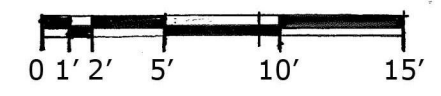


Proposed Renovations @
 45 Montreal St., Portland, ME
 September 18, 2014

Reiter Architecture & Design
 PO Box 275 Brooklin, ME 04616
 207-359.2300 / laurenjreiter@yahoo.com

EXISTING 1st &
 2nd FLOOR PLANS
A2





Inspections Division
Date: 12/01/14

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) TITLE OR OWNERSHIP NOT DETERMINED. (6) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, ENCROACHMENTS, AND/OR CONFLICTS WITH ABUTTER'S DEEDS. (7) LOCATION/EXISTENCE OF WETLANDS NOT DETERMINED UNLESS SHOWN ON A RECORDED SUBDIVISION PLAN. (8) THIS OFFICE DOES NOT GRANT AUTHORIZATION TO ANY THIRD PARTY FOR USE OF THIS INSPECTION IN ANY BOUNDARY LINE EVALUATION FOR PERMITTING/PLANNING/APPROVALS. (9) THIS OFFICE ACCEPTS NO LIABILITY AND/OR RESPONSIBILITY FOR THE IMPROPER USE OF THIS MORTGAGE LOAN INSPECTION.

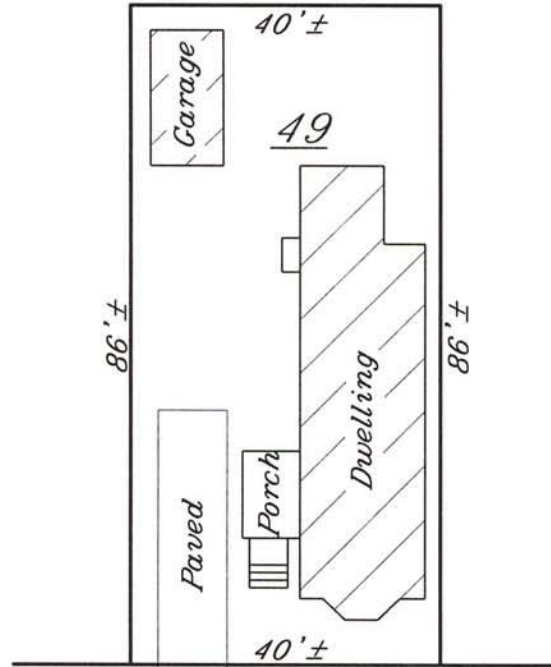
REV. 08/01/14

THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES, IMPROVEMENTS SHOWN ARE APPROXIMATE.

ADDRESS: 45 Montreal Street
Portland, Maine

INSP. DATE: 09/18/2014
SCALE: 1" = 25'

Recommend Boundary Survey for accurate location.
No apparent property corners found.



Montreal Street

JDN

SEE PROVIDED TITLE REFERENCES FOR APPURTENANCES, IF ANY.

APPLICANT: Group 2, LLC FILE#: 21427562
OWNER: Estate of Lyden CLIENT#: _____
LENDER: _____
REQ. PARTY: Drummond Woodsum

TITLE REFERENCES: COUNTY: Cumberland
DEED BOOK: 3079 PAGE: 834
PLAN BOOK: 1 PAGE: 41 LOT: 49

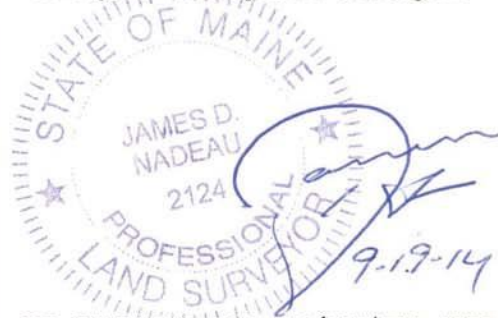
MUNICIPAL REFERENCE:
MAP: 15 BLOCK: E LOT: 16

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA COMMUNITY MAP No. 230051 PANEL: 0013B
ZONE: X DATE: 12/08/1998

THE DWELLING WAS ██████ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

Nadeau Land Surveys

Professional Land Surveyors
Certified Floodplain Managers



918 BRIGHTON AVE. PH.(207)878-7870
PORTLAND, ME. 04102 F.(207)878-7871
THIS INSPECTION IS VALID ONLY WITH A SURVEYOR'S SEAL AND IS NULL & VOID 90 DAYS AFTER INSPECTION DATE.

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING



PORTLAND MAINE



Inspections Division
Date: 12/01/14

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. **After all approvals have been met and completed, I will then be issued my permit via e-mail.** No work shall be started until I have received my permit.

Applicant Signature:  Date: 10/30/14

I have provided digital copies and sent them on: October 30, 2014 via email Date: 10/30/14

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936

**Building Inspections - 45 Montreal Street - new (amended) application**

From: Lauren Reiter <laurenjreiter@yahoo.com>
To: Building Inspections <buildinginspections@portlandmaine.gov>
Date: 10/30/2014 10:12 AM
Subject: 45 Montreal Street - new (amended) application
CC: Tom Landry <tomlandry@benchmarkmaine.com>
Attachments: Montreal St A4 Revised Proposed 1st Floor Plan_10-30-14.jpg; 45 Montreal St Rev Alteration App_10-30-14.pdf; 45 Montreal St Fast Track App_10-30-14.pdf

To Building Inspections: please find attached applications and one drawing to indicate revised scope of work at a renovation project that was recently permitted by the City. The 45 Montreal Street project was permitted on 9/29/14, Permit #2014-02228.

The attached items describe the need to remove an existing attached Sunroom in order to make repairs to the foundation. The need to stabilize one area of the foundation was discovered during the current course of renovation. We propose to replace the Sunroom with a simple exterior deck.

The three attachments are:

- Montreal St A4 Revised Proposed 1st Floor Plan_10-30-14
- 45 Montreal Rev Fast Track App_10-30-14
- 45 Montreal Rev Alteration App_10-30-14

Please let me know if any other information is needed in order to process this application. Thank you.
Lauren Reiter

Reiter Architecture & Design
Lauren J. Reiter, RA, LEED AP
P.O. Box 275 / 56 Fox Lane
Brooklin, ME 04616
tel. 207.359.2300 / fax. 207.359.4951
email. laurenjreiter@yahoo.com



From: Lauren Reiter <laurenreiter@yahoo.com>
To: Tom Landry <tomlandry@benchmarkmaine.com>
CC: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 11/26/2014 3:16 PM
Subject: Re: 45 Montreal St., Permit #2014-02575

Ann, The faulty area of existing rubble foundation wall along a section of the west side of the house was removed. In its place, a 10" new concrete foundation wall on 2' footings with rebar went in. On top of the 10" thick wall is a row of solid grouted CMU, onto which the sill plate is bolted. A city inspector was there to look at the forms for the footings.

Does this give you the info you need? I am traveling so hope that this written response will suffice.

Thanks and have a great Thanksgiving.

Lauren

Sent from my iPhone

> On Nov 26, 2014, at 11:35 AM, Tom Landry <tomlandry@benchmarkmaine.com> wrote:

>

> Okay Ann. I've CCed Lauren on this I'm sort something she can take care of easily.

>

> Tom Landry

> Broker/Owner

> BENCHMARK Real Estate

> Sent by iPhone 207-939-0185

>

>> On Nov 26, 2014, at 11:01 AM, Ann Machado <AMACHADO@portlandmaine.gov> wrote:

>>

>> Tom -

>>

>> I need some more information before I can sign off on this permit. A plan was submitted to show how the new deck will be built but we also need information about how the foundation is going to be stabilized.

>>

>> Please send the information directly to me.

>>

>> Thanks.

>>

>> Ann

>>

>>

>> Ann Machado

>> Acting Zoning Administrator

>> Planning & Urban Development

>> Portland City Hall

>> (207) 874-8709

>>

>> Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

Acknowledgment of Code Compliance Responsibility- Fast Track Project



Inspections Division
Date: 12/01/14

I, Tom Landry am the owner or duly **authorized owner's agent** of the property listed below
Print Legal Name

45 Montreal Street, Portland, Maine
Physical Address

I am seeking a permit for the construction or installation of:

removal of existing attached Sunroom and replacement with exterior wood deck;
repair to existing foundation
Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.


I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a Owner's Agent of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.
Owner or Owner's Agent

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. TL INITIAL HERE

Sign Here: 
Owner or Owner's Authorized Agent

Date: October 30, 2014

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE

Acknowledgment of Code Compliance Responsibility- Fast Track Project



Inspections Division
Date: 12/01/14

OFFICE USE ONLY

PERMIT # _____

CBL # _____



THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares)
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: _____
Owner or Owner's Authorized Agent

Date: October 30, 2014



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 45 Montreal Street, Portland, Maine		
Total Square Footage of Proposed Structure: 1,643		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 015 E016001	Applicant Name: Address Group 2 LLC 100 Congress St. Portland, ME City, State & Zip 04101	Telephone: 207-939-0185 Email: tomlandry@benchmark maine.com
Lessee/Owner Name : (if different than applicant) Address: City, State & Zip: Telephone E-mail:	Contractor Name: Cornerstone (if different from Applicant) Address: Building & Restoration City, State & Zip: 44 Coyle St. Portland, ME 04101 Telephone 207-775-9085 tomlandry@benchmarkmaine.com E-mail:	Cost Of Work: \$ _____ \$ <u>4,000</u> C of O Fee: \$ _____ -0- Historic Rev \$ _____ -0- Total Fees : \$ _____ \$ <u>58.00</u>
Current use (i.e. single family) _____		
If vacant, what was the previous use? _____ <u>Single family</u>		
Proposed Specific use: _____ <u>Single family</u>		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description Change of scope at exterior of already-permitted renovation project (permit #2014-02228 dated 9/29/14): remove existing attached Sunroom in order to repair west foundation wall; replace Sunroom with new outside deck.		
Who should we contact when the permit is ready: Tom Landry		
Address: 100 Congress Street		
City, State & Zip: Portland, Maine 04101		
E-mail Address: tomlandry@benchmarkmaine.com		
Telephone: 207-939-0185		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

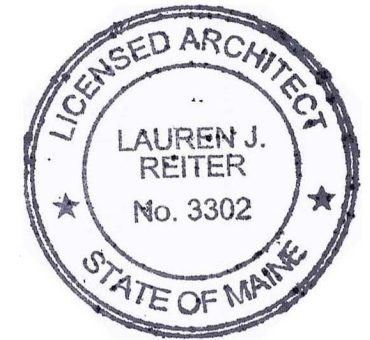
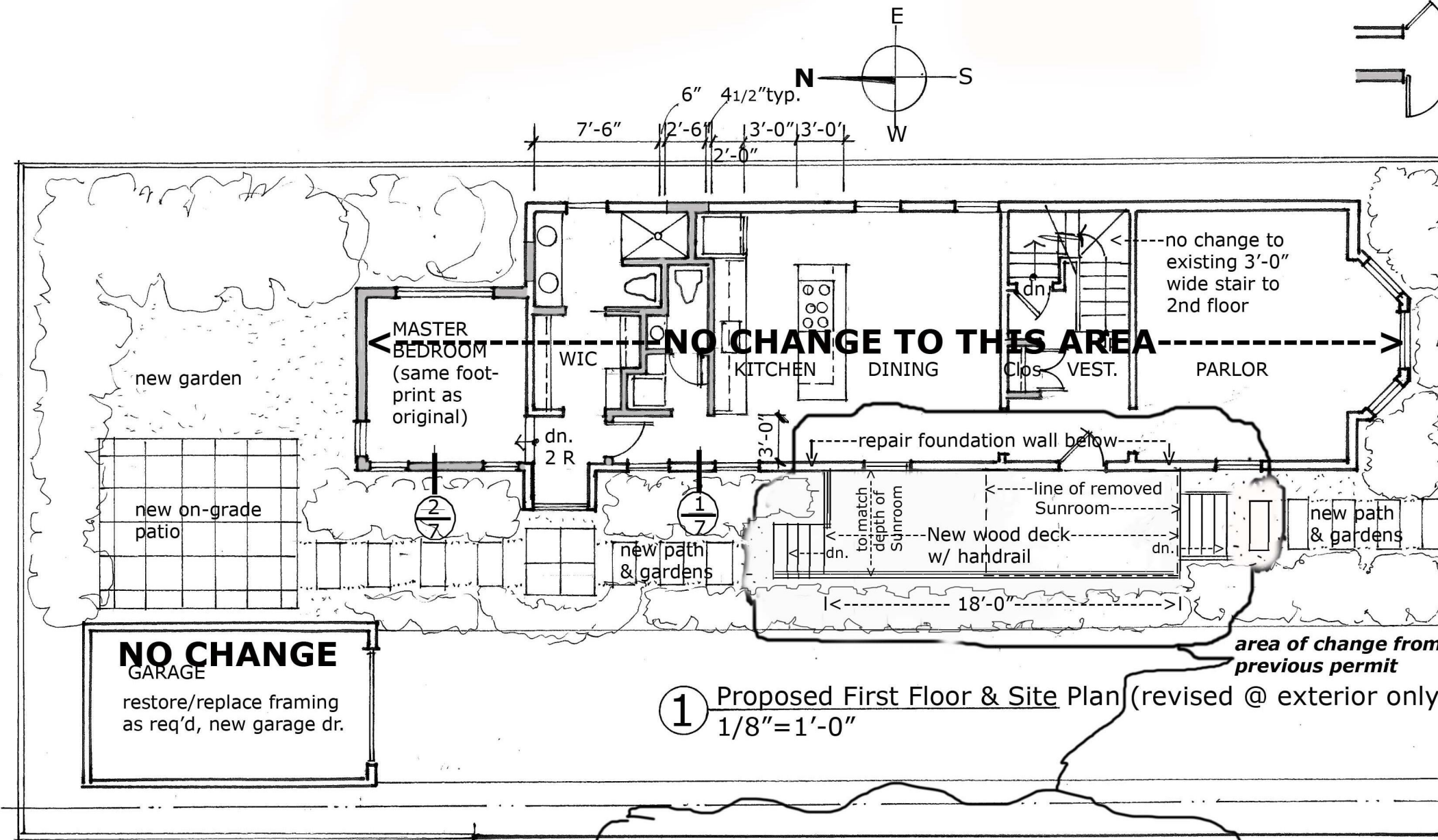
Signature: _____ 	Date: October 30, 2014
---	-------------------------------

This is not a permit; you may not commence ANY work until the permit is issued.

NOTE: this plan is submitted as an amendment to a previous application, approved and permitted, permit #2014-02228 dated 09/29/14. This drawing is submitted because renovation proceedings have uncovered foundation conditions which need to be addressed - specifically the foundation wall on the west side of the building, which needs to be shored, and which requires the existing Sunroom to be removed in order to properly stabilize the foundation wall. There is no change to the scope of renovations in the house or garage. The only change, as indicated in this drawing and application, is to repair the west foundation wall, to remove the Sunroom and to replace Sunroom with an outside deck.

LEGEND of SYMBOLS

-  Existing walls & doors to remain
-  New walls, interior walls are 2x4's w/ 1/2" gyp. bd. Exterior walls 2x6's w/ insul., new sheathing & siding; see A7. New interior doors 2'-6" w x 6'-8" h. UON.



Proposed Renovations @
 45 Montreal St., Portland, ME
 October 30, 2014

Reiter Architecture & Design
 PO Box 275 Brooklin, ME 04616
 207-359.2300 / laurenjreiter@yahoo.com

**PROPOSED/REVISED
 1st FLOOR PLAN
 A4**

1 Proposed First Floor & Site Plan (revised @ exterior only)
 1/8" = 1'-0"

General Notes @ New Deck

1. Provide new concrete piers below deck framing - min. every 4' o.c..
2. All framing to be PT, min. 2x8's @ 16" o.c.
3. Provide guardrail @ 36" above finish floor of deck, with max. 4' between vertical posts and min. 4" spacing between horizontal rails.
4. Stairs on both sides of deck to be min. 3' wide and to have handrails @ 34" above nosing.





Jeff Levine, AICP, Director
 Planning & Urban Development Department

Tammy Munson, Director
 Inspections Division
 Date: 12/01/14

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details NA
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions NA
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing NA
- Window and door schedules NA
- Foundation plans w/required drainage and damp proofing (if applicable) NA
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) NA
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009 NA
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records NA

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost
 This is not a Permit; you may not commence any work until the Permit is issued.**