

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that Kim Lombardi

Located At 101 NORTH ST

Job ID: 2012-07-4569-ALTR

CBL: 015-E-014-005

has permission to Construct 15x20 roof deck w/penthouse & stairs

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Jaime Bonke 8/30/12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Close In Elec/Plmb/Frame prior to insulate or gyp

Framing Only

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-07-4569-ALTR

Located At: 101 NORTH ST

CBL: 015- E-014-005

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain as five residential condominiums. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by the applicant or design professional, including additional plans dated 8/2812. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Fire

Installation shall comply with City Code Chapter 10.

All construction shall comply with City Code Chapter 10.

<http://www.portlandmaine.gov/citycode/chapter010.pdf>

Street addresses shall be marked on the structure and shall be as approved by the City E-911 Addressing Officer. Contact Michelle Sweeney at 874-8682 for further information.

All outstanding code violations shall be corrected prior to final inspection.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4569-ALTR	Date Applied: 7/30/2012	CBL: 015- E-014-005	
Location of Construction: 101 NORTH ST	Owner Name: KIM LOMBARDI	Address: 101 NORTH ST., #5 PORTLAND, ME 04101	Phone: 207-632-2006
Business Name:	Contractor Name: Nate True	Contractor Address: 384 Woodman Hill RD., Minot ME 04258	Phone: (207) 491-4599
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Five residential condos	Proposed Use: Same – five residential condos – build 15' x 20' roof deck with stair tower to access it	Cost of Work: 13000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-2 Type: SB MUBEC 2009 Signature: <i>[Signature]</i>
Proposed Project Description: Construct roof deck		Pedestrian Activities District (P.A.D.) <i>[Signature]</i> 8/29/12	
Permit Taken By: Brad		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>Orw/Gard/has</i> <i>8/29/12 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Legal use 5 units
02-1378 units

21

BUILDING INSPECTIONS @ PORTLAND MAINE. gov

Entered
7/30/12



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-07-4569 - ALTR

BS

Location/Address of Construction: 101 NORTH STREET, PORTLAND		
Total Square Footage of Proposed Structure/Area 300 sq. ft.	Square Footage of Lot N/A	Number of Stories 3
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 015 E014 005	Applicant *must be owner, Lessee or Buyer* Name KIM LOMBARDI Address 101 NORTH STREET #5 City, State & Zip PORTLAND, ME 04101	Telephone: C. 632. 2006
Lessee/DBA (If Applicable) RECEIVED JUL 30 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 12,567.68 C of O Fee: \$ Total Fee: \$ 150. ⁰⁰
Current legal use (see single family) SINGLE FAMILY Number of Residential Units 5 If vacant, what was the previous use? Proposed Specific use: ROOF DECK Is property part of a subdivision? NO If yes, please name Project description: CONSTRUCT A ROOF DECK ON FLAT RUBBER ROOF USING EXISTING HATCH TO ACCESS ROOF		
Contractor's name: NATE TRUE (TAVE) Address: 384 WOODMAN HILL RD. City, State & Zip MINOT, MAINE 04258 Telephone: 491. 4599 Who should we contact when the permit is ready: NATE TRUE Telephone: 491. 4599 Mailing address: 384 WOODMAN HILL RD. MINOT ME 04258		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Nathan True Date: JUNE 4TH 2012

This is not a permit; you may not commence ANY work until the permit is issue

Revised 05-05-10

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

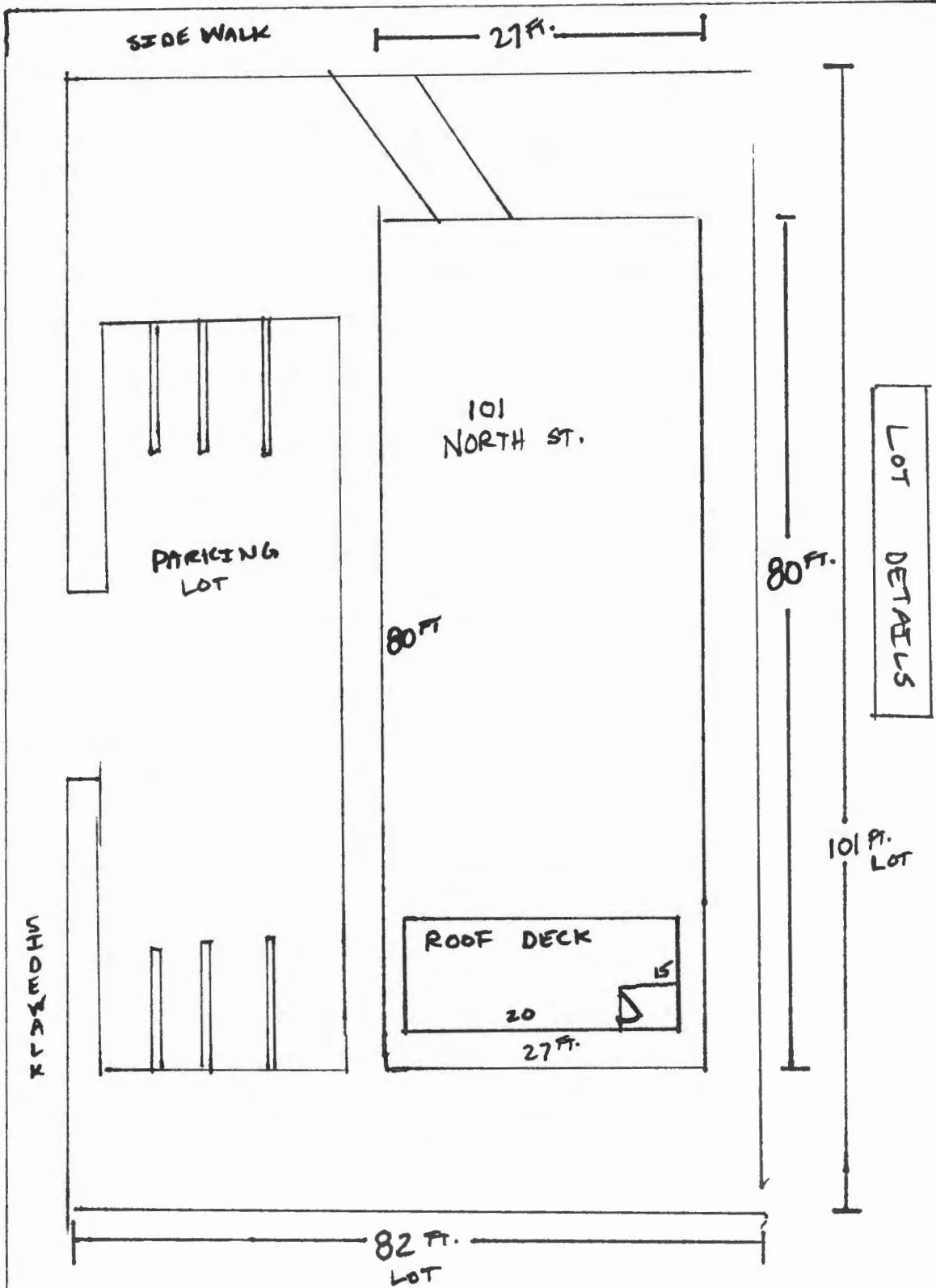
NORTH ST.

KEM LOWBARD
101 NORTH ST.
PORTLAND, ME

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

LOT DETAILS

MONTREAL ST.

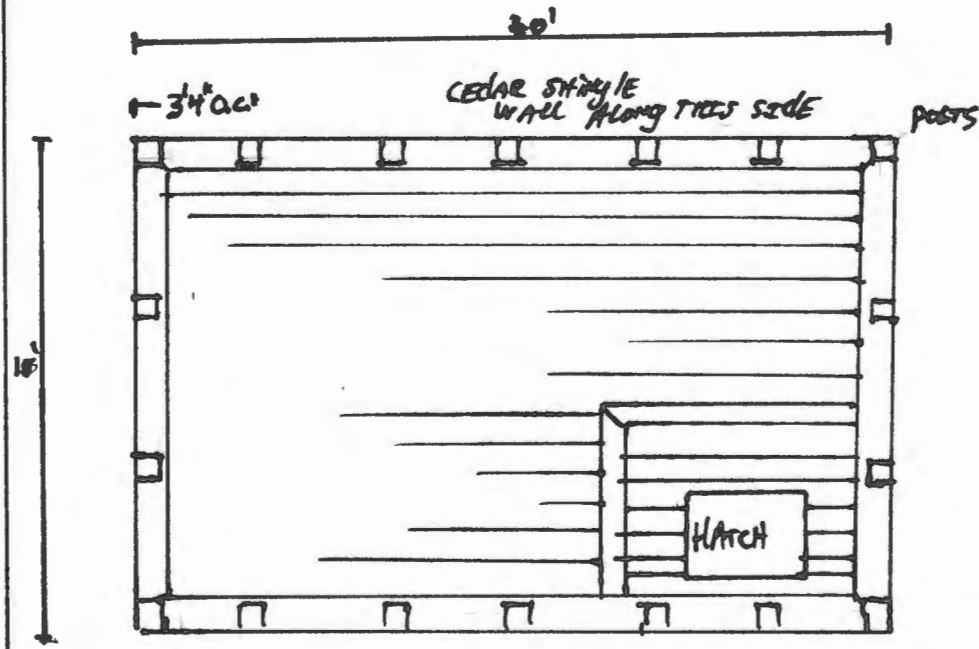


Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

LOMBARDI DECOR
101 NORTH ST. PORTLAND

SPECS:

- S.S. CABLE RAIL 4" O.C.
- HINGED HATCH
- RECESSED HATCH PLATFORM AREA
- COMPOSITE DECKING
- ALL PRESSURE TREATED FRAMING
- PORT ORFORD CEDAR 4x4 POSTS + RAILING CAP
- COMMERCIAL GRADE ROOF PRODUCTS
- WHITE CEDAR - CLEAN GRADE - SHINGLES ON ROOF



← dimensions →

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

KIM LOMBARDE
101 NORTH ST.
PORTLAND

ARCH.
30 YR. ASPHALT
SHINGLES + H₂O
SHIELD

EXT. FIBERGLASS DOOR

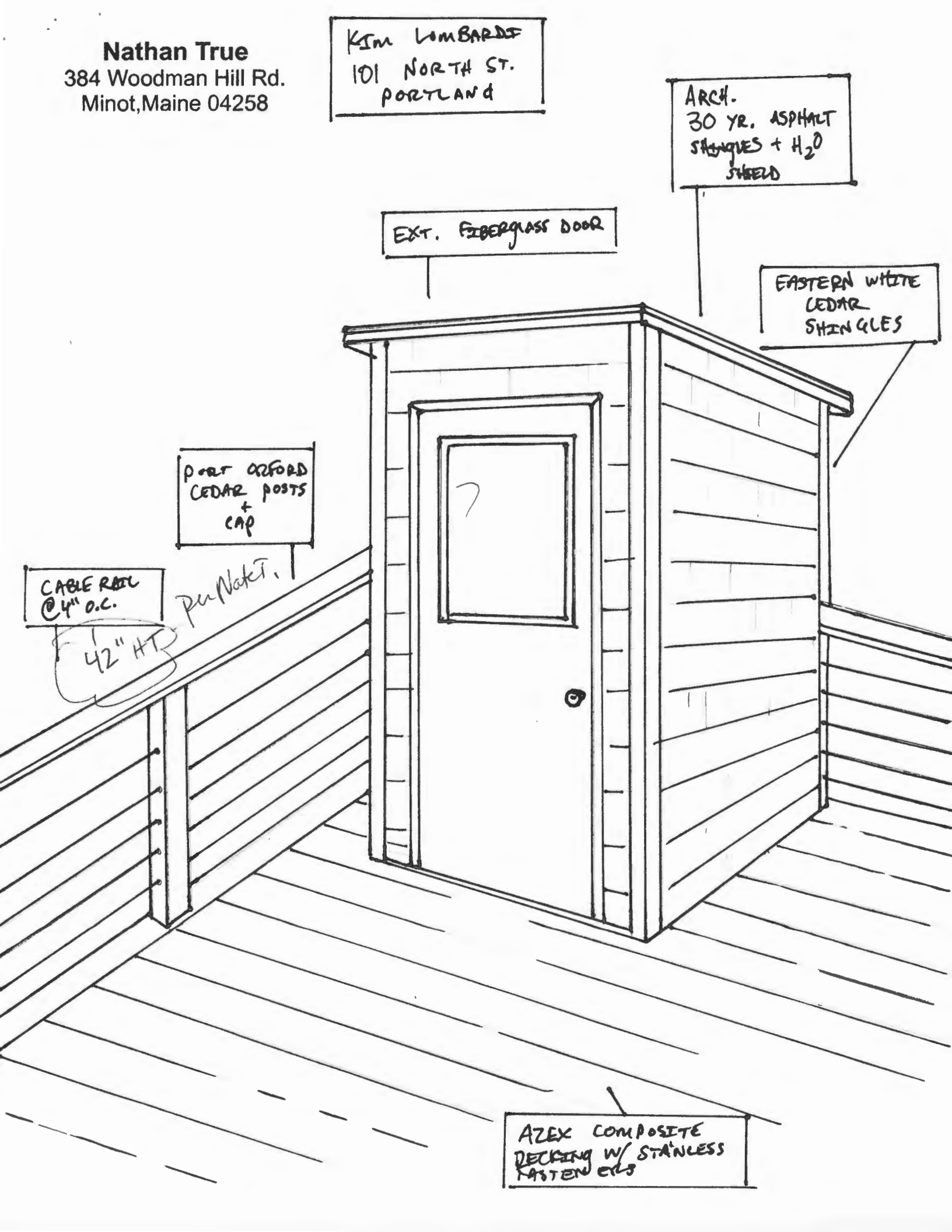
EASTERN WHITE
CEDAR
SHINGLES

PORT ORFORD
CEDAR POSTS
+
CAP

CABLE RAIL
@ 4" O.C.
42" HT.

Per Note 1.

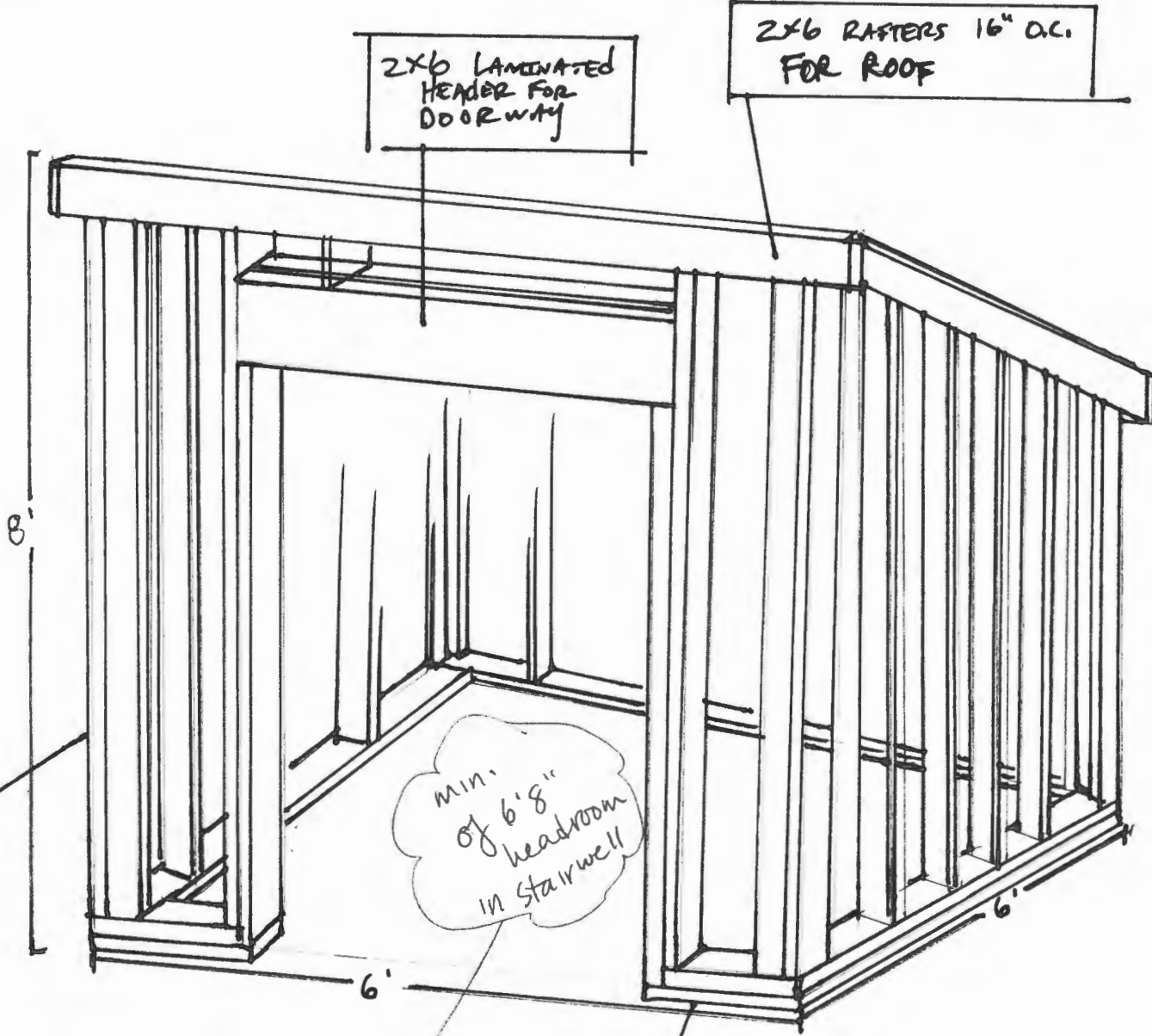
AZEX COMPOSITE
DECKING W/ STAINLESS
FASTENERS



Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

KIM LOMBARDI
101 MONTREAL ST.

PENTHOUSE ENTRANCE FOR
STAIRWAY



2x4 studs
FOR WALLS

2x6 LAMINATED
HEADER FOR
DOORWAY

2x6 RAFTERS 16" O.C.
FOR ROOF

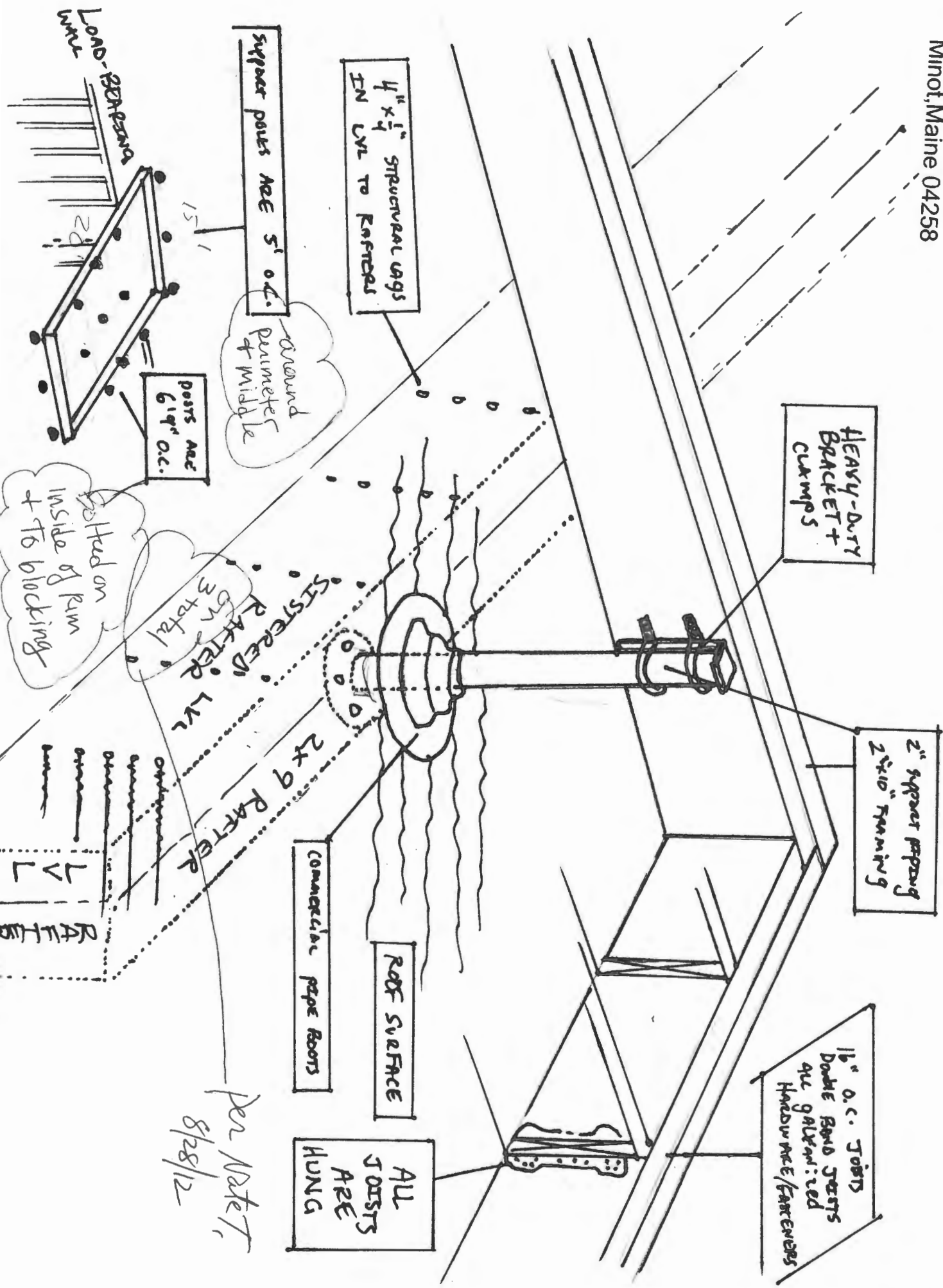
min.
of 6'8" headroom
IN stairwell

PRESSURE-TREATED
BOTTOM PLATE

Per
Note T.
8/28/12

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

Kim Lombardi Post Deck
101 North Street, Portland



per Note,
8/28/12

LOMBARD DECK
(71 NORTH STREET
PORTLAND

TOP STEEL BRACKET

2x10
PT.

3" structural
FASTENER
LAGS

METAL STRAP

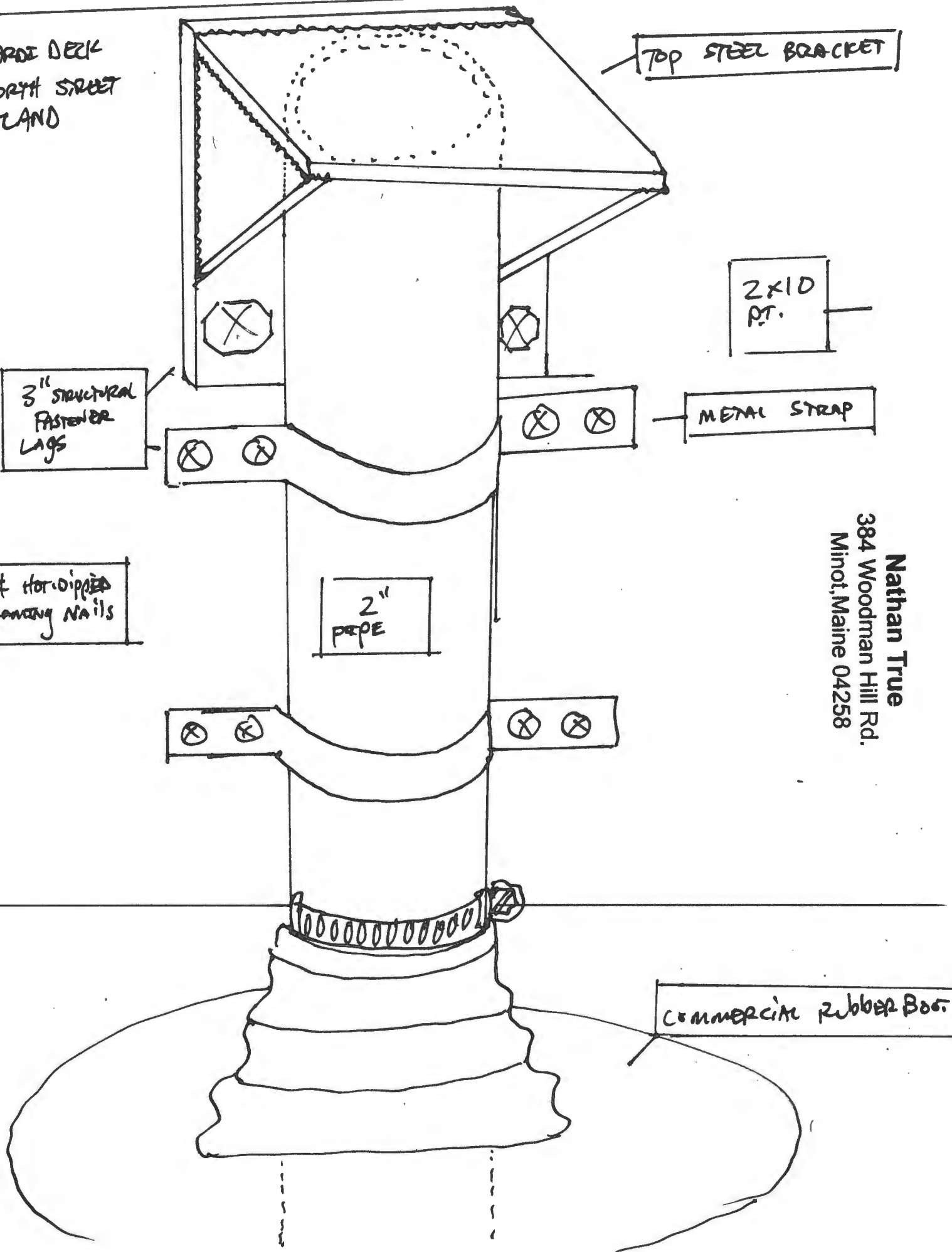
16# HOT-DIPPED
FRAMING NAILS

2"
PIPE

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258

COMMERCIAL RUBBER BOOT

⊗
⊗
⊗
⊗
⊗
⊗
⊗



Structural Integrity

Consulting Engineers, Inc.

July 13, 2012

Ms. Kim Lombardi
101 North Street
Portland, Maine

Reference:

Existing Roof Structure Capacity Evaluation for new Roof Top Deck.
101 North Street
Portland, ME

Structural Integrity Job # 12-0062

Dear Kim:

As requested, I have noted my findings from my visit to the residence at the above referenced site. The opinions and comments contained herein are based on visual observations made during my visit to the site on June 14, 2012. Physical testing and instrument based elevation and location surveys have not been performed. No other calculations have been made to determine the adequacy of the complete structural systems or their compliance with accepted building code requirements. Architectural, mechanical, electrical, and plumbing conditions are not included in this report. No warranty express or implied, as to the condition of the complete structure, is intended.

The existing roof structure is constructed of 2"x9" rafters supported on the exterior walls and a center bearing wall. The house is constructed of conventional light wood, stick framed construction over a concrete foundation. In general the house is mostly level and square and appears to be performing similarly to other structures of its size, age and construction type in this area.

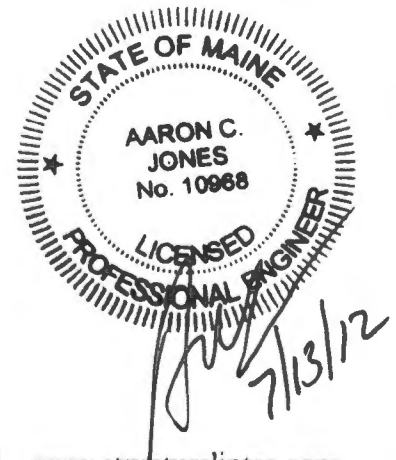
It is my opinion that the existing foundations and wall framing can adequately support the minimal increase in total load due to the new roof top deck and framing. I have also determined that the existing rafters, once reinforced with a 9 $\frac{1}{4}$ " LVL sister, will be adequate to support the deck framing that you have proposed in your plans. Fasten the LVL sister to the existing rafter with four TimberLok screws at 16" max as shown on your updated sketches dated 6/28/12.

Please feel free to give me a call to discuss this report if you have any questions.

Sincerely,



Aaron C. Jones, P.E., SECB, LEED AP
President



From: Tammy Munson
To: support staff
Date: 7/30/2012 10:11 AM
Subject: Fwd: 101 NORTH ST. Kim Lombardi FW: Letter for roof top deck supports (101 North St.)
Attachments: CCF07132012_0000.pdf; image001.png

>>> nate true <nate.true@live.com> 7/27/2012 3:53 PM >>>

From: nate.true@live.com
To: inspections@portlandmaine.gov
Subject: FW: Letter for roof top deck supports (101 North St.)
Date: Fri, 27 Jul 2012 15:50:49 -0400

From: aaron@structuralinteg.com
To: nate.true@live.com; klombardi24@gmail.com; kim@oldportlegal.com
Subject: Letter for roof top deck supports
Date: Fri, 13 Jul 2012 16:47:06 -0400

Hello
Here is the letter for you roof support of the new deck
Let me know if you have any questions or need anything else
Thanks
Aaron

Aaron C. Jones, P.E., SECB, LEED AP

77 Oak Street
Portland, ME 04101
p. 207-774-4614
f. 866-793-7835
aaron@structuralinteg.com
www.structuralinteg.com

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

[Applications](#)

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[Maps](#)

[Tax Relief](#)

[Tax Roll](#)

[Q & A](#)

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 015 E014005
Land Use Type RESIDENTIAL CONDO
Property Location 101 NORTH ST
Owner Information LOMBARDI KIM ELIZABETH
 101 NORTH ST # 5
 PORTLAND ME 04101
Book and Page NCFY12/
 15-E-14
Legal Description NORTH ST 95-101
 MONTREAL ST 65-69
 101 NORTH ST CONDO # 5
Acres 0

Current Assessed Valuation:

TAX ACCT NO. 47948 **OWNER OF RECORD AS OF APRIL 2012**
 LOMBARDI KIM ELIZABETH
LAND VALUE \$61,300.00 101 NORTH ST # 5
BUILDING VALUE \$245,000.00 PORTLAND ME 04101
NET TAXABLE - REAL ESTATE \$306,300.00
TAX AMOUNT \$5,764.58

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:



Best viewed at 800x600, with Internet Explorer

Building 1
Year Built 1915
Style/Structure Type HOUSE CNV 1F
Stories 1
Units 1
Bedrooms 3
Full Baths 2
Total Rooms 8
Attic NONE
Basement PIER/SLAB
Square Feet 1645

[View Sketch](#) [View Map](#) [View Picture](#)



Sales Information:

Sale Date	Type	Price	Book/Page
3/22/2012	LAND + BUILDING	\$0.00	NCFY12/
10/28/2011	LAND + BUILDING	\$303,000.00	29076/001
7/1/2004	LAND + BUILDING	\$349,000.00	21488/242
2/1/2003	LAND + BUILDING	\$261,082.00	18837/81
11/14/2002	LAND + BUILDING	\$0.00	18380/146

[New Search](#)



PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 1199

Tender Amount: 150.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 7/30/2012

Receipt Number: 46473

Receipt Details:

Referance ID:	7443	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	150.00	Charge Amount:	150.00
Job ID: Job ID: 2012-07-4569-ALTR - Construct roof deck			
Additional Comments: 101 North St.			

Thank You for your Payment!

Jeanie Bourke - Fwd: Kim Lombardi 101 North Street Stair Design ATTN: Genie Borque

From: Tammy Munson
To: Jeanie Bourke; support staff
Date: 8/29/2012 8:58 AM
Subject: Fwd: Kim Lombardi 101 North Street Stair Design ATTN: Genie Borque
Attachments: Kim Lombardi Floor plan.pdf; Kim Lombardi Stair Detail.pdf

>>> nate true <nate.true@live.com> 8/29/2012 5:52 AM >>>

Genie,

Here are two attached PDF's showing that a stair design incorporating winders works with the layout of the storage room. I will be re-configuring the opening to the roof and there will be 6'8" of head height, as well as another step before the door at the top. There are proper clearances at the bottom of the stairs to the wall and door to the deck.

Please let me know if you have any questions, as time is incredibly tight and I need to start this job on Friday in order to complete it and be compensated at all for this project.

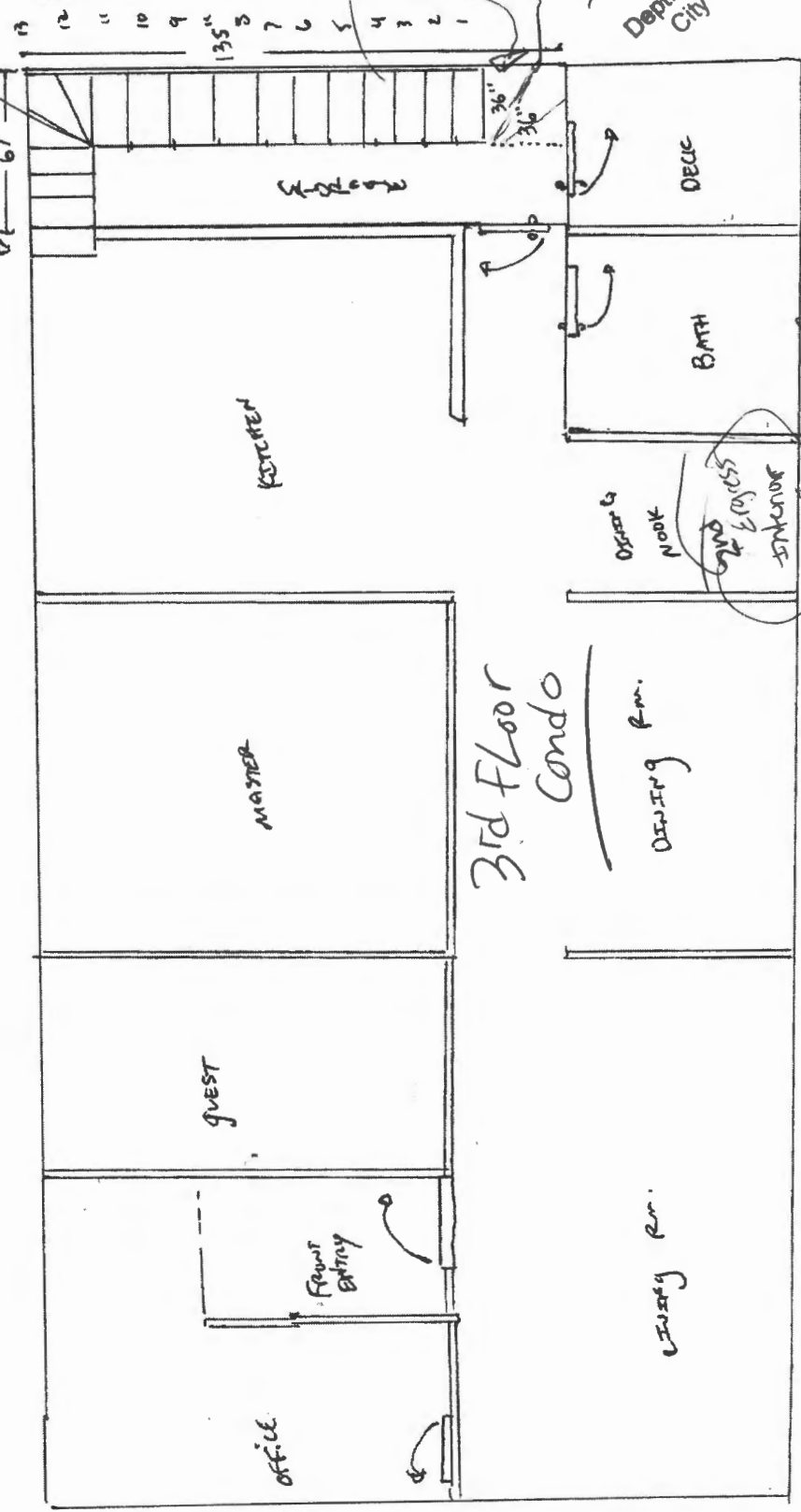
Thank You For Your Time,

Nate True

491-4599

9" MIN. AT NARROW POINT 10" AT 1' OVER

LAST STAGE ON TO LEVEL OF ROOF 16 17 18 15 14 67"



- (17) RUNS OF 9 13/16"
- (18) RISES OF 7 3/4"

Handrail on side 34-38 ends returned Adding winders

RECEIVED AUG 28 2012 Dept of Building Inspections City of Portland Maine

Notes per 8/12/12 NOT TO SCALE: 11' (132") FLOOR TO CEILING

3rd Floor Condo Dining Rm.

GENIE BAR-QUE

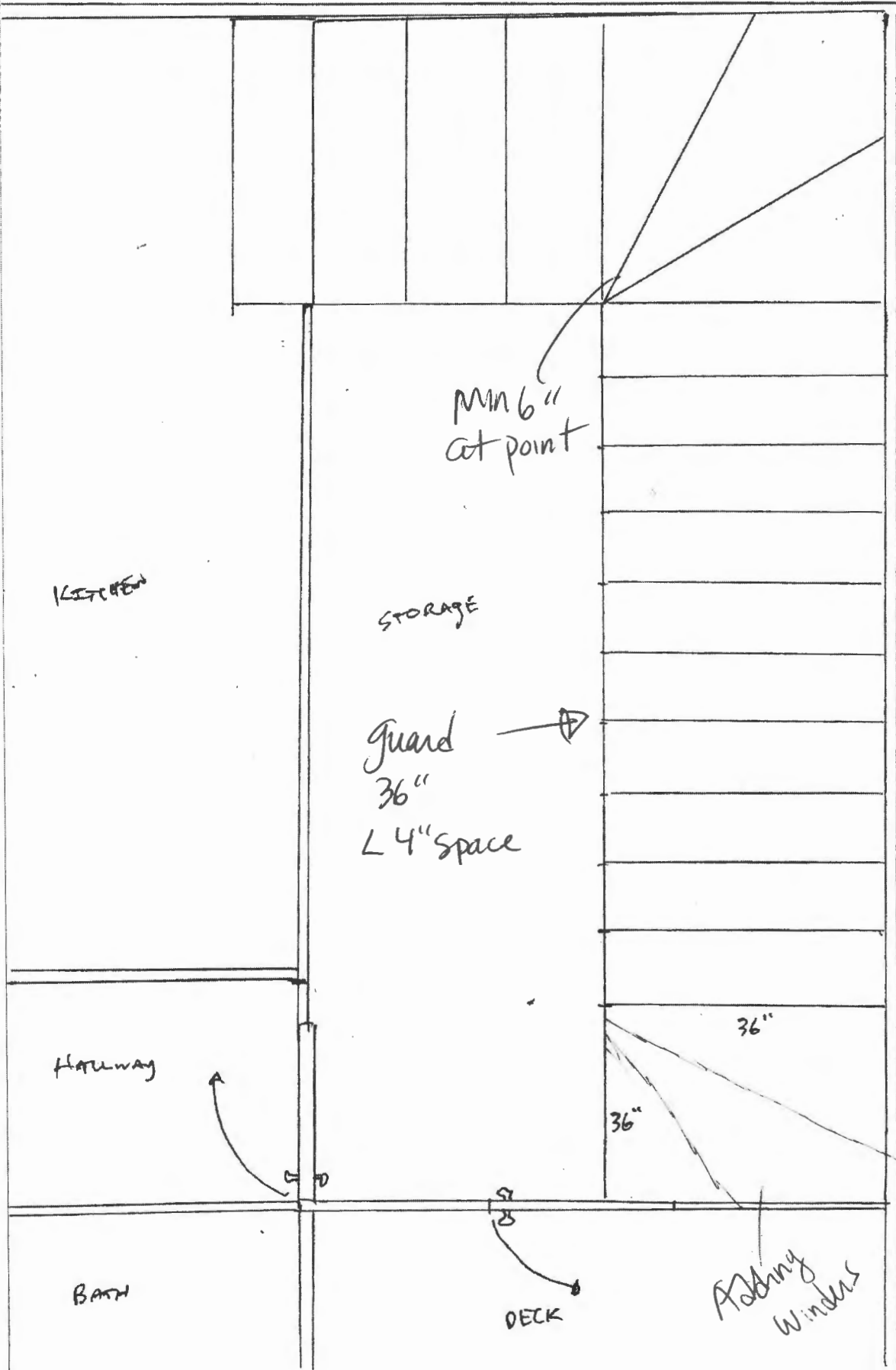
KIM LOW BARDI 101 NORTH ST. PORTLAND

Nathan True 384 Woodman Hill Rd. Minot, Maine 04258

KIM LOMBARDI
101 NORTH ST.
PORTLAND, ME

17 16 15 14 13

Nathan True
384 Woodman Hill Rd.
Minot, Maine 04258



★ OPENING
FOR
PERTHOUSE
ENTRANCE
ALLOWS
FOR
PAPER 6'8"
HEAD HEIGHT

(17) RUNS OF
9 13/16"
(18) RISES OF
7 3/4"

RECEIVED
AUG 28 2012
Dept. of Building Inspections
City of Portland Maine