

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that REPOP LLC

Located At 107 NORTH ST

Job ID: 2011-11-2630-ALTR

CBL: 015- E-011-001

has permission to Interior & Roof Top Renovation (Existing Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

12/09/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development
Building Inspections Division

Location: 107 North St
Issued to: REPOP LLC

CBL: 015 E011
Date Issued: November 5, 2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit NO. 2011-11-2630-ALTR, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

Single Family
IRC 2009
Use Group R-3
Type 5B

Limiting Conditions: NONE

Approved:

11/05/12

(Date) *Inspector*

Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



Certificate of Occupancy



CITY OF PORTLAND, MAINE

Department of Planning and Urban Development Building Inspections Division

Location: 107 NORTH ST

CBE: 015, E-011-001

Issued to: REPOP LLC

Date Issued: 10/19/2012

This is to certify that the building, premises, or part thereof, at the above location, built-altered-changed as to use under Building Permit No. 2011-11-2630-ALTR, has had a final inspection, has been found to conform substantially to the requirements of the Building Code and the Land Use Code of the City of Portland, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

ENTIRE

APPROVED OCCUPANCY

USE GROUP: R3 – SINGLE FAMILY

TYPE: 5B

EXPIRATION: 11/19/2012

IRC 2009

LIMITING CONDITIONS: DECK TO BE SECURED AND NOT OCCUPIED UNTIL GUARD IS CORRECTED

Approved:

10/19/2012

(Date) *[Signature]*
Inspector

[Signature]
Inspections Division Director

Notice: This certificate identifies the legal use of the building or premises, and ought to be transferred from owner to owner upon the sale of the property.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Job ID: 2011-11-2630-ALTR

Located At: 107 NORTH ST

CBL: 015- E-011-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. The 8' x 17.5' addition above the existing second floor is being approved under section 14-436(b). The floor area being added is 140 sf which is a 6.4 % increase of floor area.
4. The replacement entry porch and the new entry porch are being approved under section 14-425. There is a slight increase (1.7%) in the nonconformity of the lot coverage, but the entry porches are minimal.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Glass glazing required adjacent to stairways when exposed surface of the glass is less than 60 inches above the nose of the tread.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
5. A code compliant emergency escape shall be provided in the bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
6. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
7. Mechanical or natural ventilation is required in the bathroom; see attached documentation for bathroom fixtures clearance and headroom requirements.
8. The existing basement is not approved as habitable space; the Designer stated ventilation and access will be provided to each section.
9. All new construction must meet our Energy Code (MUBEC).

Fire

1. All construction shall comply with City Code Chapter 10.
2. A sprinkler system shall be installed.
3. A separate no fee One- or Two-family Fire Sprinkler Permit is required.
4. All smoke detectors and smoke alarms shall be photoelectric.
5. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
- 6. Sprinkler requirements**
7. The sprinkler system shall be installed in accordance with NFPA 13D. A compliance letter is required.
8. All control valves shall be supervised in accordance with NFPA 13D. Pad locks shall only be installed on valves designed to be secured in the open position by pad lock.
9. Install an NFPA 13D automatic sprinkler system.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Foundation Wall
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Insulation Prior to Close-In
 5. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-11-2630-ALTR	Date Applied: 10/28/2011	CBL: 015- E-011-001	
Location of Construction: 107 NORTH ST	Owner Name: REPOP LLC	Owner Address: 5 MOULTON ST PORTLAND, ME 04101	Phone: 207-807-6949
Business Name:	Contractor Name: Brad Finlay - Monaghan Woodworks	Contractor Address: 100 COMMERCIAL ST PORTLAND MAINE 04101	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Single family	Proposed Use: Same - Single family - interior alterations - build roof top deck with enclosed structure to access it - reconfigure entry porches	Cost of Work: 265000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. Finlay 11/22/11</i>	Inspection: Use Group: R3 Type: SB M-BEC Signature: <i>[Signature]</i>
Proposed Project Description: Interior & exterior renovations		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition 11/11/11 AFM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>AFM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3-7-12 DWM ~~But~~ Scott (plumber) 939-1090 Plumbing OK. Frame not per-
Plan + sprinklers not installed. Jake (Framer)

3-29-12 DWM Close-in OK

10-18-12 G HORIZONTAL DECK RAIL NOT COMPLIANT - VERY LOOSE

11-5-12 G OK RAIL WORK CORRECTED

NAMES ON
C of O



2011-11-2630

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

entire 11/2/11

R-6

Location/Address of Construction: 107 North Street		
Total Square Footage of Proposed Structure N/A		Square Footage of Lot 2,195 SF
Tax Assessor's Chart, Block & Lot Chart# 015 Block# E011 Lot# 001	Owner: Repop LLC 5 Moulton Street Portland, Maine 04101	Telephone: 207.807.6949
Lessee/Buyer's Name (If Applicable) North House LLC 30 Pleasant Street Portland, Maine 04101 P: 207.807.6949	Applicant name, address & telephone: Mark Mueller Architects 100 Commercial Street - Suite 205 Portland, Maine 04101 P: 207.774.9057 F: 207.773.3851	Cost Of Work: \$ 265,000 Fee: \$ 2,670.00 C of O Fee: \$ N/A
Current Specific use: <u>Single Family</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Single Family</u>		
Project description: Interior & exterior renovation of existing single family residence.		
Contractor's name, address & telephone: Monaghan Woodworks - 100 Commercial St., Suite 211 - Portland, ME 04101		
Who should we contact when the permit is ready: <u>Ben Ray</u> Mailing address: 30 Pleasant Street Phone: 207.807.6949 Portland, Maine 04101		

11.3.11

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

RECEIVED

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

OCT 28 2011

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Dept. of Building Inspections
City of Portland, Maine

Signature of applicant: [Signature] Date: October 28, 2011

This is not a permit; you may not commence ANY work until the permit is issued.

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

1951-2017 0.8 ✓

CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST	✓	BATHROOM	✓
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	
BRICK OR STONE	✓	MILL TYPE		WATER CLOSET	
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	✓
1/4 1/2 3/4			B 1 2 3	STD. WAT. HEAT	✓
NO. CELLAR		CEMENT	✓	AUTO. WAT. HEAT	
EXTERIOR WALLS		EARTH		ELECT. WAT. SYST.	
CLAPBOARDS	✓	PINE		LAUNDRY TUBS	
WIDE SIDING		HARDWOOD	✓	NO PLUMBING	
DROP SIDING		TERRAZZO			
NO SHEATHING		TILE		TILING	
WOOD SHINGLES				BATH FL. & WCOT.	
ASBES. SHINGLES				TOILET FL. & WCOT.	
STUCCO ON FRAME		ATTIC FLR. & STAIRS		LIGHTING	
STUCCO ON TILE		INTERIOR FINISH		ELECTRIC	✓
BRICK VENEER			B 1 2 3	NO LIGHTING	
BRICK ON TILE		PINE	✓	NO. OF ROOMS	
SOLID BRICK		HARDWOOD		BSMT.	2ND
STONE VENEER		PLASTER	✓	1ST	3RD
CONC. OR CIND. BL.		UNFINISHED	✓	OCCUPANCY	
		METAL CLG.		SINGLE FAMILY	✓
TERRA COTTA				TWO FAMILY	
VITROLITE		RECREAT. ROOM		APARTMENT	
PLATE GLASS		FINISHED ATTIC		STORE	
INSULATION		FIREPLACE		THEATRE	
WEATHERSTRIP		HEATING		HOTEL	
ROOFING		PIPELESS FURNACE		OFFICES	
ASPH. SHINGLES	✓	HOT AIR FURNACE		WAREHOUSE	
WOOD SHINGLES		FORCED AIR FURN.		COMM. GARAGE	
ASBES. SHINGLES		STEAM	✓	GAS STATION	
SLATE TILE		HOT WAT. OR VAPOR	✓	ECONOMIC CLASS	
METAL		NO HEATING	2nd ✓	OVER BUILT	
COMPOSITION				UNDER BUILT	
ROLL ROOFING		GAS BURNER		DT. 5 1/2 IN. AR. 15	
INSULATION		OIL BURNER	✓	LD. 20 PD. 15	
		STOKER		MS. CK. 1	

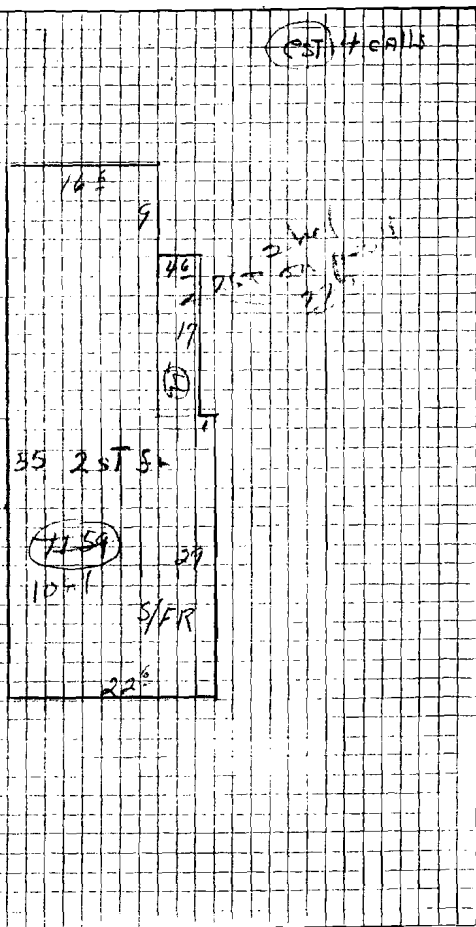
COMPUTATIONS

UNIT	1951	152		
1159 S. F.	6020	5720		
S. F.				
ADDITIONS		770		
1-1 1/2 BAY	+ 60	60		
BASEMENT				
WALLS				
ROOF				
FLOORS				
ATTIC				
FINISH				
FIREPLACE		770		
HEATING		460-190 270		
PLUMBING				
TILING				
TOTAL	6080	6040		
FACT. 15	300	290		
REP. VAL.	6380	6320		

SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	YI
Dwg	A	2	3/FR	C	86	F	6380	53h	3190	10h	2870	1475
	B						6320	50	3170	10B	2850	1700
	C									C		
	D									D		
	E									E		
	F									F		
	G									G		

YEAR	1952					1951 TOTAL BLDGS.	2870	1475
TAX VAL.	1700					1951 1700	19	
OLD VAL.	1475						19	
CHANGE	225						19	



Owner
Applicant: Repp LLC

Date: 11/9/11

Address: 107 North St

C-B-L: 15-E-11

permit # 2011-11-2630

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1864

Zone Location - R-6

Interior or corner lot - corner lot

Proposed Use/Work - ^{existing single family} interior renovations, add "kitchen" turret & roof deck - reconfigure entry porches

Severage Disposal -

Lot Street Frontage -

Front Yard - 10' or average - N/A

Rear Yard - 20' - new steps same @ 20'

- existing structure
- not meet setbacks

Side Yard - 10' - two entry porches

- use section 14-432 (b) to add "turret"
w/ stairs to access roof deck.

Projections -

3' x 6.67 = 20' existing

4' x 3 = 12' section 14-432

80% 1st floor footprint (115' x 10')

Width of Lot -

floor area added - 8 x 17.5 = 140'

Height - 45 mm

Lot Area - ^{existing} 2195'

$\frac{140}{2195} = 6.4\%$ increase

Lot Coverage Impervious Surface - 55% = 1097.5'

lot coverage - 1187.125' = 54%
existing 1155.25' = 52.6%

Area per Family - 1,000' (10)

*-proposed 1223.25' = 55.7%
existing 1155.25' = 52.6%

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -

N/A

Existing non-residential and residential principal structures which are nonconforming as to any area and/or yard requirements may be enlarged within the existing footprint subject to the following provisions:

- (a) *For principal structures lawfully nonconforming as to land area per dwelling unit as of July 19, 1988: The floor area of the expansion shall be limited to no more than fifty (50) percent of the first floor footprint. The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.*
- (b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback: The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.*

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

***Editor's note**—Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.

Sec. 14-437. Setback reductions.

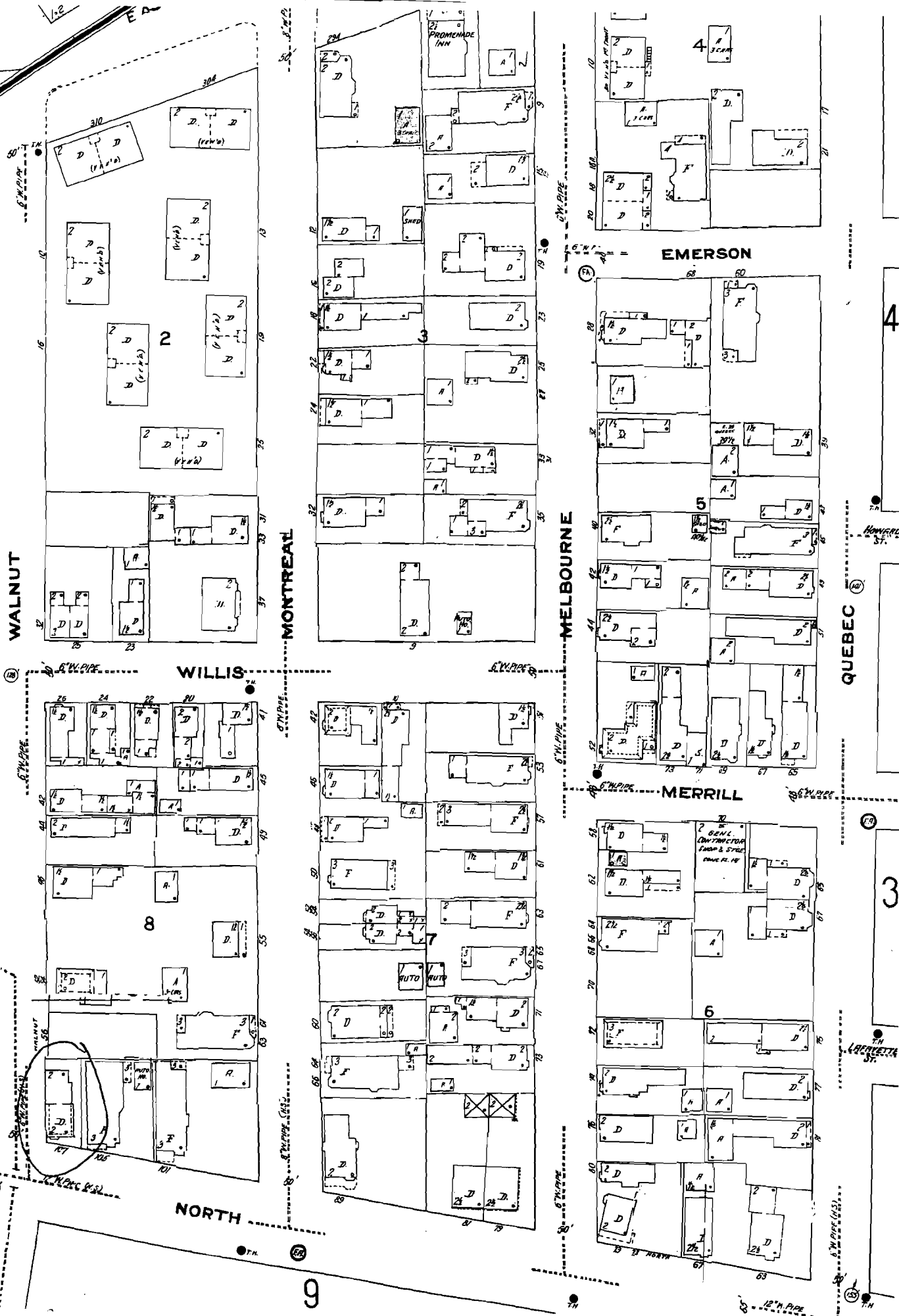
(a) *Authority.* The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure.* Application for a setback reduction shall be

VACANT LOT		OCCUPANCY		GROUND FLOOR AREA		OTHER FEATURES	
DWELLING DATA		SINGLE FAMILY		ADDITION POINTS		MASONRY TRIM	
CONSTRUCTION		TWO FAMILY		GRADE FACTOR		MODERNIZED KITCHEN	
2.0 STORY		APARTMENT		C & D FACTOR		RECREATION ROOM	
1 BRICK 1 CONC. BLK. 7 STONE		NO. UNITS		C & D FACTOR		WOODBURNING FIREPLACE	
2 SPLIT-LEVEL 2 FRAME 5 STUCCO 8		OTHER		CDU		BASEMENT GARAGE	
3 FR. & MAS. 6 9		COTTAGE		DEPRECIATION		ATTACHED GARAGE	
AGE		UNFIN.		DWELLING COMPUTATIONS			
ERECTED 1964		FIN. OPEN		19 19 19 19			
REMOVED 19		FIN. DIV.		BASE PRICE			
LIVING ACCOMMODATIONS		PLUMBING		PLUMBING			
TOTAL ROOMS 2		BATHROOM 605		BASEMENT			
BED. ROOMS 2		TOILET ROOM		BASEMENT FIN.			
FAMILY ROOMS		FLUSH		ATTIC			
FULL BATHS 2		LAVATORY		HEATING			
HALF BATHS 2		SHOWER - EXTRA		ADDITIONS			
TOTAL FIXTURES 0.8		KITCHEN SINK		DORMERS			
FOUNDATION		HOT WATER HEATER		TOTAL BASE			
BASEMENT & ATTIC		NO PLUMBING		GRADE FACTOR			
FIN. BSMT. AREA		WATER ONLY		TOTAL			
HEAD ROOM		REMODELING DATA		OTHER FEATURES			
GARAGE S D		KITCHEN		TOTAL			
ATTIC - FL. & STR.		PLUMBING		C & D FACTOR			
FINISHED ATTIC		HEATING		REPL. COST			
DORMER L/F		GENERAL		DEPREC.			
EXTERIOR WALLS				R.C.L.D.			
WOOD VINYL ALUM.				0		OTHER BUILDINGS AND YARD	
SHINGLES - WOOD				NO. TYPE SIZE GRADE WATER REN. COST DEPR. RET. E. TYPE CODE		NOTES:	
SHINGLES - ASPHALT						2nd floor	
SHINGLES - ASBESTOS						1st floor	
BRICK VENEER						2nd floor	
BLANKET INSULATION						1st floor	
ROOF INSULATION						2nd floor	
ROOFING						1st floor	
SHINGLES - ASPHALT						2nd floor	
SHINGLES - WOOD						1st floor	
SHINGLES - ASBESTOS						2nd floor	
SLATE						1st floor	
TOLL						2nd floor	
FLOORS						1st floor	
CONCRETE						2nd floor	
EARTH						1st floor	
TINE						2nd floor	
HARDWOOD						1st floor	
ASPH. TILE						2nd floor	
CARPET						1st floor	
NOTES:						2nd floor	
OWNER						1st floor	
TENANT						2nd floor	
NO ANSWER						1st floor	
INSPECTED						2nd floor	
REFUSED ENTRY						1st floor	
INFO @ DOOR						2nd floor	
REFUSED INFO						1st floor	

IDE EAST
UNITS
- 1975
DR. F.)

Silver Map 1954



4

3

9



**MARK
MUELLER
ARCHITECTS**
A.I.A.
100 Commercial Street
Suite 605
Portland, Maine 04101
Phone/Fax: 207.774.9057
Email: info@markmuellerarchitects.com

© 2011/2012
100% 100% 100%

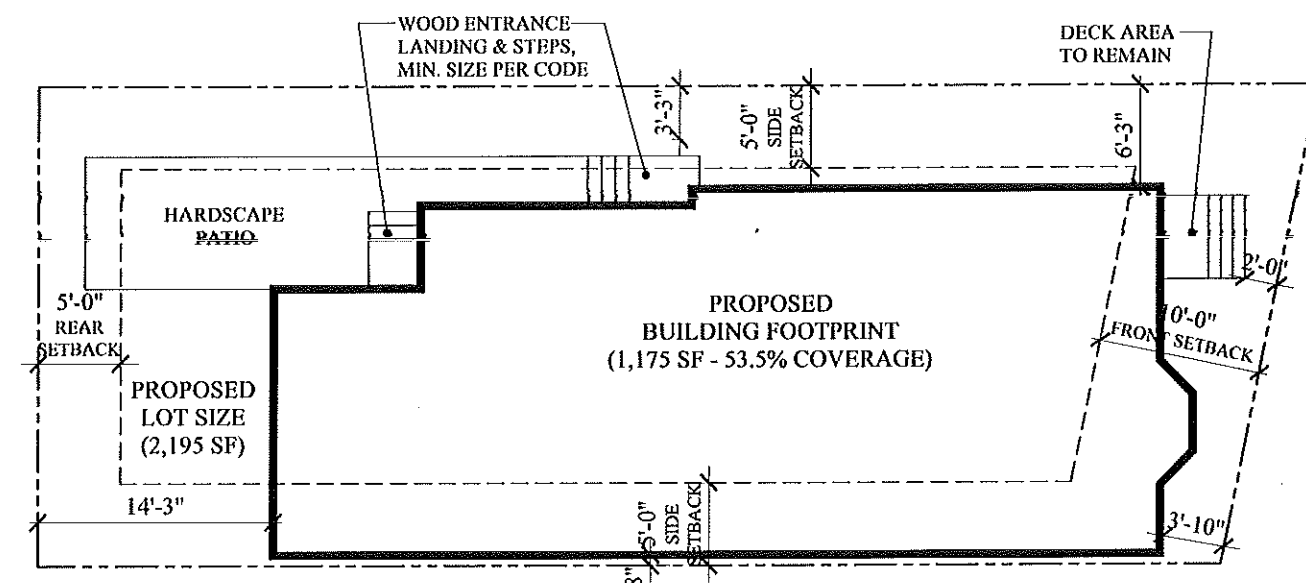
107 NORTH STREET
107 NORTH STREET
PORTLAND, MAINE

RENOVATION AT

BUILDING SECTIONS

REVISIONS
DATE
12/22/2011
PROJECT
107 NORTH
DRAWN BY
HBP
CHECK BY
JAM

A-3.0

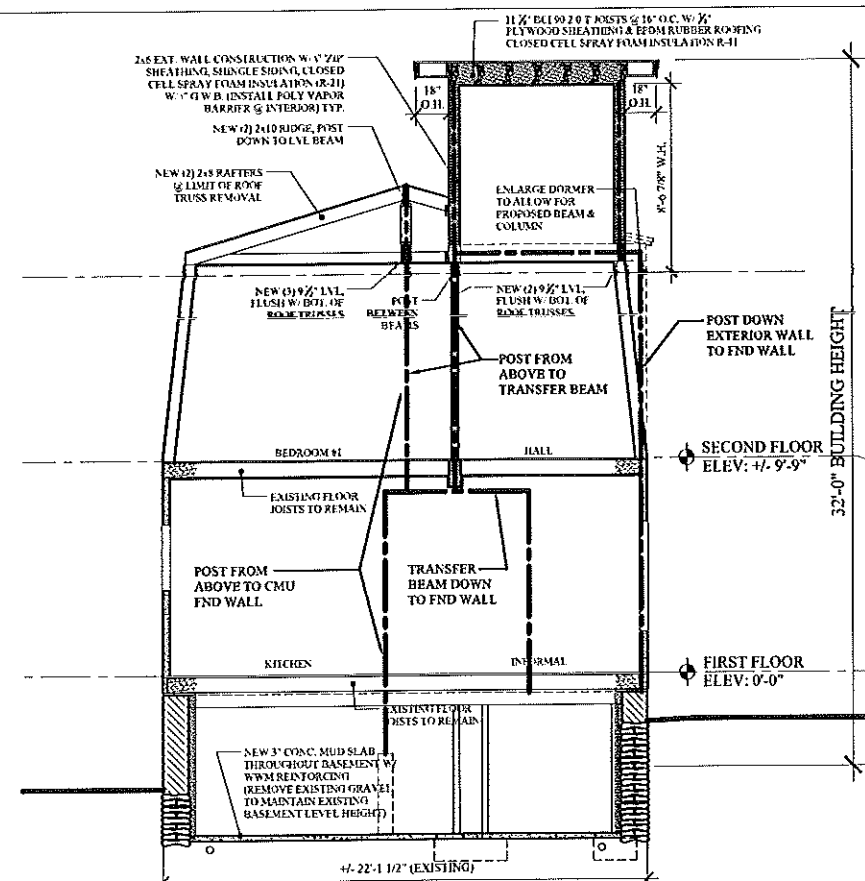


SITE PLAN

SCALE: 3/16" = 1'-0"

107 NORTH STREET
ZONE: R6
LOT AREA: 2,195 SF
LOT COVERAGE ALLOWED: 50%
LOT COVERAGE PROPOSED: 53.5% (NO INCREASE)
MAX. BUILDING HEIGHT: 45'-0" (12'-0" PROPOSED)

PROPERTY IS A NON-CONFORMING LOT,
SIDE & REAR SETBACK REDUCTIONS PER SECTION 14-433



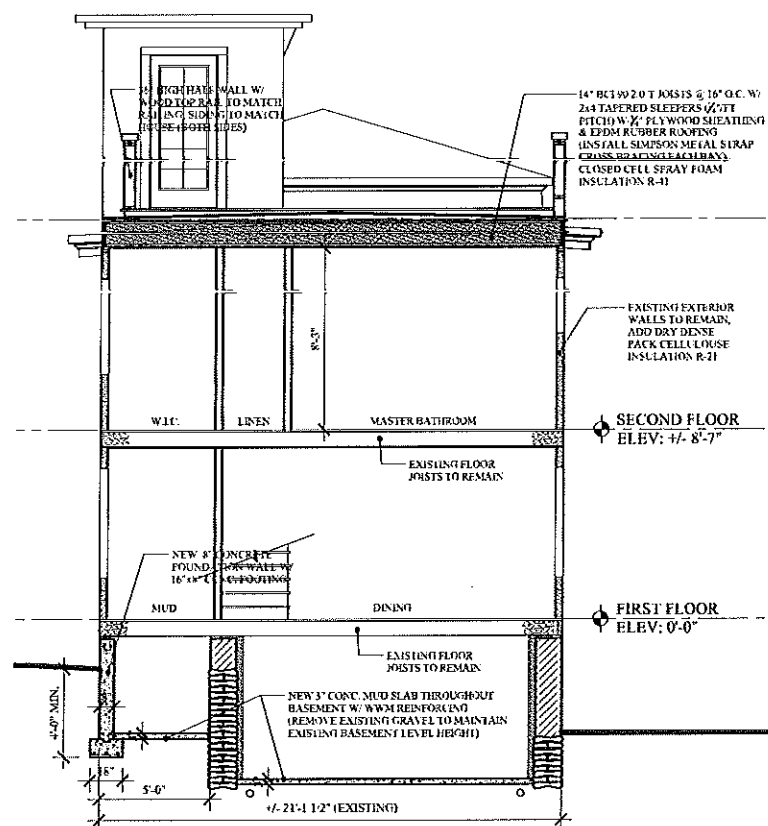
BUILDING SECTION A-1.0

SCALE: 1/4" = 1'-0"

RECEIVED

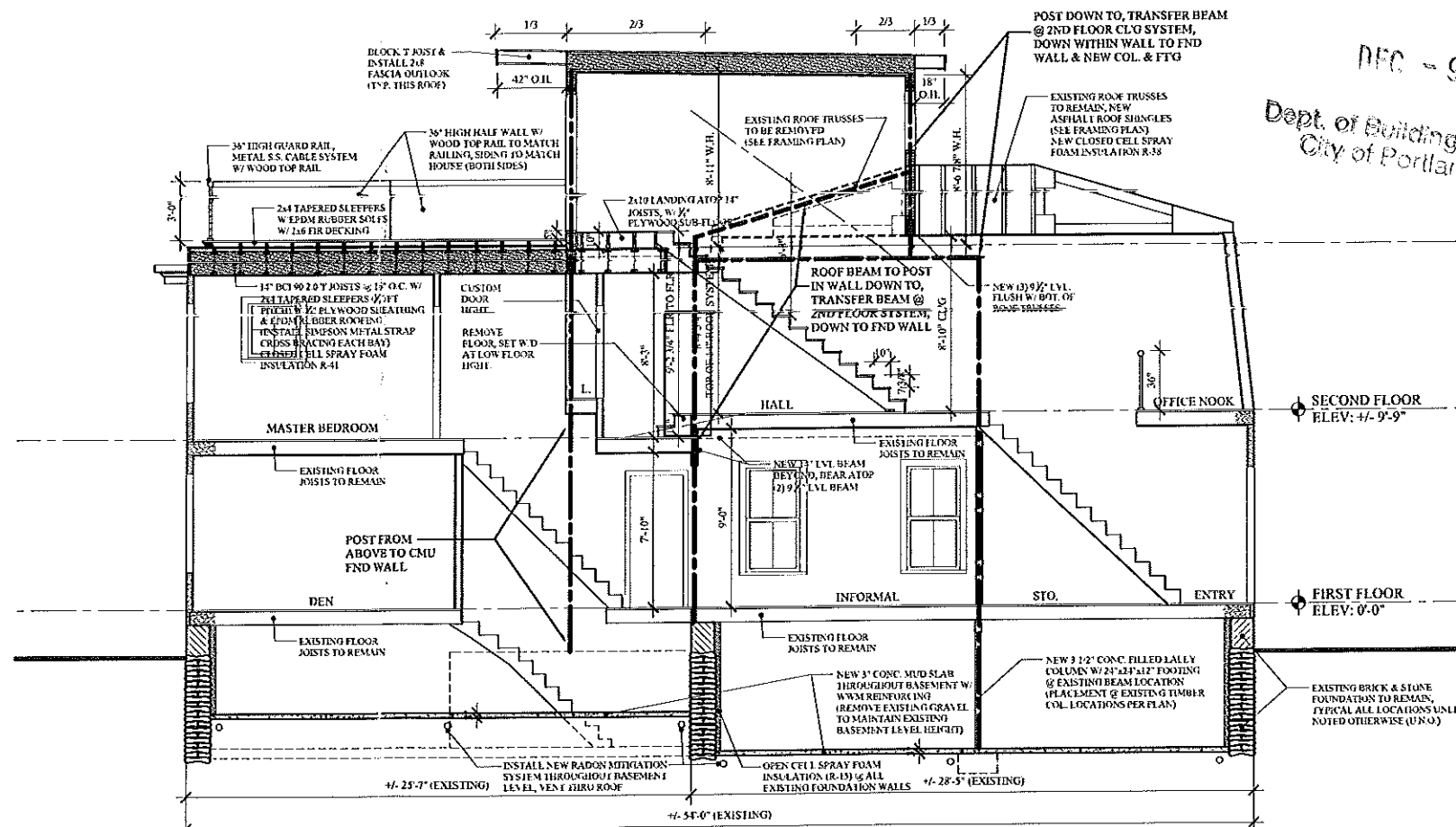
DEC - 9 2011

Dept. of Building Inspections
City of Portland Maine



BUILDING SECTION B

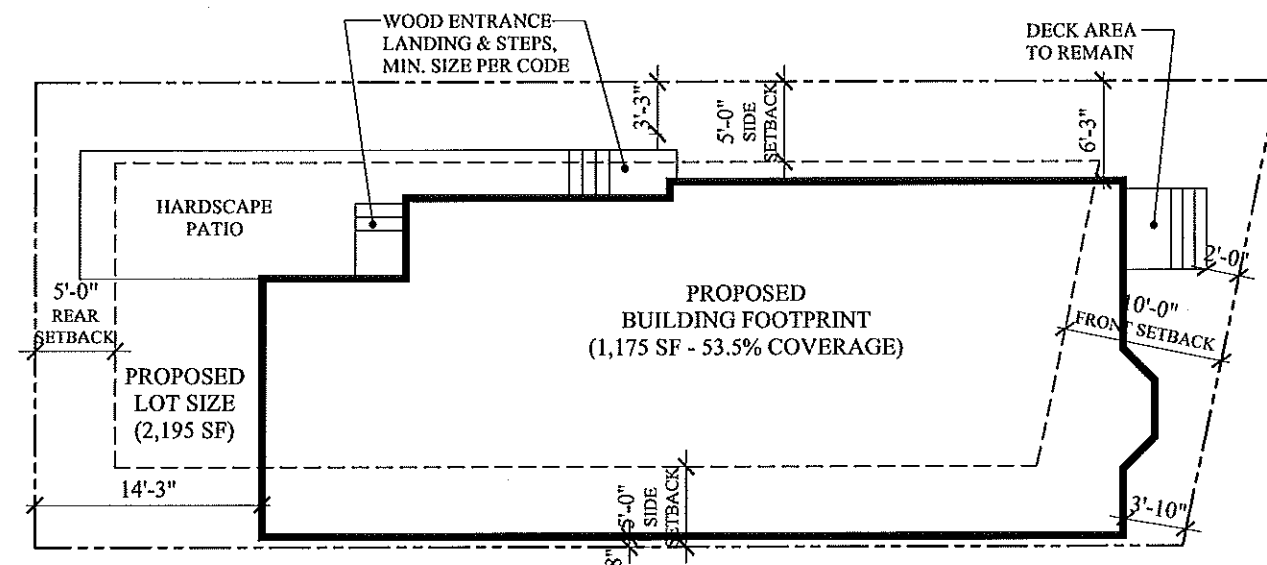
SCALE: 1/4" = 1'-0"



BUILDING SECTION A

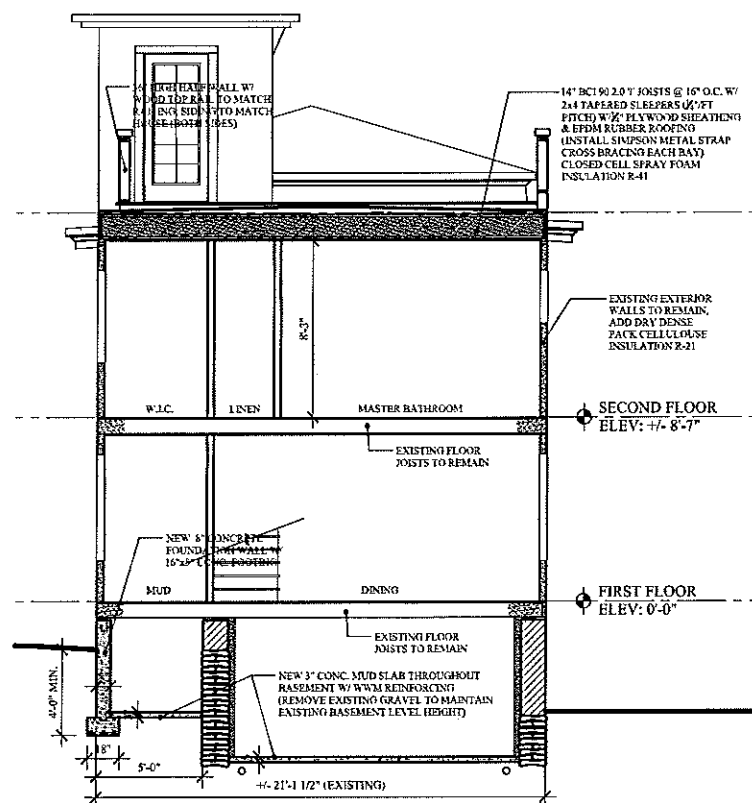
SCALE: 1/4" = 1'-0"

LOAD PATH DIAGRAM: DECEMBER 09, 2011
BUILDING PERMIT SET: OCTOBER 28, 2011

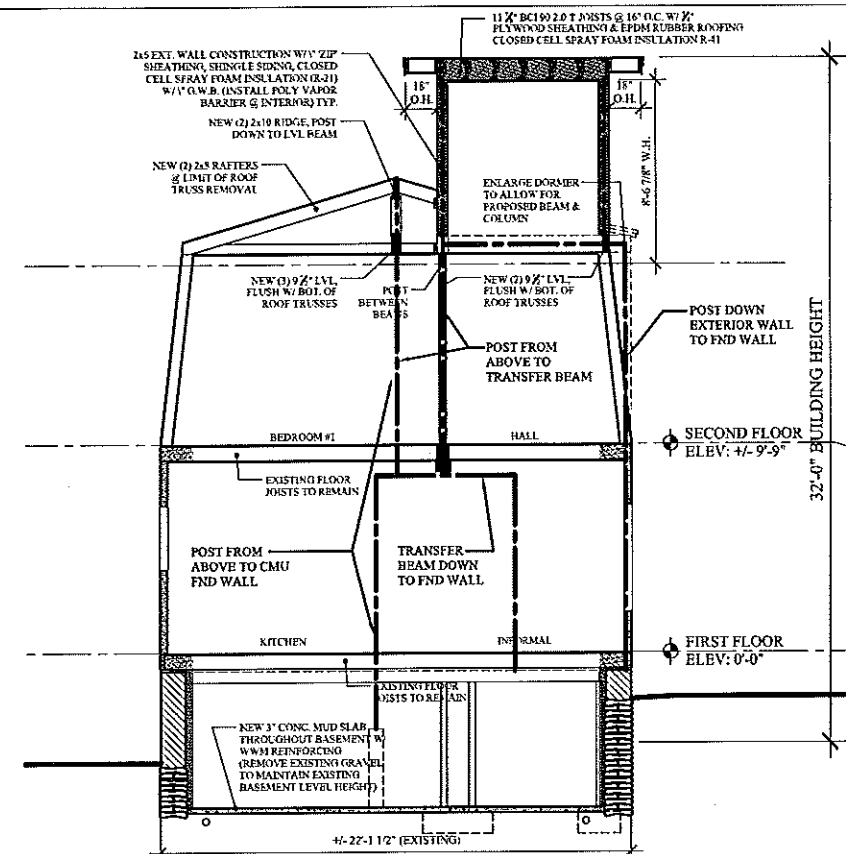


107 NORTH STREET
 ZONE: R6
 LOT AREA: 2,195 SF
 LOT COVERAGE ALLOWED: 50%
 LOT COVERAGE PROPOSED: 53.5% (NO INCREASE)
 MAX. BUILDING HEIGHT: 45'-0" (32'-0" PROPOSED)
 PROPERTY IS A NON-CONFORMING LOT.
 SIDE & REAR SETBACK REDUCTIONS PER SECTION 14-433

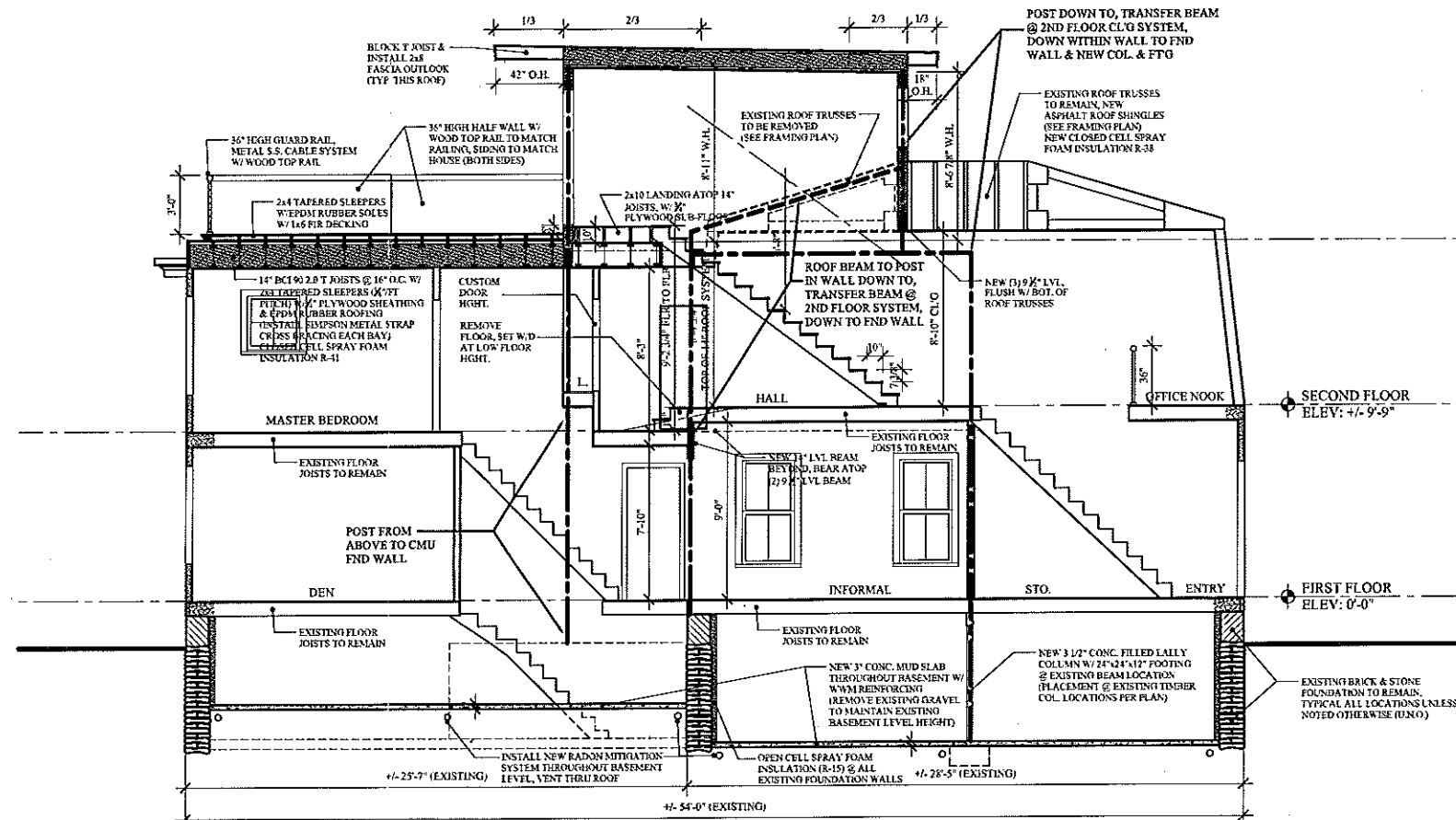
SITE PLAN
 SCALE: 3/16" = 1'-0"



B BUILDING SECTION
 A-1.0 SCALE: 1/4" = 1'-0"



C BUILDING SECTION
 A-1.0 SCALE: 1/4" = 1'-0"



A BUILDING SECTION
 A-1.0 SCALE: 1/4" = 1'-0"

LOAD PATH DIAGRAM: DECEMBER 09, 2011
 BUILDING PERMIT SET: OCTOBER 28, 2011

WALL LEGEND

HALF HEIGHT WALL	---
FULL HEIGHT WALL	----
FIRE RATED WALL	=====
WALL TO BE REMOVED	----

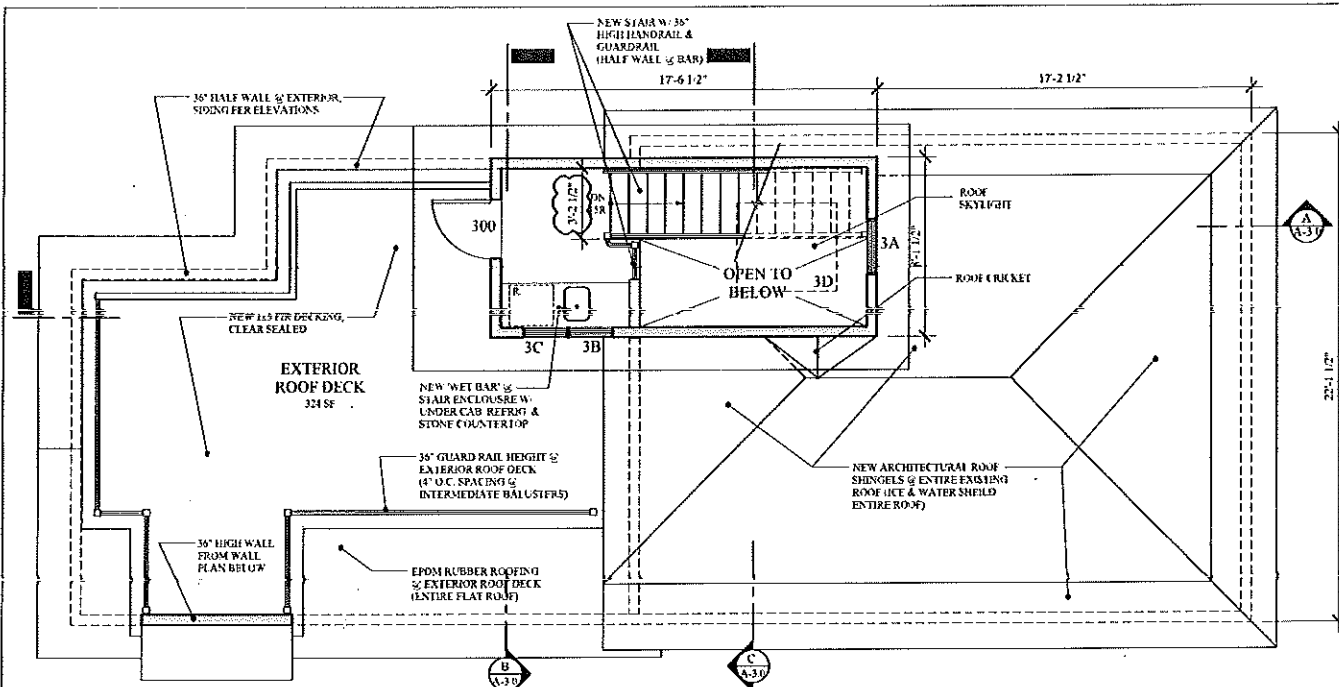
MARK MUELLER ARCHITECTS
 A.I.A.
 100 Commercial Street
 Suite 205
 Portland, Maine 04101
 Phone/Fax 207.774.9057
 Email: rfm@muellerarchitects.com

107 NORTH STREET
 107 NORTH STREET
 PORTLAND, MAINE

RENOVATION AT

BUILDING SECTIONS

A-3.0



PROPOSED ROOF DECK PLAN

SCALE: 1/4" = 1'-0"

WINDOW PRICING SCHEDULE:

- SRK - SASH REPLACEMENT KIT - BY TRIMLINE
- AWN - NEW AWNING WINDOW - BY PELLA (CLAD ARCHITECT SERIES)
- DH - NEW DOUBLE HUNG WINDOW - BY TRIMLINE
- CMT - NEW CASEMENT WINDOW - BY PELLA (CLAD ARCHITECT SERIES)

NOTE: ALL SIZES SHOWN ARE INSIDE OF FRAME (WxH). ALL SRK SIZES SHALL BE V.I.F. BY MANUF.

- 3A - 2'-10" x 3'-0" CMT (2929) - STATIONARY
- 3B - 2'-10" x 3'-0" CMT (2535)
- 3C - 2'-10" x 3'-0" CMT (2535)
- 3D - 2'-6" x 4'-6" 48"x48" PYRAMIDAL SKYLIGHT BY WASCO
- 300 - 2'-8" x 6'-10 1/2" NEW ENTRY DOOR (3482 PELLA CLAD ARCHITECT SERIES)

NOTES:

1. MANUFACTURE REPRESENTATIVE TO FIELD VERIFY ALL EXISTING OPENINGS & SIZES.
2. G.C. TO VERIFY WINDOW R.O. W/ WINDOW SUBMITTAL PRIOR TO CONSTRUCTION.
3. G.C. TO SUBMIT WINDOW ORDER TO ARCHITECT FOR REVIEW PRIOR TO WINDOW FINAL ORDER.

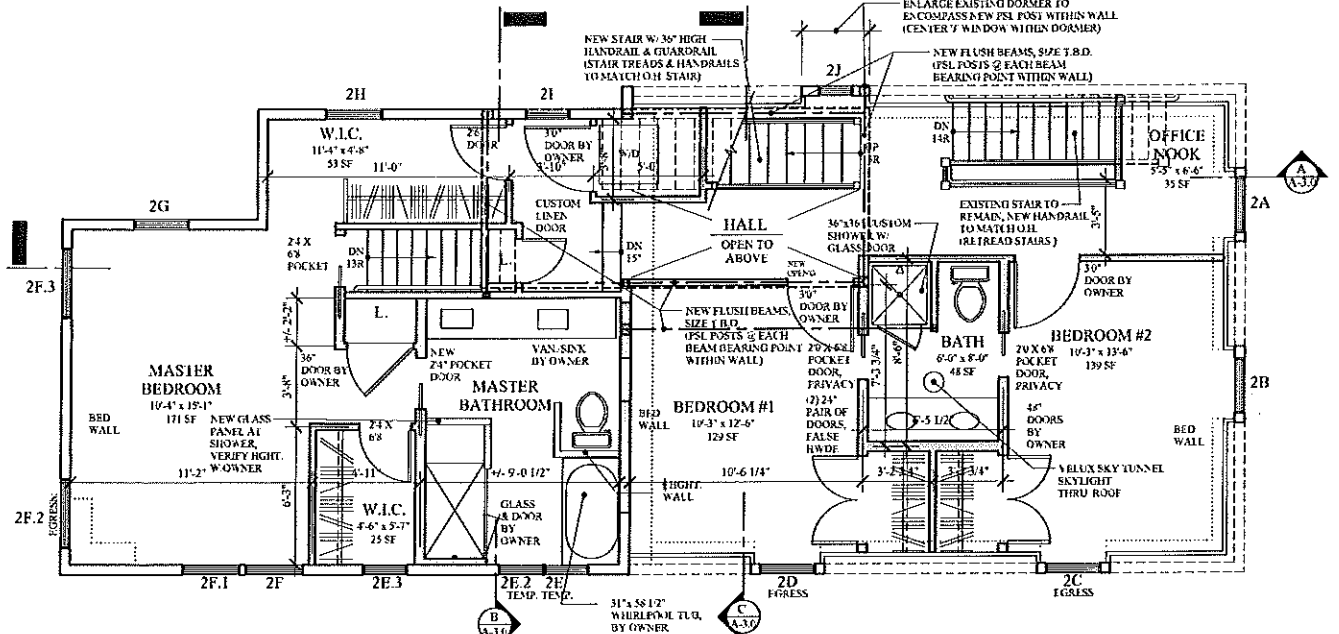
WINDOW PRICING SCHEDULE:

- SRK - SASH REPLACEMENT KIT - BY TRIMLINE
- AWN - NEW AWNING WINDOW - BY PELLA (CLAD ARCHITECT SERIES)
- DH - NEW DOUBLE HUNG WINDOW - BY TRIMLINE
- CMT - NEW CASEMENT WINDOW - BY PELLA (CLAD ARCHITECT SERIES)

NOTE: ALL SIZES SHOWN ARE INSIDE OF FRAME (WxH). ALL SRK SIZES SHALL BE V.I.F. BY MANUF.

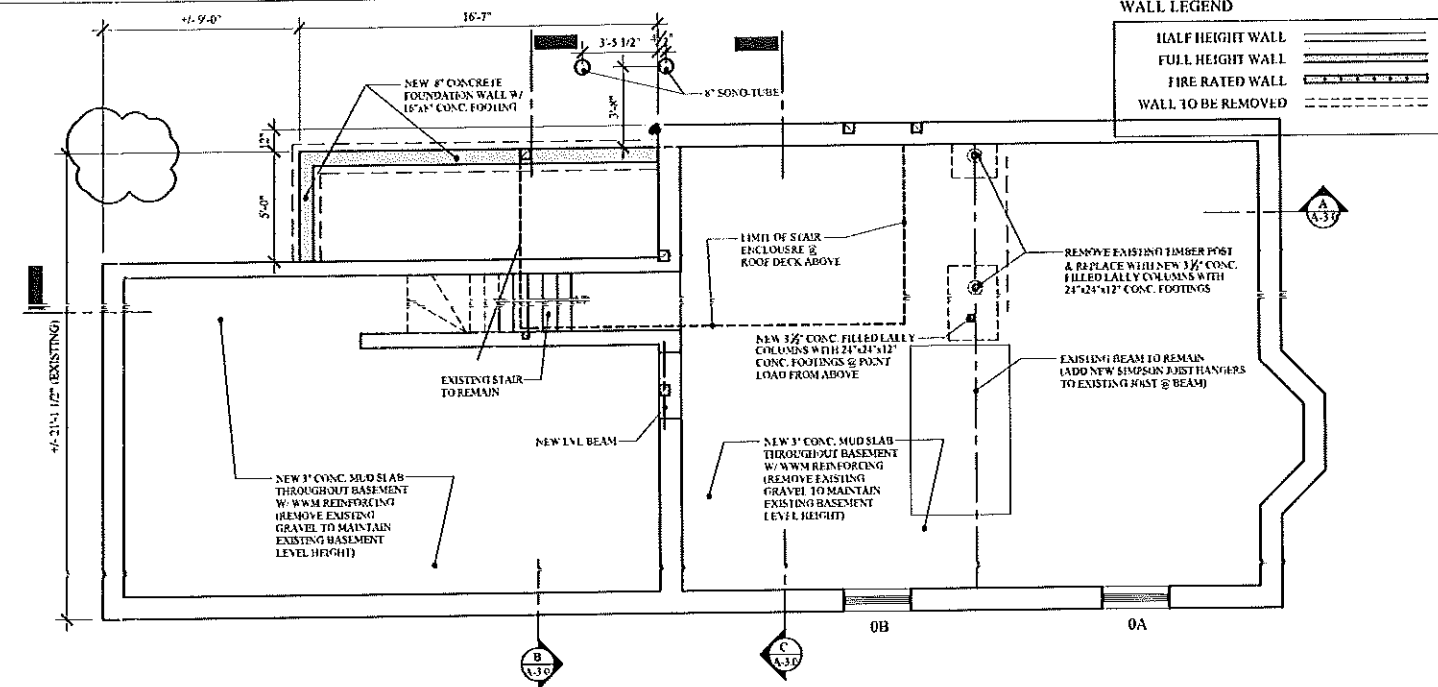
- 2A - 2'-4" x 4'-0" - I.D. 3'-0" SRK
- 2B - 2'-4" x 4'-0" - I.D. 3'-0" SRK
- 2C - 2'-8" x 5'-0" - I.D. 3'-2" CMT (2959B)
- 2D - 2'-8" x 5'-0" - I.D. 3'-1" CMT (2959B)
- 2E - 2'-10" x 3'-0" CMT (2547)
- 2E.1 - 2'-10" x 5'-0" WINDOW REMOVED
- 2E.2 - 2'-10" x 3'-0" CMT (2547)
- 2E.3 - 2'-10" x 3'-0" AWN (2525)
- 2F - 2'-9" x 5'-0" SRK
- 2F.1 - 2'-9" x 5'-0" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAMES)
- 2F.2 - 3'-2" x 5'-0" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAMES)
- 2F.3 - 3'-2" x 5'-0" VERIFY EGRESS DIMENSIONS WITH MANUF.
- 2G - 2'-7" x 5'-0" SRK
- 2H - 2'-7" x 4'-4" SRK
- 2I - 2'-0" x 4'-4" SRK
- 2J - 1'-5" x 4'-2" - I.D. 2'-2" NEW ANDERSEN TEMPERED SASH ONLY

BROSCO BASEMENT REPLACEMENT SASH
0A - 3'-0" x 2'-0"
0B - 3'-0" x 2'-0"



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FND/ BASEMENT

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. THE SPACE SHALL BE CONSTRUCTED TO CONFORM WITH ALL CURRENT APPLICABLE CODES (INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF IRC, IBC, NFPA 101, ANSI, UFAS, HUD, ADA, AIA, MPS).
2. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS. G.C. SHALL REPORT ANY & ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO WORK.
3. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
4. ALL CAULKING AROUND WINDOWS SHALL BE NON-HARDENING TYPE SEALANT.
5. ELECTRICAL: ALL NEW WORK SHALL MEET THE NEC AND NFPA 70.
6. BUILDING PERMIT TO BE BY ARCHITECT.
7. G.C. TO PROVIDE FINAL SPACE CLEANING PRIOR TO OCCUPANCY.
8. G.C. TO VERIFY & CHECK PROPER FUNCTION OF ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO HVAC, ELECTRICAL, LIGHTING, & PLUMBING PRIOR TO TENANT OCCUPANCY.
9. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE TREATED.
10. CONTRACTOR SHALL WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE THE DRAWINGS.
11. INSTALL BLOCKING FOR SURFACE APPLIED FIXTURES, TRIM, CABINETS, COUNTER TOPS, AND GRAB BARS WHEN MOUNTED ON STUD WALLS, INCLUDING ALL FUTURE INSTALLATIONS.
12. INSTALL UL FIRE-STOPPING SEALANT SYSTEM EQUAL TO THE FIRE RATED FLOOR, CEILING AND WALL ASSEMBLY.
13. FIRESTOP VERTICAL CHASES & FLOOR & CEILING PENETRATIONS: CAULK JOINTS.
14. COORDINATE AND FLASH ALL ROOF/WALL PENETRATIONS WITH THE SUB-TRADES.
15. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
16. ALL WINDOWS IN SLEEPING ROOMS SHALL BE EGRESS WINDOWS MEETING THE FOLLOWING MINIMUM CLEAR OPENING REQUIREMENTS: 20" WIDE - 20" HIGH - 5.7 SF.
17. ALL WINDOWS WITHIN 6" HORIZ. & VERT. DIMENSION OF STAIRS MUST BE TEMPERED.
18. ALL WINDOWS WITHIN 24" OF A DOOR SWING MUST BE TEMPERED.
19. ALL WINDOWS WITHIN A SHOWER ENCLOSURE MUST BE TEMPERED.
20. BUILDING INSULATION SHALL BE PROVIDED AS INDICATED & NOTED IF NOT SHOWN IN ITS ENTIRETY (HORIZONTAL INSULATION IN ALL BATHROOM, LAUNDRY & MECH. ROOM WALLS & VENT PIPES).
21. BEAM, JOIST OR OTHER STRUCTURAL MEMBER PENETRATIONS NOT SHOWN OR INDICATED ON DRAWINGS MUST BE CONSULTED WITH THE ARCHITECT & OR ENGINEER PRIOR TO WORK.
22. ANY CHANGE DURING CONSTRUCTION OF USE, OCCUPANCY OR CONSTRUCTION TYPE MUST BE DISCUSSED WITH ARCHITECT PRIOR TO ANY WORK PERFORMED AND SUBSTANTIAL TIME ALLOWED FOR REQUIRED CODE RESEARCH AND DRAWING MODIFICATIONS OR ADDITIONS.
23. INSTALL NEW DOMESTIC FIRE SUPPRESSION SYSTEM PER NFPA 13D.
24. INSTALL SMOKE & CO DETECTORS PER STATE REQUIREMENTS.

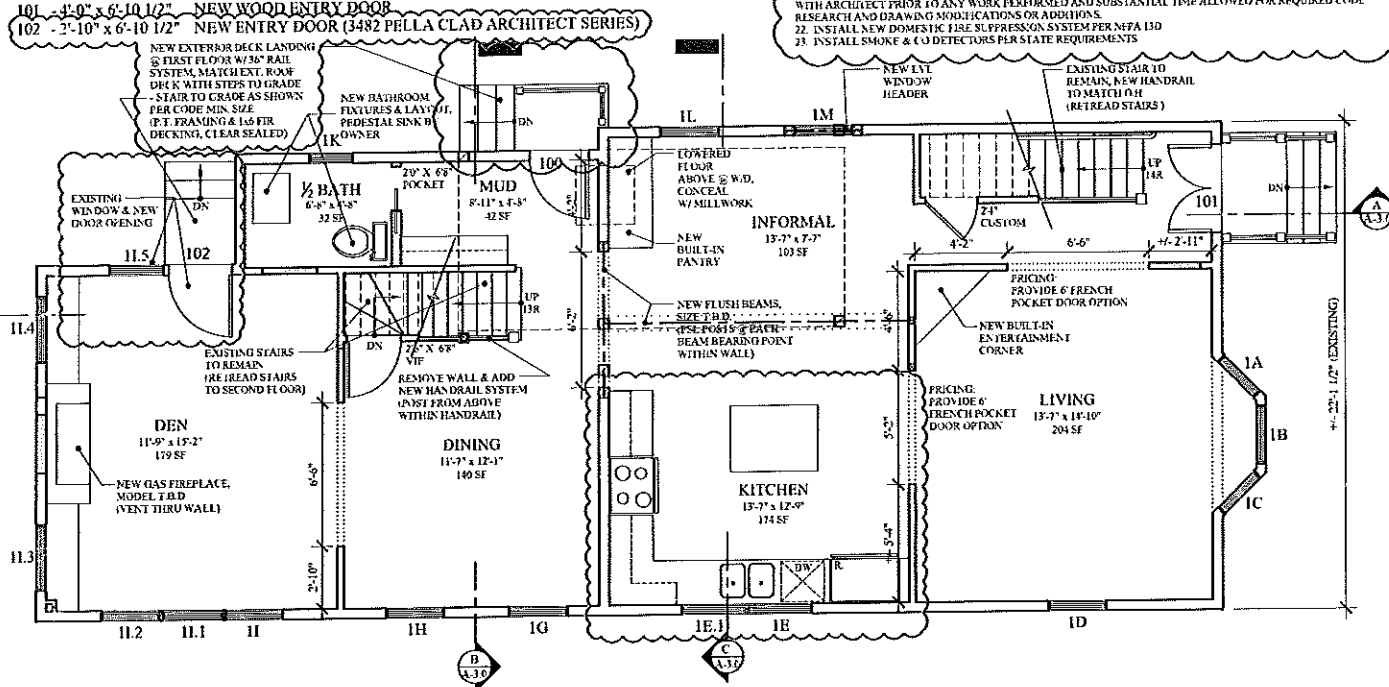
WINDOW PRICING SCHEDULE:

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- AWN - NEW AWNING WINDOW - BY PELLA (CLAD ARCHITECT SERIES)
- DH - NEW DOUBLE HUNG WINDOW - BY TRIMLINE
- CMT - NEW CASEMENT WINDOW - BY PELLA (CLAD ARCHITECT SERIES)

NOTE: ALL SIZES SHOWN ARE INSIDE OF FRAME (WxH). ALL SRK SIZES SHALL BE V.I.F. BY MANUF.

- 1A - 1'-7" x 5'-4" SRK
- 1B - 2'-10" x 5'-4" SRK
- 1C - 1'-7" x 5'-4" SRK
- 1D - 2'-10" x 5'-4" SRK
- 1E - 3'-0" x 3'-0" AWN (3535)
- 1E.1 - 3'-0" x 3'-0" AWN (3535)
- 1F - 2'-10" x 3'-0" NOT USED
- 1G - 2'-10" x 3'-0" SRK
- 1H - 2'-10" x 5'-4" SRK
- 1I - 2'-10" x 5'-4" SRK
- 1J - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1K - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1L - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1M - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1N - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1O - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1P - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1Q - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1R - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1S - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1T - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1U - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1V - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1W - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1X - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1Y - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)
- 1Z - 2'-10" x 5'-4" DH (G.C. TO INSTALL SUB-FRAME TO MATCH EXISTING WINDOW FRAME)

NEW WOOD ENTRY DOOR
NEW WOOD ENTRY DOOR
NEW WOOD ENTRY DOOR



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISED: NOVEMBER 14, 2011

BUILDING PERMIT SET: OCTOBER 28, 2011

MARK MUELLER ARCHITECTS
AIA
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email: mrmuellerarchitects.com

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MARK MUELLER ARCHITECTS

107 NORTH STREET
PORTLAND, MAINE

RENOVATION AT

PROPOSED FLOOR PLANS

A-1.0



**MARK
MUELLER
ARCHITECTS**
AIA.

100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207 774 9057
Email: rmm@muellerarchitects.com

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107 NORTH STREET
107 NORTH STREET
PORTLAND, MAINE

RENOVATION AT

BUILDING SECTIONS

REVISIONS

DATE

12/29/2011

PROJECT

107 NORTH

REVISION BY

RSP

CHECK BY

RAM

A-3.0

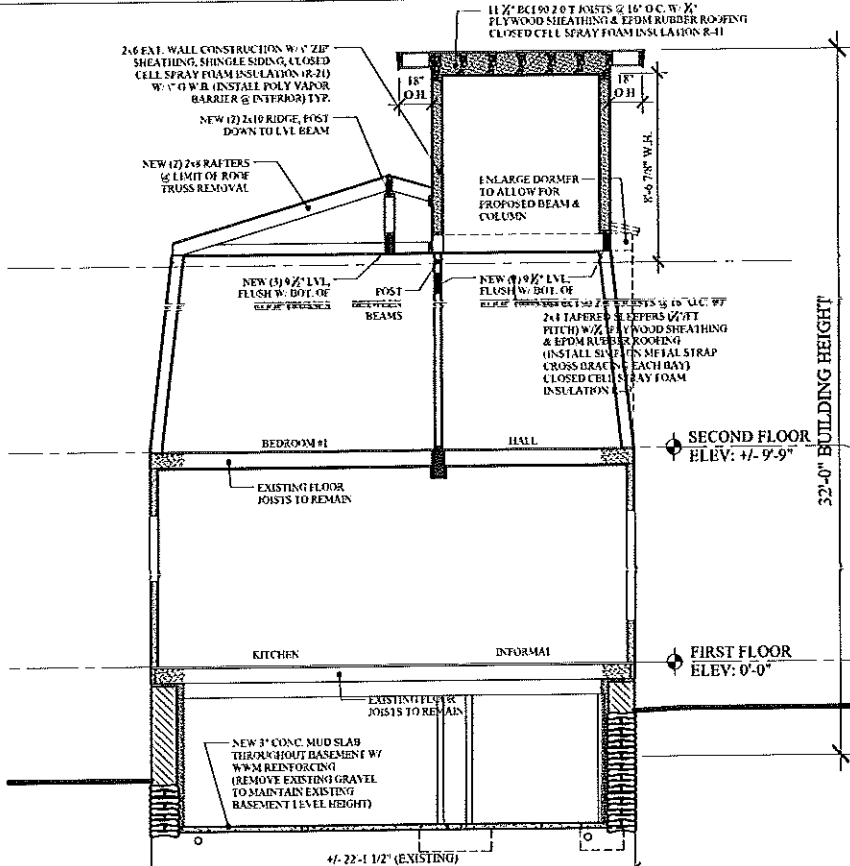
WALL LEGEND

HALF HEIGHT WALL
FULL HEIGHT WALL
FIRE RATED WALL
WALL TO BE REMOVED

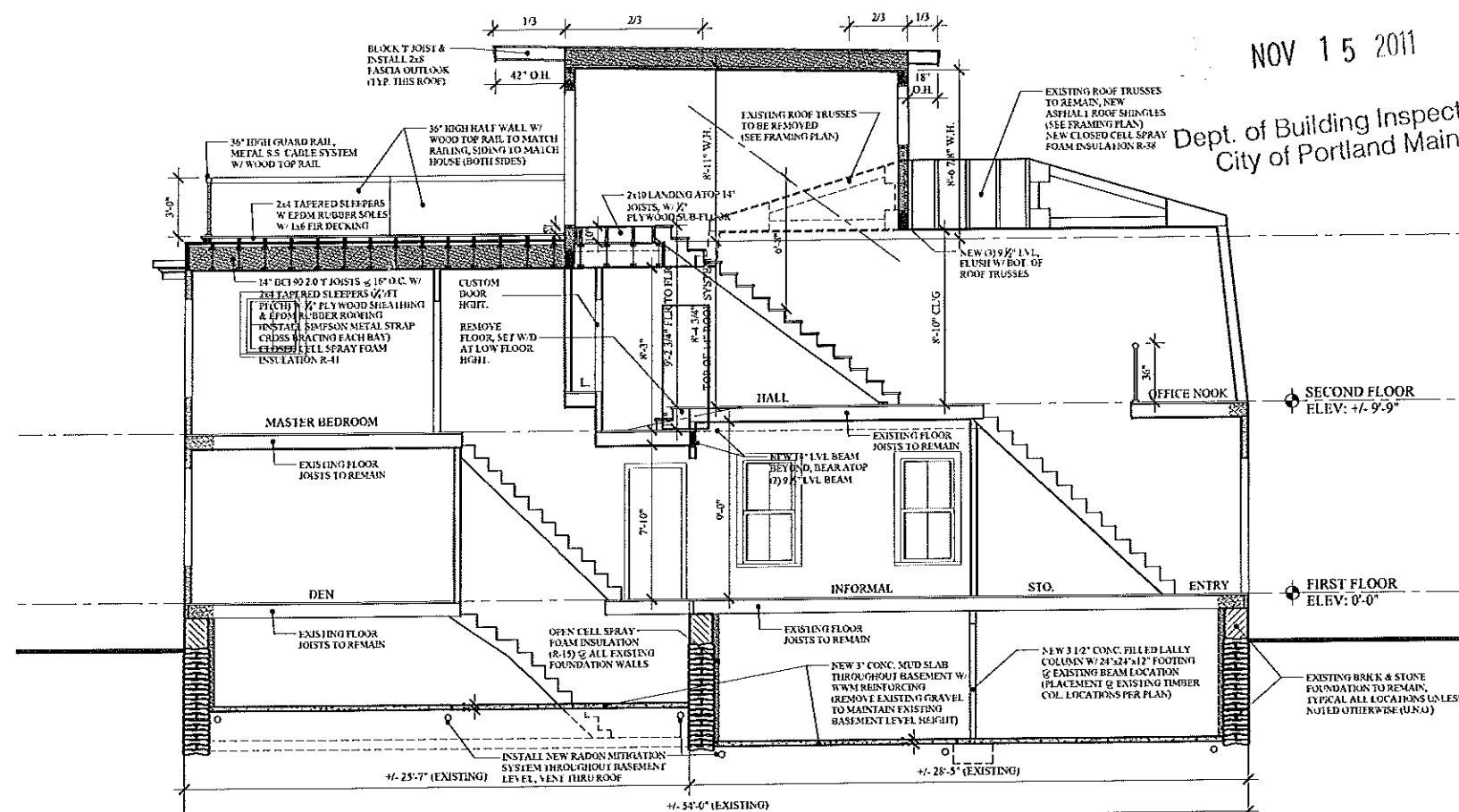
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NOV 15 2011

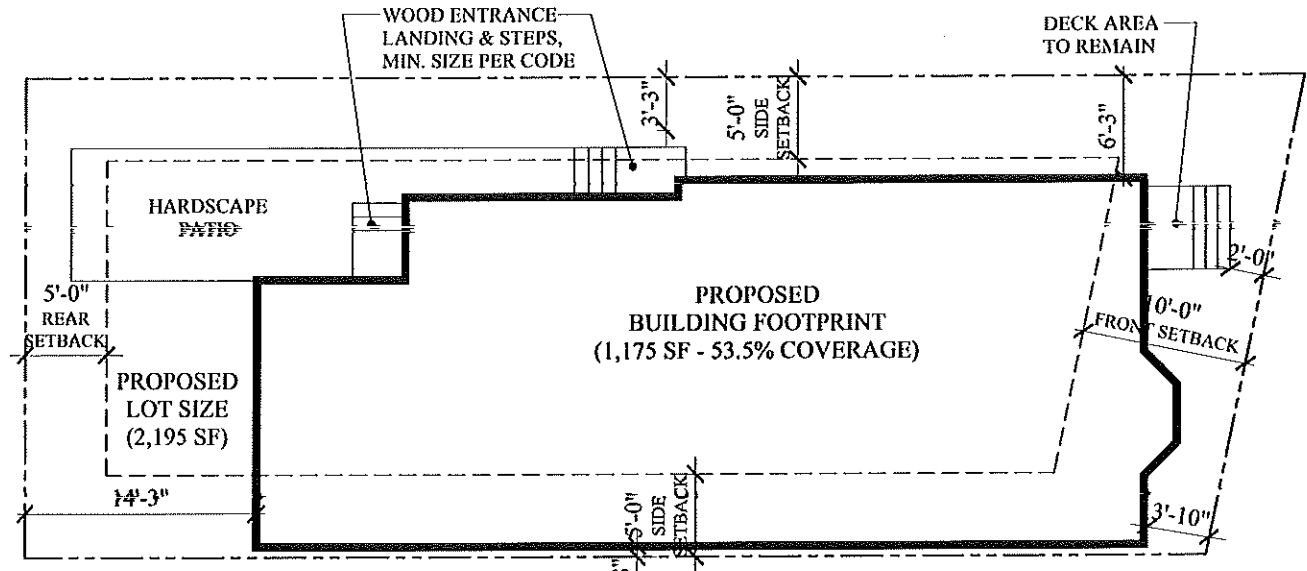
Dept. of Building Inspections
City of Portland Maine



C BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"



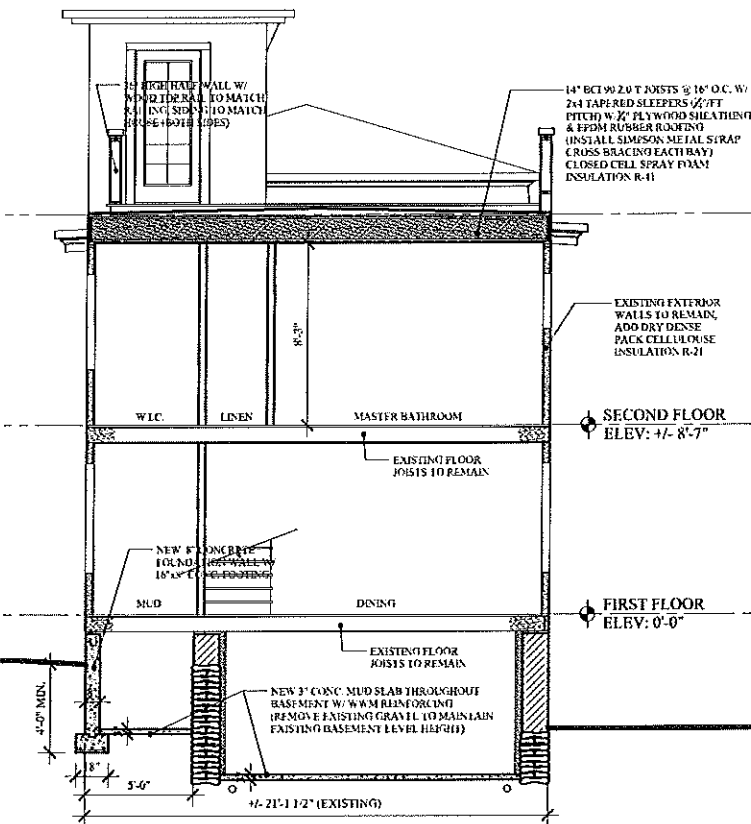
A BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"



SITE PLAN

SCALE: 3/16" = 1'-0"

107 NORTH STREET
ZONE: R6
LOT AREA: 2,195 SF
LOT COVERAGE ALLOWED: 56%
LOT COVERAGE PROPOSED: 53.5% (NO INCREASE)
MAX. BUILDING HEIGHT: 45'-0" (32'-0" PROPOSED)
PROPERTY IS A NON-CONFORMING LOT.
SIDE & REAR SETBACK REDUCTIONS PER SECTION 14-433



B BUILDING SECTION
A-1.0 SCALE: 1/4" = 1'-0"

REVISED: NOVEMBER 14, 2011
BUILDING PERMIT SET: OCTOBER 28, 2011



MARK
MUELLER
ARCHITECTS

A.I.A.

100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email: rfm@muellerarchitects.com

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107 NORTH STREET

107 NORTH STREET
PORTLAND, MAINE

RENOVATION AT

PROPOSED FLOOR PLANS

DATE

11/12/2011

PROJECT

107 NORTH STREET

DESIGNED BY

MM

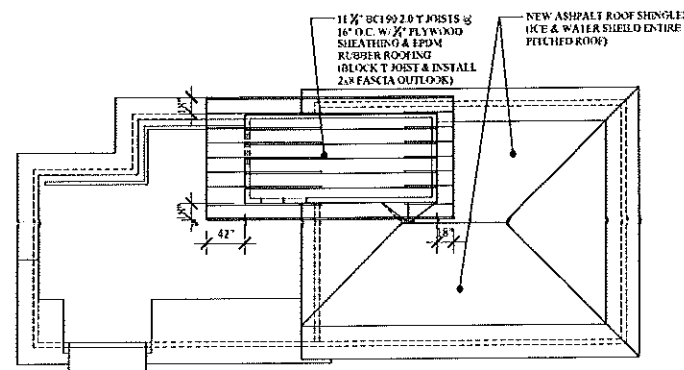
CHECKED BY

MM

REVISED: NOVEMBER 14, 2011

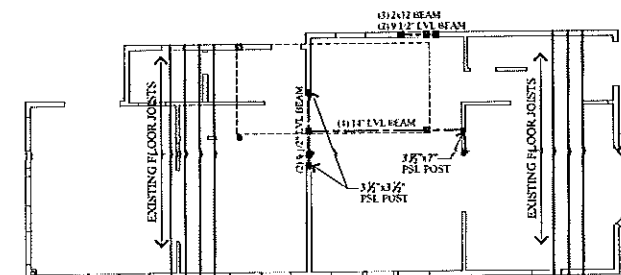
BUILDING PERMIT SET: OCTOBER 28, 2011

A-4.0



STAIR PENTHOUSE FRAMING PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

FRAMING NOTES

FLOOR SYSTEM:

1. ALL 11 7/8" JOISTS SHALL BE MIN. L/720 DEFLECTION, BRIDGING AT CENTER. (SPACING AS SHOWN ON FRAMING PLAN)
2. ALL 9 1/2" JOISTS SHALL BE L/720 DEFLECTION, BRIDGING AT CENTER. (SPACING AS SHOWN ON FRAMING PLAN)
3. ALL 14" JOISTS SHALL BE L/960 DEFLECTION, BRIDGING AT CENTER. (SPACING AS SHOWN ON FRAMING PLAN)
4. ALL LVL BEAM & HEADER MATERIAL SHALL BE E=2,000,000 psi. (DEFLECTION TO MEET L/360 MIN.)
5. INSTALL SOLID BLOCKING BELOW STRUCTURAL COLUMNS AT ALL LOCATIONS
6. ALL POSTS @ LVL BEAMS SHALL BE PSL/ VERSA-LAM COLUMNS. COLUMN SIZE TO ALLOW FULL WIDTH BEARING OF BEAMS.
7. ALL HEADERS AT NEW WINDOW OPENINGS SHALL BE (3) 2x10 HEADERS.

DESIGN CRITERIA:

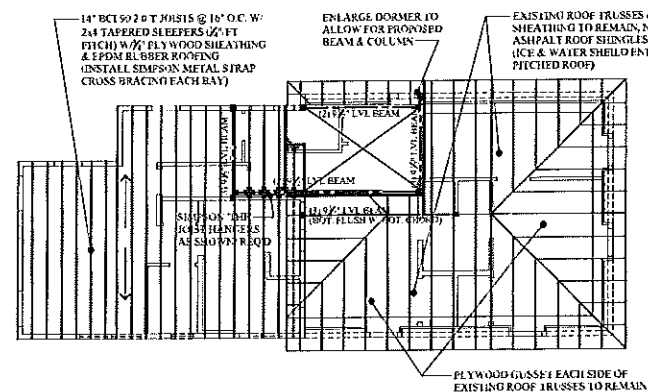
FIRST FLOOR:

LIVE LOAD = 40psf
DEAD LOAD = 10psf
TOTAL LOAD = 50psf

SECOND FLOOR:

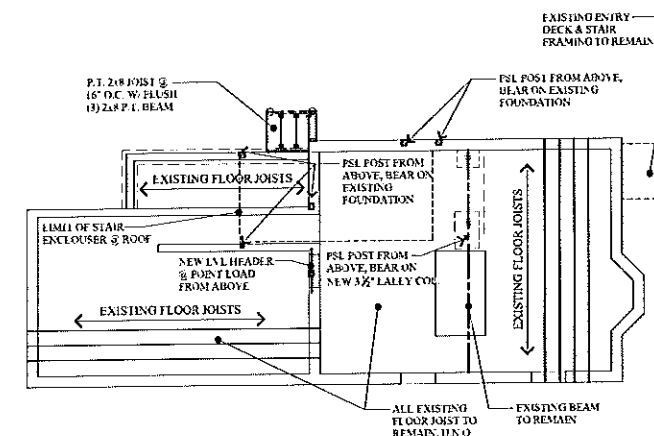
LIVE LOAD = 30psf
DEAD LOAD = 10psf
TOTAL LOAD = 40psf

ROOF: TOTAL 60 psf (GROUND SNOW)



MAIN ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

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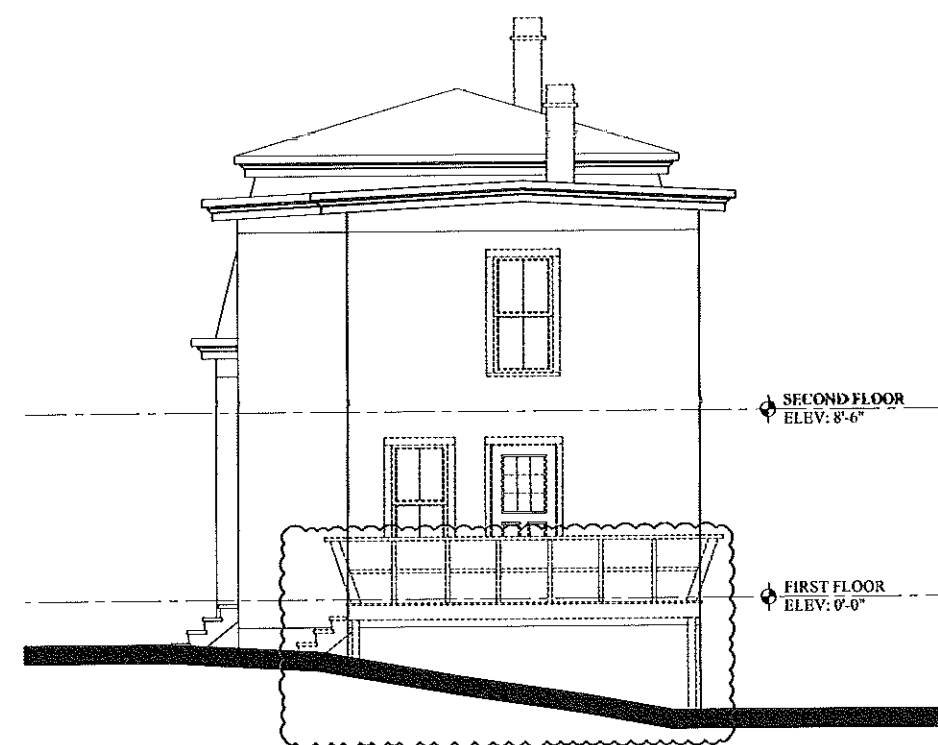
Dept. of Building Inspections
City of Portland Maine

WALL LEGEND

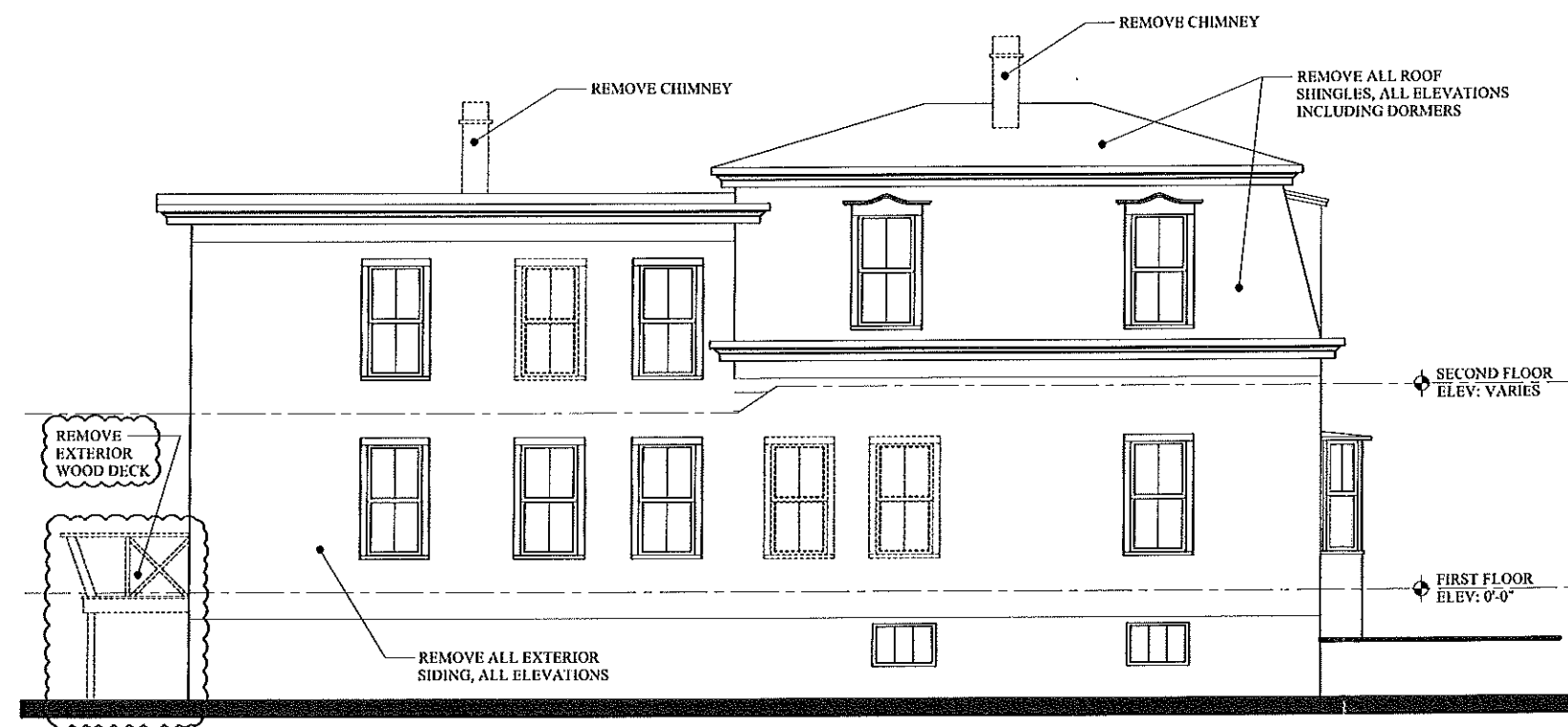
HALF HEIGHT WALL	=====
FULL HEIGHT WALL	=====
FIRE RATED WALL	=====
WALL TO BE REMOVED	-----



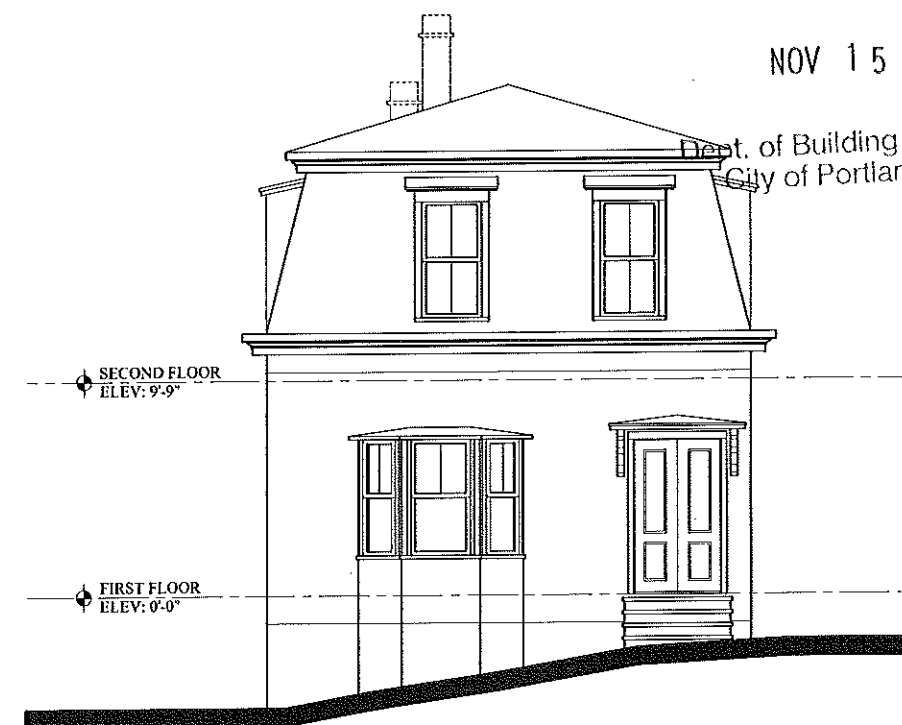
EXISTING/ DEMO SIDE ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING/ DEMO REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING/ DEMO WALNUT ST. ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING/ DEMO NORTH ST. ELEVATION
SCALE: 1/4" = 1'-0"

RECEIVED

NOV 15 2011

Dep. of Building Inspections
City of Portland Maine



M A R K MUELLER ARCHITECTS A.I.A.
100 Commercial Street
Suite 809
Portland, Maine 04101
Phone/Fax 207.774.9097
Email: rfm@muellearchitects.com

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107 NORTH STREET
107 NORTH STREET
PORTLAND, MAINE

RENOVATION AT

EXISTING CONDITIONS

DATE: 11/15/2011
PROJECT: 107 NORTH
DRAWN BY: RFM
CHECKED BY: RFM

REVISED: NOVEMBER 14, 2011
BUILDING PERMIT SET: OCTOBER 28, 2011

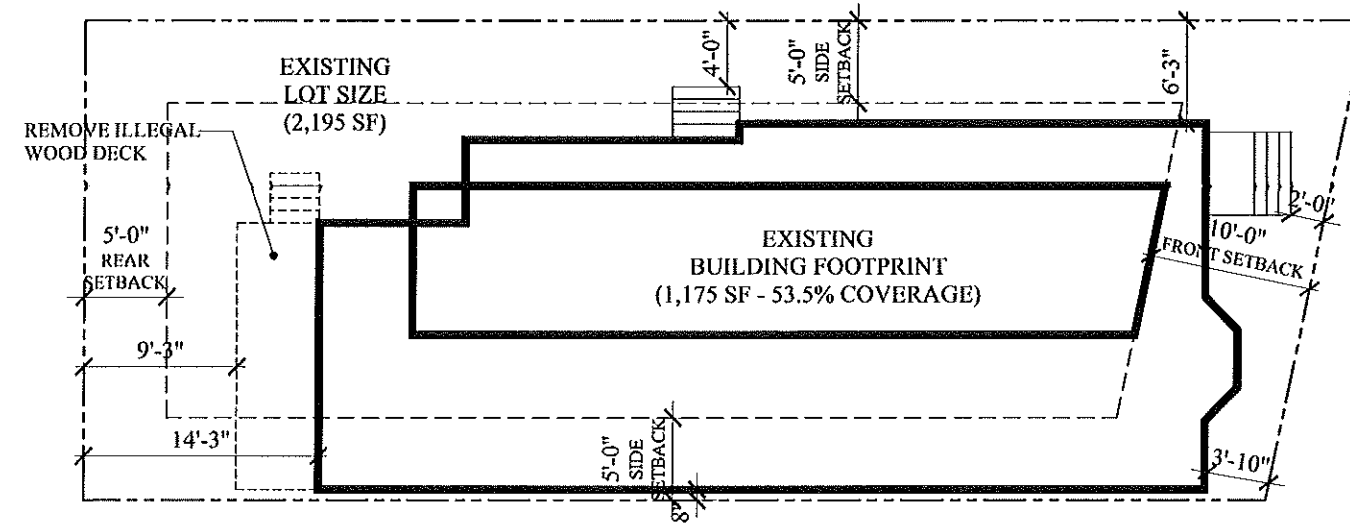
EC-2.0

DEMOLITION NOTES:

1. ALL WALLS AS SHOWN TO BE REMOVED. G.C. TO FIELD VERIFY & REPORT ANY DISCREPANCIES OR LOAD BEARING WALLS TO THE ARCHITECT.
2. ELECTRIC POWER TO THE BUILDING SHALL BE DISCONNECTED PRIOR TO DEMOLITION WORK. VERIFY WATER SHUT-OFF W/ BUILDING OWNER.
3. FIRE ALARM SYSTEMS & SPRINKLER SYSTEM TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.
4. ALL DEMOLITION SHALL BE REMOVED FROM SITE DAILY.
5. REMOVE EXISTING FINISHED CEILINGS & FINISH FLOORING; INCLUDING ALL UNDERLAYMENTS, SUB-FLOORS TO REMAIN.
6. ALL FIRE PROTECTION, GYPSUM DRYWALL & OR FIRE SPRAY ON STRUCTURAL MEMBERS, INCLUDING BEARING WALLS, FIRE SEPARATION WALLS, BEAMS, COLUMNS & FIRE RATED FLOOR/CEILING ASSEMBLIES SHALL NOT BE REMOVED.
7. REMOVE EXISTING ASPHALT ROOF SHINGLES.
8. DIMENSIONS INDICATED +/- ARE EXISTING CONDITION DIMENSIONS TO BE VERIFIED IN FIELD.
9. G.C. TO VERIFY WITH 'DIG SAFE' PRIOR TO ANY SITE WORK.
10. FIELD VERIFY ALL STRUCTURAL COMPONENTS PRIOR TO DEMOLITION. REPORT ANY DISCREPANCIES IMMEDIATELY TO ARCHITECT.
11. EXISTING MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS TO BE REMOVED PARTIALLY AS REQUIRED.
12. TEMPORARILY BRACE ALL WALLS, FLOOR & ROOF DURING & AFTER DEMOLITION.
13. COORDINATE EXISTING PERIMETER WALL LOCATIONS TO BE MODIFIED PER NEW WINDOW LOCATIONS.
14. ALL HAZARDOUS MATERIALS SHALL BE REMOVED BY CURRENT 'OSHA' STANDARDS.
15. TEMPORARY SHORING & BRACING BY G.C.
16. G.C. TO COORDINATE INTERIOR FINISHES WITH OWNER.
17. SALVAGE ALL ARCHITECTURAL FEATURES & BUILDING MATERIALS OF VALUE.

WALL LEGEND

HALF HEIGHT WALL	---
FULL HEIGHT WALL	=====
FIRE RATED WALL	=====
WALL TO BE REMOVED	-----

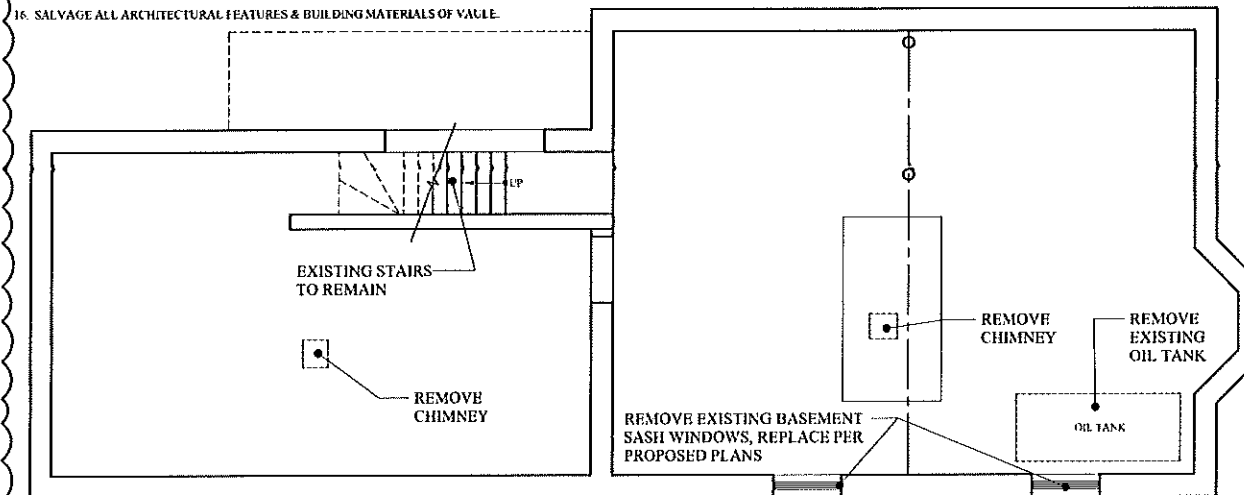


SITE PLAN

SCALE: 3/16" = 1'-0"

107 NORTH STREET
ZONE: R6
LOT AREA: 2,195 SF
LOT COVERAGE ALLOWED: 50%
LOT COVERAGE ACTUAL: 53.5%
MAX. BUILDING HEIGHT: 45'-0"

PROPERTY IS A NON-CONFORMING LOT,
SIDE & REAR SETBACK REDUCTIONS PER SECTION 14-433

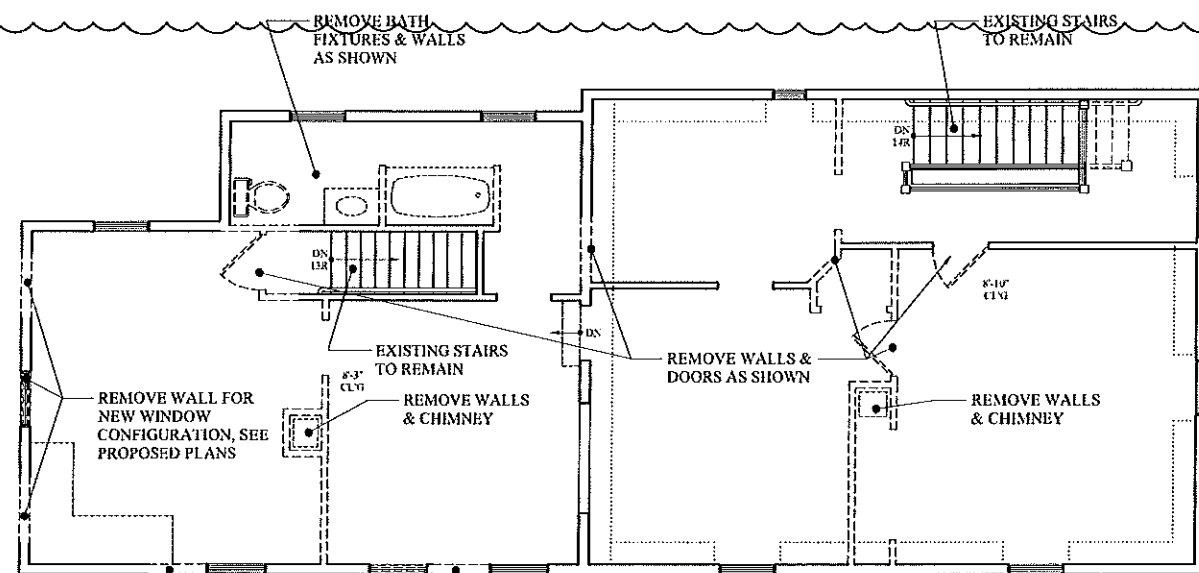


EXISTING/ DEMO FND/ BASEMENT

SCALE: 1/4" = 1'-0"

RECEIVED

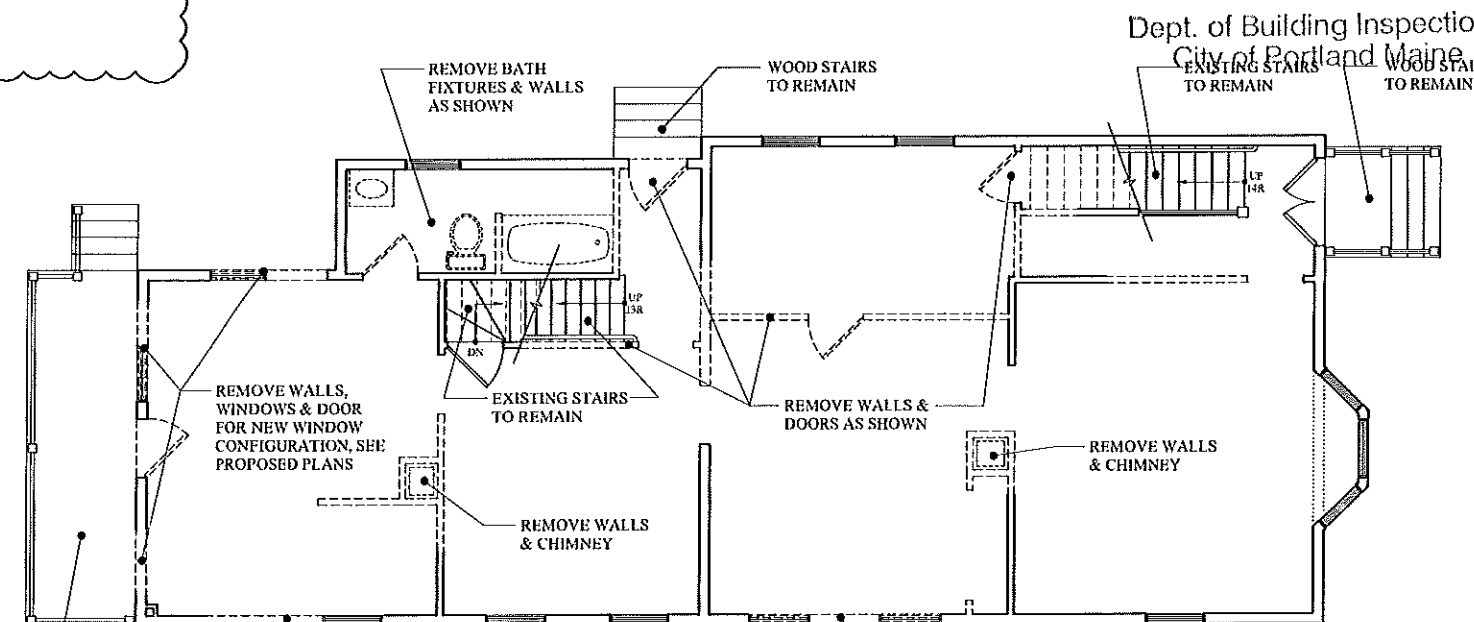
NOV 15 2011



EXISTING/ DEMO 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
REMOVE ALL EXISTING
WINDOWS, ALL FLOORS.
WINDOWS TO BE REPLACE
PER PROPOSED PLANS



EXISTING/ DEMO 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
REMOVE ALL EXISTING
WINDOWS, ALL FLOORS.
WINDOWS TO BE REPLACE
PER PROPOSED PLANS

REVISED: NOVEMBER 14, 2011
BUILDING PERMIT SET: OCTOBER 28, 2011

M A F R
MUELLER
ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.8067
Email: r6@muellerarchitects.com

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107 NORTH STREET
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PORTLAND, MAINE

RENOVATION AT

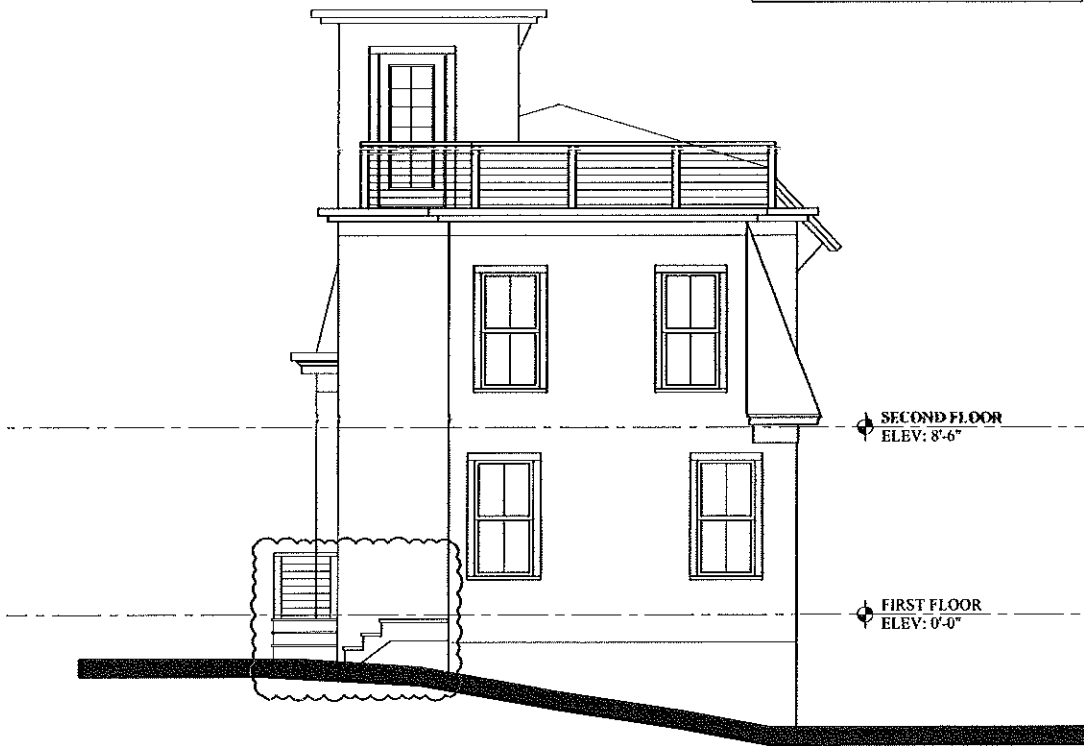
EXISTING CONDITIONS/ DEMO PLANS

EC-1.0

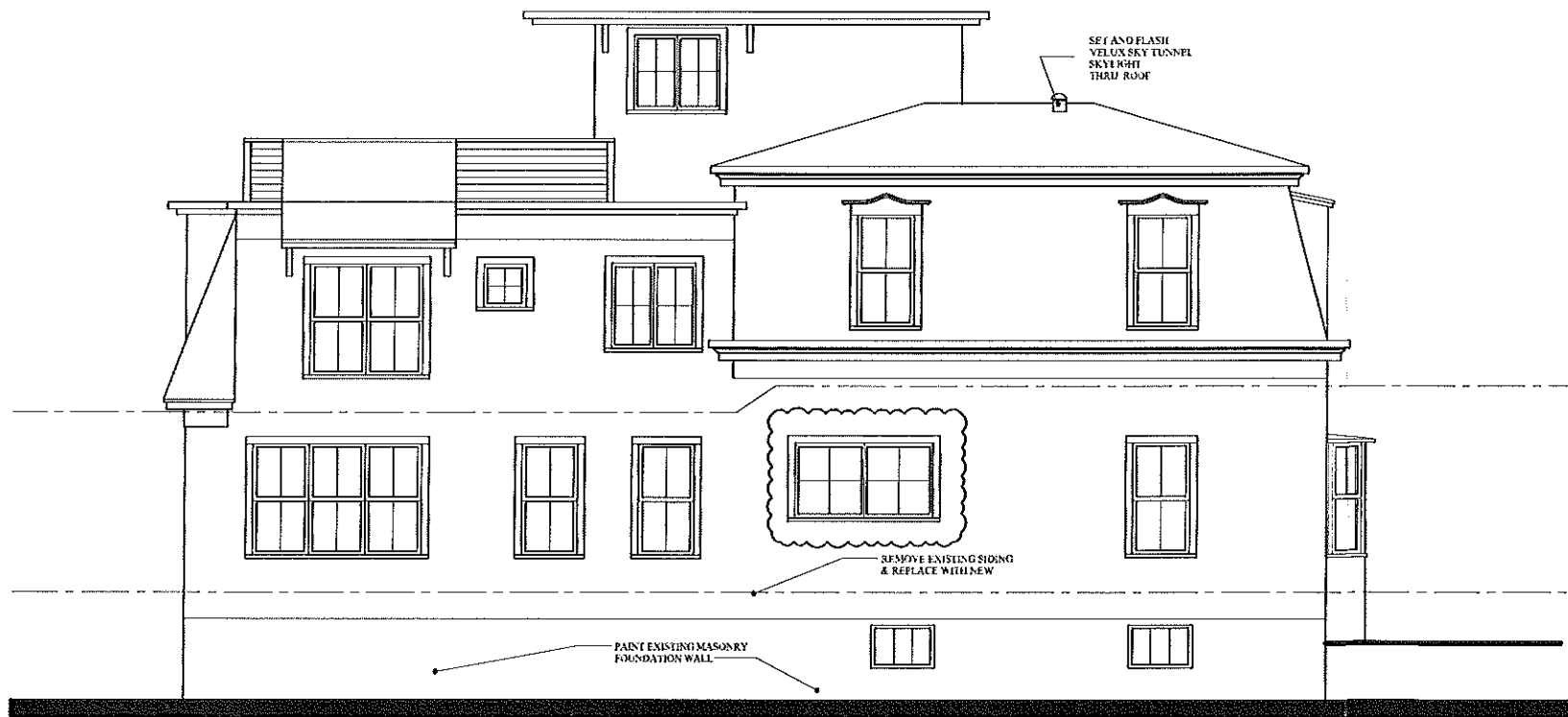
WALL LEGEND	
HALF HEIGHT WALL	---
FULL HEIGHT WALL	=====
FIRE RATED WALL	=====
WALL TO BE REMOVED	----



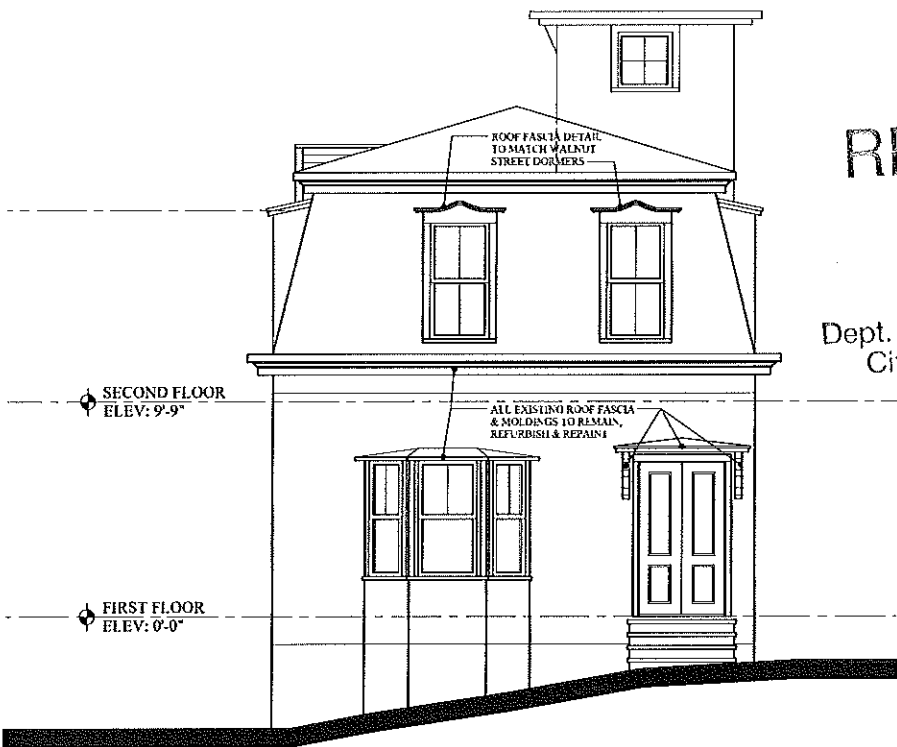
PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WALNUT ST. ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ST. ELEVATION
SCALE: 1/4" = 1'-0"

MARK
MUELLER
ARCHITECTS
A.I.A.
100 Commercial Street
Suite 205
Portland, Maine 04101
Phone/Fax 207.774.9057
Email
rm@muellerarchitects.com

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107 NORTH STREET
107 NORTH STREET
PORTLAND, MAINE

RECEIVED

NOV 15 2011

Dept. of Building Inspections
City of Portland Maine

PROPOSED ELEVATIONS

A-2.0

REVISED: NOVEMBER 14, 2011
BUILDING PERMIT SET: OCTOBER 28, 2011