 4:00 P.M. Valuation reviews will be held at Portland City Hall.

PHONE #(207) 828-1370

856-7051



**NOTICE OF PROPERTY REVALUATION
OFFICE OF THE ASSESSOR
PORTLAND, MAINE**

JUNE 10, 1991

MORRISSEY PAUL D
29 COLONIAL COURT
AMHERST MA 01002

PARCEL IDENTIFICATION
016- - 8-005-001
PROPERTY LOCATION

80 MUNJOY ST
APRIL 1, 1991 ESTIMATE OF
VALUE:

LAND	
BUILDINGS, ETC.	30,700
TOTAL	82,600
	113,300

IMPORTANT INFORMATION

The City has completed a revaluation of all taxable property to be in place for the City's Fiscal Year, July 1, 1991 to June 30, 1992. This tax equalization program was completed in order to regain compliance with Maine State Statutes, i.e. Title 36, Section 327. Your new assessment is based upon an estimate of the current fair market value of your property as of April 1, 1991.

IMPORTANT - THIS IS NOT A TAX BILL. You will receive your tax bill in August, 1991. The above property value estimate will become your new assessment. The tax rate will be substantially lower than last year's rate. Therefore, DO NOT multiply your new assessment by last year's tax rate.

EXEMPTION - Veterans, blind and other allowable exemptions are not reflected in the above valuation estimate. Any exemptions for which you are qualified will be applied on your tax bill.

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PHONE #(207) 828-1370

REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC. LAND NOS. 82 STREET Munjoy CARD NO. OF DEVELOPMENT NO. AREA DIST. CHART BLOCK LOT CURR. DESC. 16 B 4

TAXPAYER ADDRESS AND DESCRIPTION
 NELSON HELMA & ERNEST S
 102 WASHINGTON AVE.
 CITY
 LAND & BLDGS. MUNDY ST. #82
 ASSESSORS PLAN 16-B-4
 AREA 1980 SQ. FT.

RECORD OF TAXPAYER		YEAR	BOOK	PAGE
PROPERTY FACTORS				
WATER	LEVEL	IMPROVEMENTS		
SEWER	HIGH			
GAS	LOW			
ELECTRICITY	ROLLING			
ALL UTILITIES	SWAMPY			
TREND OF DISTRICT				
PAVED	IMPROVING			
SEMI-IMPROVED	STATIC			
DIRT	DECLINING			
SIDEWALK	1			

LAND VALUE COMPUTATIONS AND SUMMARY

FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1981
27	44	19.00	6.9	350	100
7.84	35	19.00	2.2	4.30	

LAND VALUE COMPUTATIONS AND SUMMARY					
TOTAL VALUE LAND	TOTAL VALUE BUILDINGS	TOTAL VALUE LAND AND BUILDINGS	BLK.	LOT	BLK. LOT
450	1540	1990			

LAND VALUE COMPUTATIONS AND SUMMARY					
TOTAL VALUE LAND	TOTAL VALUE BUILDINGS	TOTAL VALUE LAND AND BUILDINGS	BLK.	LOT	BLK. LOT

LAND VALUE COMPUTATIONS AND SUMMARY					
TOTAL VALUE LAND	TOTAL VALUE BUILDINGS	TOTAL VALUE LAND AND BUILDINGS	BLK.	LOT	BLK. LOT

LAND VALUE COMPUTATIONS AND SUMMARY					
TOTAL VALUE LAND	TOTAL VALUE BUILDINGS	TOTAL VALUE LAND AND BUILDINGS	BLK.	LOT	BLK. LOT

COLE-LAYER-TUMBLE CO. - DAYTON, OHIO

RPPM21
RPPP21

PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE
PARCEL ID: 016 B 005 001 01/01 ACCT: M6966192

10/24/9
13:54

110 PROPERTY ADDRESS 0000080 MUNJOY ST _____
901 OWNER NAME1 MORRISSEY PAUL D _____ (1, f, i)
902 NAME2 _____
903 ADDRESS 29 COLONIAL COURT _____
904 CITY/STATE/ZIP AMHERST _____ MA 01002

106 ENTRANCE: CODE 0 INFO 2 DATE 02/06/90 INITIALS JSW
107 OPERATOR: LAST BTH PREV BTH DATE 04/12/91
114 DEED BOOK _____ 115 PAGE _____ 116 DATE ___/___/___

	CURRENT VALUE	PREVIOUS VALUE
LAND	\$30,700	\$8,420
BUILDING	\$82,600	\$24,400
TOTAL	\$113,300	\$32,820

961 FINAL VALUE \$113,300 REAS B DATE 06/04/91 REVR MKT
971 EXEMPT VALUE \$0 REAS B YEAR 90

OPTNS(N,F,Q): -

RPPM22
RPPP22

PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE
PARCEL ID: 016 B 005 001 01/01 ACCT: M6966192

10/24/9
13:54

101 CLASS RI 111 ST CD 1239 112 STR NO 0078 102 LAND USE 12
113 ROUTE 148- 103 LIV UNTS 002 104 ZONE R6 105 NBHD 101
108 PARTL 120 FRAME 451 PLAN DST 14
401 TOPOG 1 411 UTILS 2 3 4 421 STR/RD 1 5 6 441 TRAFFIC 1

	MO	YR	TYPE	AMOUNT	SOURCE	VALIDITY	DELETE
200 SALE 1	---	---	-	_____	-	-	-
201 SALE 2	---	---	-	_____	-	-	-
202 SALE 3	---	---	-	_____	-	-	-

461 PERMIT 1:	NO	_____	DATE	___/___	AMOUNT	_____
462 PERMIT 2:	NO	_____	DATE	___/___	AMOUNT	_____
463 PERMIT 3:	NO	_____	DATE	___/___	AMOUNT	_____
464 PERMIT 4:	NO	_____	DATE	___/___	AMOUNT	_____
465 PERMIT 5:	NO	_____	DATE	___/___	AMOUNT	_____

471 DESC 16-B-5 _____ 472 DESC MUNJOY ST 78-80 _____
473 DESC 3183 SF _____ 474 DESC _____
981 NEED MAILER _____ 982 NEED NTP _____ 983 NEED COMP _____

OPTNS(N,F,Q): -

RPPM23
RPPP23

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 005 001 01/01 ACCT: M6966192

10/24/9
13:54

299 DELETE 300 - 330: _

	DESCR	EFFFRONT	EFFDEPTH	PRICE	INFL%	VALUE	
300	NONE:	—					
301	LOT:	—	—	—	—	%	
302	LOT:	—	—	—	—	%	
303	LOT:	—	—	—	—	%	
310	SQFT:	1	0,003,183	SQFT	\$000.00	00%	\$30,72
311	SQFT:	—	—	SQFT	—	%	
312	SQFT:	—	—	SQFT	—	%	
315	ACREAGE:	—	—	ACRES	—	%	
316	ACREAGE:	—	—	ACRES	—	%	
317	ACREAGE:	—	—	ACRES	—	%	
325	TOTAL:	0	000,003,183	SQUARE FT.			
330	GROSS:	—	—	LAND VALUE			

OPTNS(N,P,Q): _

RPPM24
RPPP24

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 005 001 01/01 ACCT: M6966192

10/24/9
13:55

499 DELETE 500 - 533

500	PROPERTY INDICATOR	D	505	STORY HEIGHT	20	
506	EXTERIOR WALLS	1	507	HOUSE STYLE	05	
508	AGE: YEAR BUILT	1890	EST AGE	Y	YEAR REMODELED	19__
509	LIV ACCOM: TOT RMS	08	BEDROOMS	04	FAMILY ROOMS	0
	BATHS:	FULL	2	HALF	0	
		ADDL FIX	2	TOTAL FIX	10	
510	KITCHEN REMOD	2	511	BATHROOM REMOD	1	
512	BASEMENT	4	513	HEATING TYPE	2 FL 4 SYS 5	
514	ATTIC	2	515	INT/EXT	2	
516	PHYSICAL COND	3	517	CONDO LEVEL	—	
518	CONDO TYPE	—	520	BRICK TRIM	—	
521	STONE TRIM	—	522	REC-ROOM AREA	—	
523	FIN-BSMT AREA	—	524	FIREPLACE STACK	— OPEN	
525	METAL FIREPLACE	—	526	WOOD/COAL BURN	—	
527	BASEMENT GARAGE	—	528	UNFINISHED AREA	—%	
529	HEATED AREA	—%	530	GROUND FLR AREA	0882	
531	GRADE	C_	532	C&D FACTOR	+05%	
533	CDU	AV	534	PERCENT GOOD	—%	

COMPUTED SFLA 1812

OPTNS(N,P,Q): _

RPPM25 PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE 10/24/9
RPPP25 PARCEL ID: 016 B 005 001 01/01 ACCT: M6966192 13:55

599 DELETE 601 - 608: ADDITIONS										
LOW	1ST	2ND	3RD	AREA		LOW	1ST	2ND	3RD	AREA
601	11	11		0147	602	50	15	15		0024
603					604					
605					606					
607					608					

799 DELETE 801 - 810: DB & Y'S										
TYPE	QUAN	YEAR	SIZE	GRADE	COND	MA		CODE		VALUE
801	RG2	01	56	25X036	D	A	00%	-	-	\$9,97
802							%	-	-	
803							%	-	-	
804							%	-	-	
805							%	-	-	
806							%	-	-	
807							%	-	-	

B10 MISCELLANEOUS IMPROVEMENTS
800 GROSS BLD CD REF VALUE

RPPM27 PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE 10/24/9
RPPP27 PARCEL ID: 016 B 005 001 01/01 ACCT: M6966192 13:56

OPTNS(N,P,Q):

LWR	1ST	2ND	3RD	AREA		
A	MAIN STR			0882	+--7--+-+-----15-----+	
B	11	11		0147	[[
C	50	15	15	0024	[[
D					21	21
E					[B [
F					[[
G					[[
H					+----12-7-+-+-----	
I					[A
						42
					[[
					[[
					21	[
					[[
					[[
					[[
					3-----+-+-----27-----+	
					+--8---3	

TOTAL AREA: 1812
RCN: 123100
% GOOD: 0.60%
RCNLD: 73900

TYPE: NW, NE, SW, SE TO ALTER VIEW

C

RPPM21
RPPP21

PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE
PARCEL ID: 016 B 004 001 01/01 ACCT: M6966092

10/24/91
13:51

110 PROPERTY ADDRESS 0000082 MUNJOY ST _____
901 OWNER NAME1 MORRISSEY PAUL D _____ (1, f, i)
902 NAME2 _____
903 ADDRESS 29 COLONIAL COURT _____
904 CITY/STATE/ZIP AMHERST _____ MA 01002

106 ENTRANCE: CODE 0 INFO 1 DATE 02/06/90 INITIALS JSW
107 OPERATOR: LAST BTH PREV BTH DATE 04/12/91
114 DEED BOOK _____ 115 PAGE _____ 116 DATE ___/___/___

	CURRENT VALUE	PREVIOUS VALUE
LAND	\$29,000	\$4,730
BUILDING	\$49,100	\$17,770
TOTAL	\$78,100	\$22,500

961 FINAL VALUE _____ \$78,100 REAS 8 DATE 06/04/91 REVR MKT
971 EXEMPT VALUE _____ \$0 REAS 8 YEAR 90

OPTNS(N,P,Q): _

RPPM22
RPPP22

PORTLAND, ME MASS APPRAISAL SYSTEM - ONLINE
PARCEL ID: 016 B 004 001 01/01 ACCT: M6966092

10/24/91
13:51

101 CLASS RI 111 ST CD 1239 112 STR NO 0082 102 LAND USE 11
113 ROUTE 149- 103 LIV UNTS 001 104 ZONE R6 105 NBHD 101
108 PARTL 120 FRAME 451 PLAN DST 14
401 TOPOG I 411 UTILS 2 3 4 421 STR/RD 1 5 6 441 TRAFFIC 1

	MO	YR	TYPE	AMOUNT	SOURCE	VALIDITY	DELETE
200 SALE 1	---	---	-	_____	-	-	-
201 SALE 2	---	---	-	_____	-	-	-
202 SALE 3	---	---	-	_____	-	-	-

461 PERMIT 1:	NO	_____	DATE	___/___	AMOUNT	_____
462 PERMIT 2:	NO	_____	DATE	___/___	AMOUNT	_____
463 PERMIT 3:	NO	_____	DATE	___/___	AMOUNT	_____
464 PERMIT 4:	NO	_____	DATE	___/___	AMOUNT	_____
465 PERMIT 5:	NO	_____	DATE	___/___	AMOUNT	_____

471 DESC 16-B-4 _____ 472 DESC MUNJOY ST 82 _____
473 DESC 1980SF _____ 474 DESC _____
981 NEED MAILER _ 982 NEED NTP _ 983 NEED COMP _

OPTNS(N,P,Q): _

RPPM23
RPPP23

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 004 001 01/01 ACCT: M6966092

10/24/9
13:52

299 DELETE 300 - 330: _

	DESCR	EFFFRONT	EFFDEPTH	PRICE	INFL%	VALUE
300	NONE: -					
301	LOT: -					%
302	LOT: -					%
303	LOT: -					%
310	SQFT: 1	0,001,980	SQFT	\$000.00	00%	\$28,97
311	SQFT: -		SQFT			%
312	SQFT: -		SQFT			%
315	ACREAGE: -		ACRES			%
316	ACREAGE: -		ACRES			%
317	ACREAGE: -		ACRES			%
325	TOTAL: 0	000,001,980	SQUARE FT.			
330	GROSS: -		LAND VALUE			

OPTNS(N,P,Q): _

RPPM24
RPPP24

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 004 001 01/01 ACCT: M6966092

10/24/9
13:52

499	DELETE 500 - 533					
500	PROPERTY INDICATOR	D	505	STORY HEIGHT	15	
506	EXTERIOR WALLS	1	507	HOUSE STYLE	05	
508	AGE: YEAR BUILT	1890	EST AGE	Y	YEAR REMODELED	19__
509	LIV ACCOM: TOT RMS	05	BEDROOMS	03	FAMILY ROOMS	0
	BATHS: FULL	1		HALF	0	
	ADDL FIX	0		TOTAL FIX	05	
510	KITCHEN REMOD	2	511	BATHROOM REMOD	1	
512	BASEMENT	4	513	HEATING TYPE	2 FL 4	SYS :
514	ATTIC	1	515	INT/EXT	2	
516	PHYSICAL COND	3	517	CONDO LEVEL		
518	CONDO TYPE		520	BRICK TRIM		
521	STONE TRIM		522	REC-ROOM AREA		
523	FIN-BSMT AREA		524	FIREPLACE STACK		OPEN
525	METAL FIREPLACE		526	WOOD/COAL BURN		
527	BASEMENT GARAGE		528	UNFINISHED AREA		%
529	HEATED AREA	%	530	GROUND FLR AREA	0672	
531	GRADE	C_	532	C&D FACTOR		%
533	CDU	FR	534	PERCENT GOOD		%
				COMPUTED SFLA	1194	
				OPTNS(N,P,Q):		

RPPM25
RPPP25

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 004 001 01/01 ACCT: M6966092

10/24/9
13:52

599 DELETE 601 - 608:		ADDITIONS									
	LOW	1ST	2ND	3RD	AREA		LOW	1ST	2ND	3RD	AREA
601			31		0048	602		11			0032
603	50	15			0018	604					
605						606					
607						608					

777 DELETE 801 - 810:		DB & Y'S								VALUE
	TYPE	QUAN	YEAR	SIZE	GRADE	COND	MA	CODE		
801							%			
802							%			
803							%			
804							%			
805							%			
806							%			
807							%			
810	MISCELLANEOUS IMPROVEMENTS									
800	GROSS BLD CD REF									VALUE

OPTNS(N,P,Q): -

RPPM27
RPPP27

PORTLAND, ME
PARCEL ID: 016

MASS APPRAISAL SYSTEM - ONLINE
B 004 001 01/01 ACCT: M6966092

10/24/9
13:53

	LWR	1ST	2ND	3RD	AREA
A		MAIN	STR		0672
B			31		0048
C		11			0032
D	50	15			0018
E					
F					
G					
H					
I					
TOTAL AREA:					1194
RCN:					76300
% GOOD:					0.50%
RCNLD:					38200

6-----+
+-B-16-----+
[B [
[[
[[
[[
[[
42 42-4+
[A [C [
[+4-+
[[
[[
*--+16-+++
+---3
D

TYPE: NW, NE, SW, SE TO ALTER VIEW

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND PERMIT ISSUED

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

Permit Number 2003110
OCT 28 2003

This is to certify that Morrissey Paul D
has permission to Interior alterations to 2nd floor additional stairs and deck, stairs redone
AT 82 Munjoy St L 016 B004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is leased or otherwise used-in.
FOR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER PERMITS / APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board OCT 28 2003
Other _____
Department Name CITY OF PORTLAND

Janice Bourke 10/28/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB ~~Pre-construction/Meeting:~~ Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at ~~874-8692~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- N/A ~~Footing/Building Location Inspection:~~ Prior to pouring concrete
- ~~Re-Bar Schedule Inspection:~~ Prior to pouring concrete
- ~~Foundation Inspection:~~ Prior to placing ANY backfill
- ~~Framing/Rough Plumbing/Electrical:~~ Prior to any insulating or drywalling
- ~~Final Certificate of Occupancy:~~ Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

N/A **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Paul D. Murray
Signature of applicant/designee

10/29/03
Date

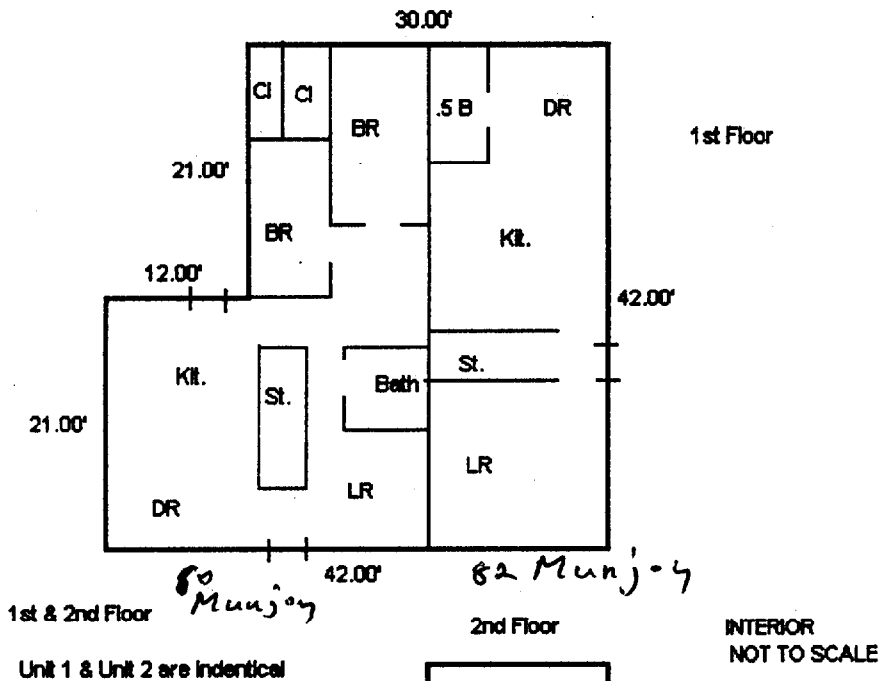
Joanne Bouke
Signature of Insoctions Official

10/29/03
Date

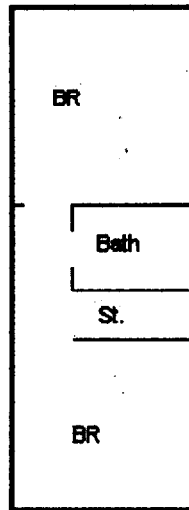
CBL: 16-B-4 Building Permit #: 03-1110

Building Sketch

Borrower/Client Morrissey, Paul D.				
Property Address 78-82 Munjoy Street				
City Portland	County Cumberland	State ME	Zip Code 04101	
Lender Maine Home Mortgage				



Unit 1 & Unit 2 are identical



82 Munjoy
2nd fl.

To have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Paul D. Morrisey, his

heirs and assigns, to him and their use and behoof forever.

And I do warrant with the said Grantee, his heirs and assigns, that we are lawfully seized in fee of the premises, that they are free of all encumbrances

that we have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that we and our heirs shall and will warrant and defend the same to the said Grantee, his heirs and assigns forever, against the lawful claims and demands of all persons.

In Witness Whereof, we, the said Thomas S. Grunwald and Kimberly A. Grunwald,

X

~~XX~~

~~XX~~

XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX, have hereunto set our hands and seals this 6th day of the month of November, A.D. 1986.

Signed, Sealed and Delivered
in presence of

.....
.....	Thomas S. Grunwald, by Kimberly A. Grunwald, his Attorney in Fact
.....
.....	Kimberly A. Grunwald
.....

State of Maine, County of Cumberland ss: November 6, 19 86.

Then personally appeared the above named Kimberly A. Grunwald and acknowledged the above instrument to be her free act and deed. The said Kimberly A. Grunwald also executed the foregoing instrument on behalf of Thomas S.

EXHIBIT A

A certain lot or parcel of land with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, on the southwesterly side of Munjoy Street, and bounded and described as follows, to wit: Beginning on said southwesterly side of Munjoy Street on a line with the center of the division wall, which separates the house on these premises from the one adjoining, which is now or formerly owned by William Bowen; thence running southwesterly through the center of said division wall, and in a direct line 80 feet to land now or formerly of said Bowen; thence northwesterly by said land of said Bowen and land now or formerly of William D. Larrabee, to land now or formerly of George Brown; thence northeasterly by said land of said Brown 35 feet, more or less to a stake; thence northwesterly about 3 feet to a stake; thence northeasterly by land now or formerly of the Estate of Charlotte F. Vaill to said street; thence southeasterly by said street 27 feet to the bound first begun at. With a right in a passageway 8 feet wide adjoining land formerly belonging to Zenas C. Avery and the privilege of passing to and fro from said premises hereby conveyed to said passageway.

Being the same premises conveyed to Daniel W. Stevens and Karen E. Stevens by deed of Robert E. Hatcher dated September 3, 1981 and recorded in said Registry in Book 4848, Page 331.

Also another certain lot or parcel of land with the buildings thereon, situated on the southwesterly side of Munjoy Street in the City of Portland, County of Cumberland and State of Maine, and being more particularly bounded and described as follows: Beginning at a point on the southwesterly side of Munjoy Street, which point marks the most northeasterly corner of land now or formerly of Richard L. Jordan; thence westerly along said Jordan land and through the center of the partition wall dividing the double house, the southerly half of which stands on the land herein described 80 feet, more or less, to a point, which is 90 feet from Atlantic Street; thence southeasterly 40-1/2 feet, more or less, to a point marking the most southwesterly corner of land conveyed by Isadore Russman to John K. Wright, et al, by deed dated October 25, 1978 and recorded in Cumberland County Registry of Deeds in Book 4330, Page 316; thence northeasterly by said Wright land 75 feet more or less, to a point on said Munjoy Street, which point is 60 feet northwesterly from the most northeasterly corner of land of said Wright; thence northwesterly along said Munjoy Street to the point of beginning.

The above described premises are conveyed together with a right of way of ingress and egress by foot travelers and vehicles to and from the rear portion of the above described premises and any garage or other building thereon over a 10 foot wide strip on the northwesterly side of the premises conveyed by said Russman to Wright as aforesaid. Said right of way is presently marked by the driveway.

Being the same premises conveyed to Thomas S. Grunwald and Kimberly A. Grunwald by deed of Daniel W. Stevens and Karen E. Stevens dated April 11, 1983 and recorded in Cumberland County Registry of Deeds in Book 6147, Page 88.

WARRANTY DEED

Know all Men by these Presents,

That we, Thomas S. Grunwald and Kimberly A. Grunwald, of
Portland, County of Cumberland and State of Maine,
in consideration of One Dollar (\$1.00) and other valuable considerations
paid by Paul D. Morrissey

whose mailing address is 89 Spruce Street, Portland, Maine

the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and
convey unto the said Paul D. Morrissey, his

heirs and assigns forever,

See Exhibit A attached