

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1001	Issue Date: JUL 09 2003	CBL: 015 E007001
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Location of Construction: 44 Walnut St	Owner Name: Link C Susan	Owner Address: 44 Walnut St <i>PA 741-1021 CITY OF PORTLAND</i>	Phone: 207-772-9051
Business Name:	Contractor Name: Cloutier, Randy	Contractor Address: 44 Walnut St. Portland	Phone: 2075411932
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-6

Past Use: Multi-family <i>2 Family D.U. is the legal use</i>	Proposed Use: Multi-family w/3rd fl. Addition <i>2 family only No change in use permitted</i>	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R4 Type: SA <i>BOCA 1999 JMB 7/9/03</i>	

Proposed Project Description:
Construct 3rd fl. Addition to include balcony, bedrm and bathrm

Signature: _____ Date: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jmy	Date Applied For: 09/03/2002	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/8/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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PERMIT ISSUED
JUL 09 2003
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02-1001

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

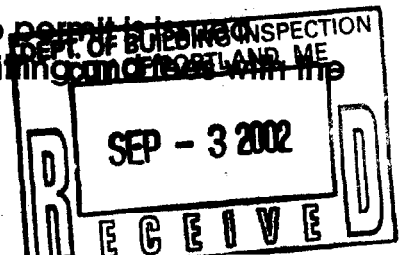
Location/Address of Construction: 44 WALNUT STREET PORTLAND, ME. 04101		
Total Square Footage of Proposed Structure 578	Square Footage of Lot 3456	
Tax Assessor's Chart, Block & Lot Chart# 15 Block# E Lot# 7	Owner: Catherine Susan Link	Telephone: 772-9051
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: same as owner Catherine Susan Link	Cost Of Work: \$ 30,000 Fee: \$ 233,
Current use: multi-family (2) units		
If the location is currently vacant, what was prior use: <input checked="" type="checkbox"/>		
Approximately how long has it been vacant: <input checked="" type="checkbox"/>		
Proposed use: ADD TO 2ND UNIT, Homeowner living space		
Project description: Addition to owner residence -> Balcony, Bedroom, Bathroom 3rd floor New structure same footprint		
Contractor's name, address & telephone: Randy Cloutier 44 Walnut Portland, Me. #(207)541-1932		
Who should we contact when the permit is ready: Catherine Susan Link 772-9051		
Mailing address: PO Box 16002 Portland, Me. 04101 Call page 741-1021		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-9051		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

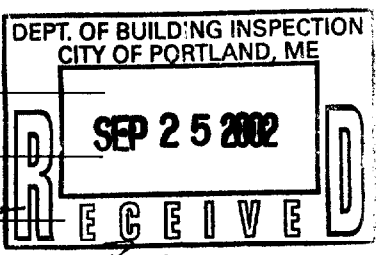
Signature of applicant: Cath S. Link	Date: 9/2/02
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and must with the Planning Department on the 4th floor of City Hall



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 WALNUT STREET PORTLAND, ME. 04101</u>		
Total Square Footage of Proposed Structure <u>578</u>	Square Footage of Lot <u>3456</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>15</u> Block# <u>E</u> Lot# <u>7</u>	Owner: <u>CATHERINE SUSAN LINK</u>	Telephone: <u>772-9051</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>same as owner</u> <u>Catherine Susan Link</u>	Cost Of Work: \$ <u>30,000</u> Fee: \$ <u>233</u>
Current use: <u>multi-family (2) units (2) family</u>		
If the location is currently vacant, what was prior use: <u>φ</u>		
Approximately how long has it been vacant: <u>φ</u>		
Proposed use: <u>ADD TO 2ND UNIT, HOME OWNER LIVING SPACE</u> Project description: <u>ADDITION TO OWNER RESIDENCE -> BALCONY, BEDROOM, BATHROOM</u> <u>NEW STRUCTURE SAME FOOTPRINT</u>		
Contractor's name, address & telephone: <u>Randy Cloutier 44 Walnut Portland, Me.</u> <u>#(207)541-1932</u>		
Who should we contact when the permit is ready: <u>Catherine Susan Link 772-9051</u>		
Mailing address: <u>PO Box 16002</u> <u>Portland, Me. 04101</u> <u>Phone 741-1021</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>772-9051</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Cth S Link</u>	Date: <u>9/2/02</u>
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1001	Date Applied For: 09/03/2002	CBL: 015 E007001
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Location of Construction: 44 Walnut St	Owner Name: Link C Susan	Owner Address: 44 Walnut St	Phone: 207-772-9051
Business Name:	Contractor Name: Cloutier, Randy	Contractor Address: 44 Walnut St. Portland	Phone: (207) 541-1932
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: two family w/3rd fl. Addition	Proposed Project Description: Construct 3rd fl. Addition to include balcony, bedrm and bathrm - NO KITCHEN FACILITIES ALLOWED
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/08/2002

Note: 9/13/02 This appears to be another dwelling unit - there is a new sink and counter space. See letter written to owner that requires more information and clarification. **Ok to Issue:**

9/25/02 submitted revised plans showing the kitchen facilities removed.

- 1) Note site plan exemption granted on 6/25/03
- 2) The third floor SHALL NOT be pre-wired or pre-plumbed for any future new units. This area SHALL be considered part of the 2nd floor only. It SHALL NOT be rented out separately from the 2nd floor unit. *Ban sink allowed JB*
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/09/2003

Note: 10/17/02 Spoke to Susan Link to verify information. The orientation of the building needs to be specified accurately. **Ok to Issue:**

The abutting building is within 5' . No fire separation is specified. Verified that the front 16' of attic roof line will remain the original pitch, no walls built.

- 1) The side windows on the balcony must be more than 3' from the property line to not require fire rating. The balcony doors do not have to be fire rated
- 2) Design specs on the operable 1 hour fire rated windows must be submitted to this office
- 3) Design load specs of the roof trusses must be submitted to this office
- 4) This permit was reviewed as Use Group R-4 using the ICC 1998 Code, which requires a 1 hour fire rating for up to 3ft. Of distance to the property line for 1& 2 family dwellings. The new dormer wall on the left side must be a 1 hour assembly with all windows rated 1hour.
- 5) Separate permits are required for any electrical or plumbing work.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

CHAPTER 3 BUILDING PLANNING

SECTION 301 DESIGN CRITERIA

301.1 Design. Buildings and structures, and all parts thereof, shall be constructed to support safely all loads, including dead loads. When a building of otherwise conventional construction contains nonconventional structural elements, those elements shall be designed in accordance with accepted engineering practice.

301.2 Climatic and geographic design criteria. Buildings shall be constructed in accordance with the provisions of this code using the design criteria set forth in Tables 301.2(1) and 301.2(2). These criteria shall be established by the jurisdiction based solely or in part on the climatic and geographic conditions set forth in Figures 301.2(1) through 301.2(8).

301.3 Dead load. The actual weights of materials and construction shall be used for determining dead load with consideration of the dead load of fixed service equipment.

301.4 Live load. The minimum uniformly distributed live load shall be as provided in Table 301.4.

**TABLE 301.4
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(in pounds per square foot unless noted otherwise)**

USE	LIVE LOAD
	60
	40
	40
	50
	10
	20
	40
	30
	40
Stairs ^a	200

^a1 kg, 1 pound per square foot = 47.88 Pa,
1 square foot = 0.0929 m².

shall be capable of supporting a 2,000-pound load over an area of 4 square inches.

shall be designed in accordance with Section 301.1.

shall be designed for the uniformly distributed live load of 40 pounds per square foot acting over an area of 4 square inches, in any direction.

shall be designed in accordance with Section 301.1.

301.5 Roof load. Roofs shall be designed for the live load indicated in Table 301.5 or the snow load indicated in Table 301.2(1), whichever is greater.

**TABLE 301.5
MINIMUM ROOF LIVE LOADS IN POUNDS-FORCE PER
SQUARE FOOT OF HORIZONTAL PROJECTION**

ROOF SLOPE	TRIBUTARY LOADED AREA IN SQUARE FOOT FOR ANY STRUCTURAL MEMBER		
	0 to 200	201 to 600	Over 600
Flat or rise less than 4 inches per foot (1:3)	20	16	12
Rise 4 inches per foot (1:3) to less than 12 inches per foot (1:1)	16	14	12
Rise 12 inches per foot (1:1) and greater	12	12	12

For SI: 1 inch per foot = 83.33 mm/m, 1 square foot = 0.0929 m²,
1 pound per square foot = 47.88 Pa.

301.6 Deflection. The allowable deflection of any structural member under the live load listed in Sections 301.4 and 301.5 shall not exceed the values in Table 301.6.

**TABLE 301.6
ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS**

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
Rafters having slopes greater than 3:12 with no finished ceiling attached to rafters	L/180
Interior walls and partitions	H/180
Floors and plastered ceilings	L/360
All other structural members	L/240

L = Span length
H = Span height

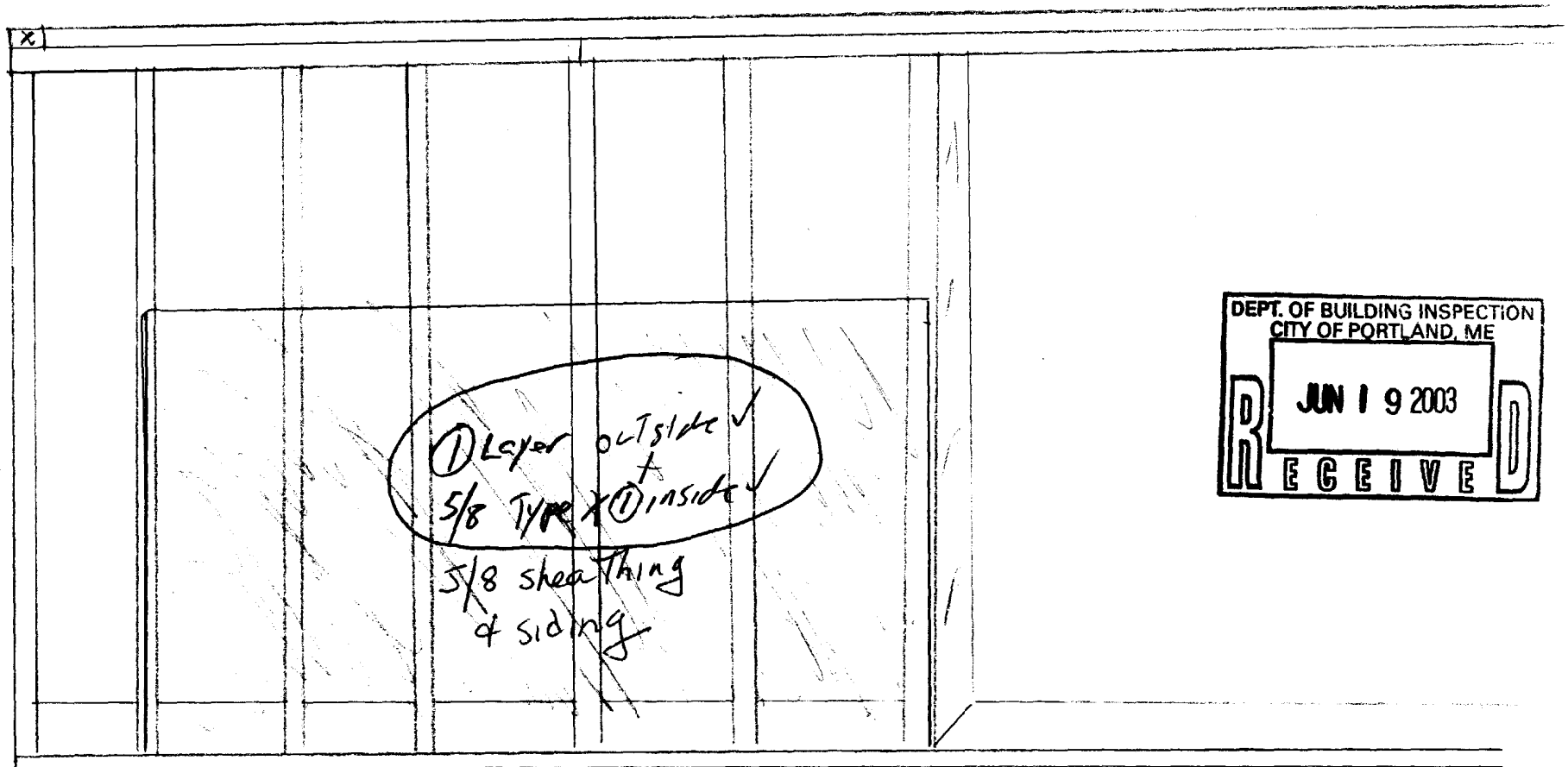
SECTION 302 LOCATION ON LOT

302.1 Exterior walls. Exterior walls located less than 3 feet (914 mm) from property lines shall have not less than a one-hour fire-resistive rating. The fire-resistive rating of exterior walls located less than 3 feet (914 mm) from property lines shall be rated for exposure from both sides. Projections beyond the exterior wall shall not extend more than 12 inches (305 mm) into areas where openings are prohibited.

302.2 Openings. Openings shall not be permitted in exterior walls of dwellings located less than 3 feet (914 mm) from the property line. This distance shall be measured perpendicular to the vertical plane of the wall.

east wall

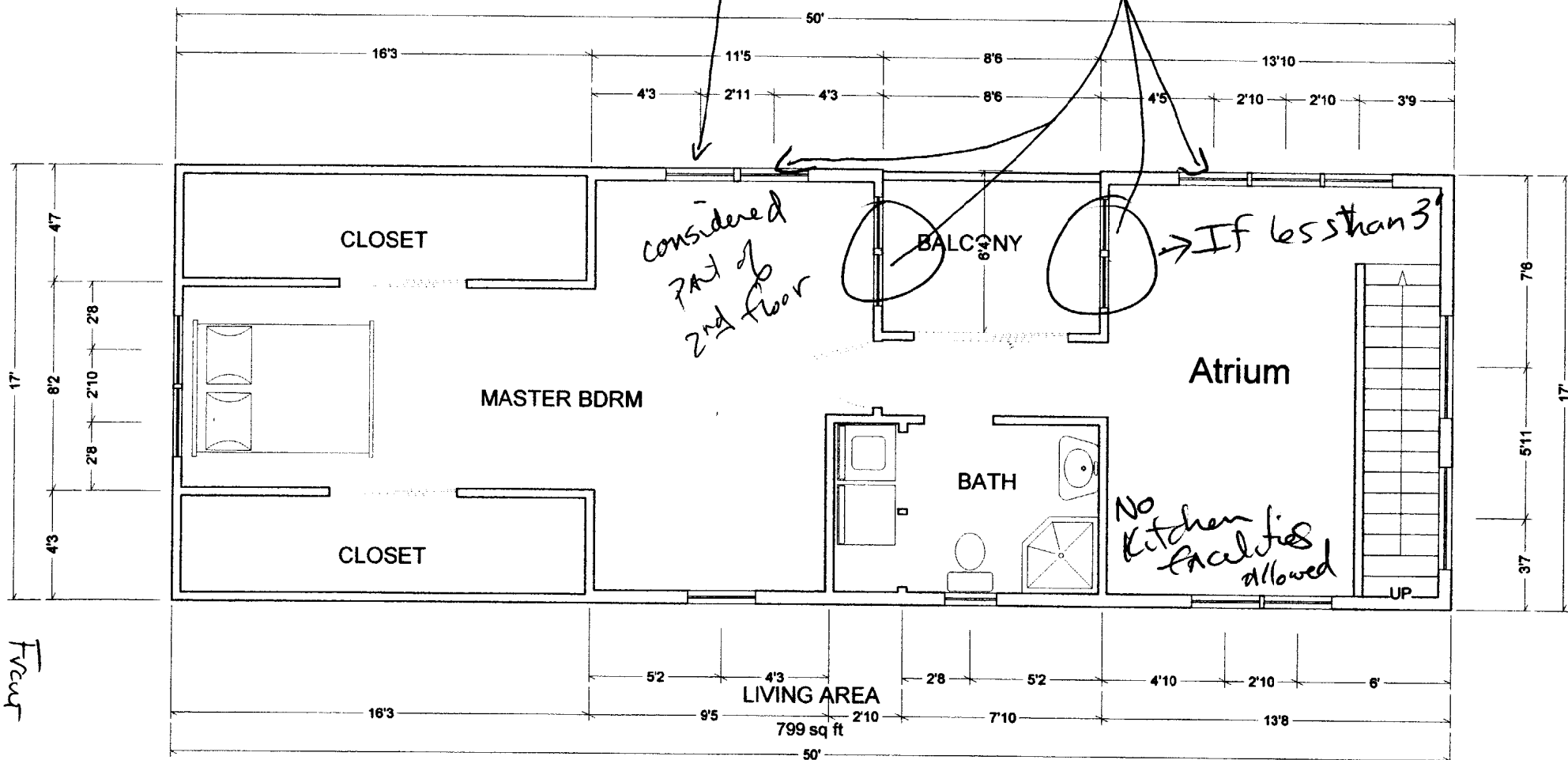
O. Susan Link
44 Walnut St



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 19 2003
RECEIVED

↑ 2x6

~~Possibly 3/4 hr rating~~ 1 hr. Fire Rating



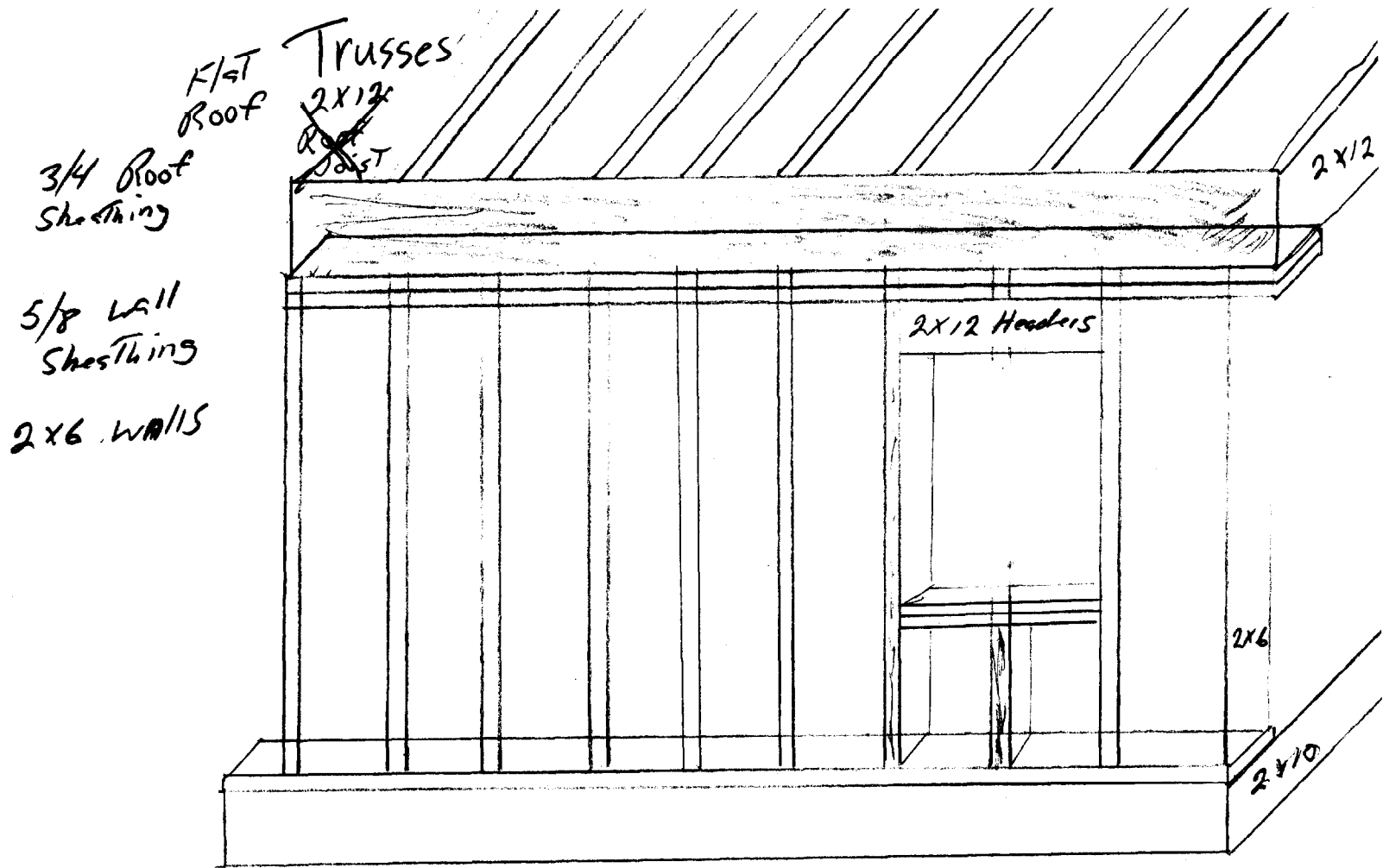
Front
(Walnut Street)

Rear

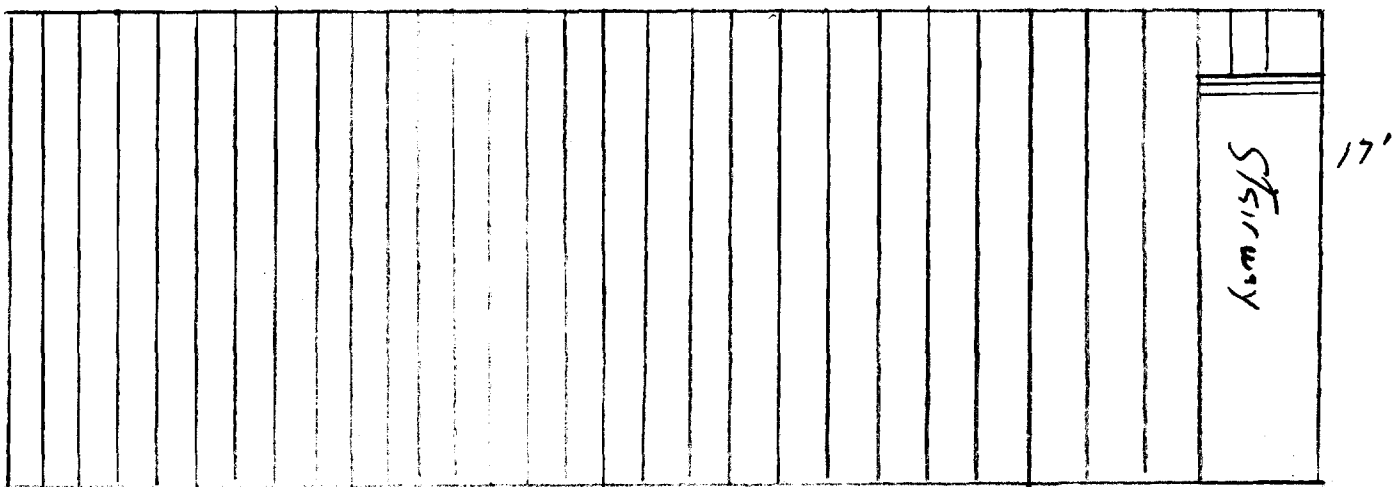
44 Walnut st. 09/25/02

new third floor plan





34'



~~2x10~~ Floor Joist 16" OC



* NEEDS 2x12 Floor Joist @ 16" O.C.
 OR
 2x10 @ 12" O.C.

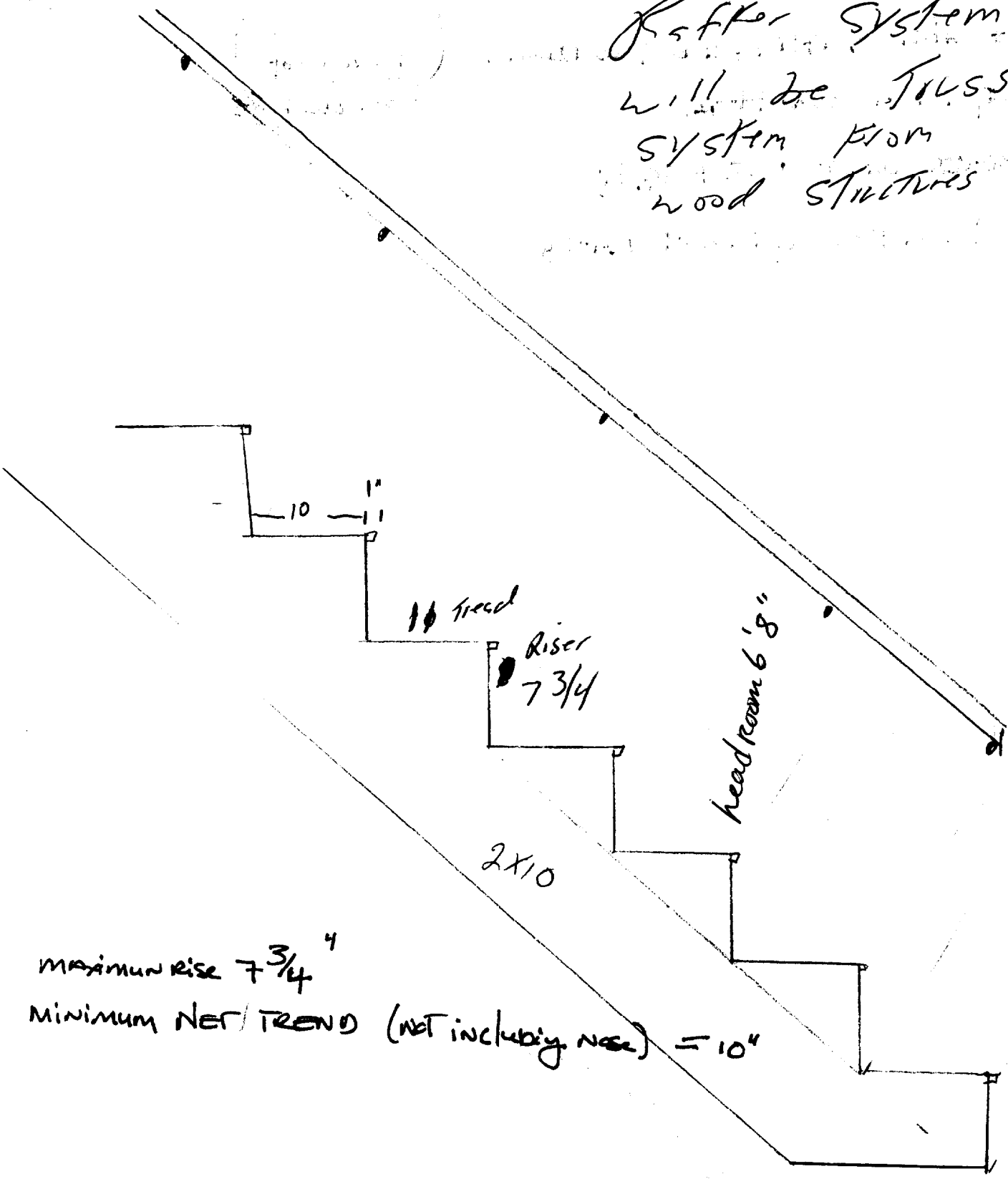
44 Walnut

max span is 15'5"

S. Link

STAWC

Rafter system
will be TRUSS
system from
wood structures inc

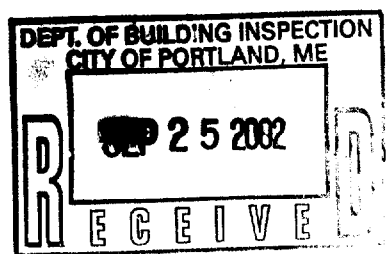


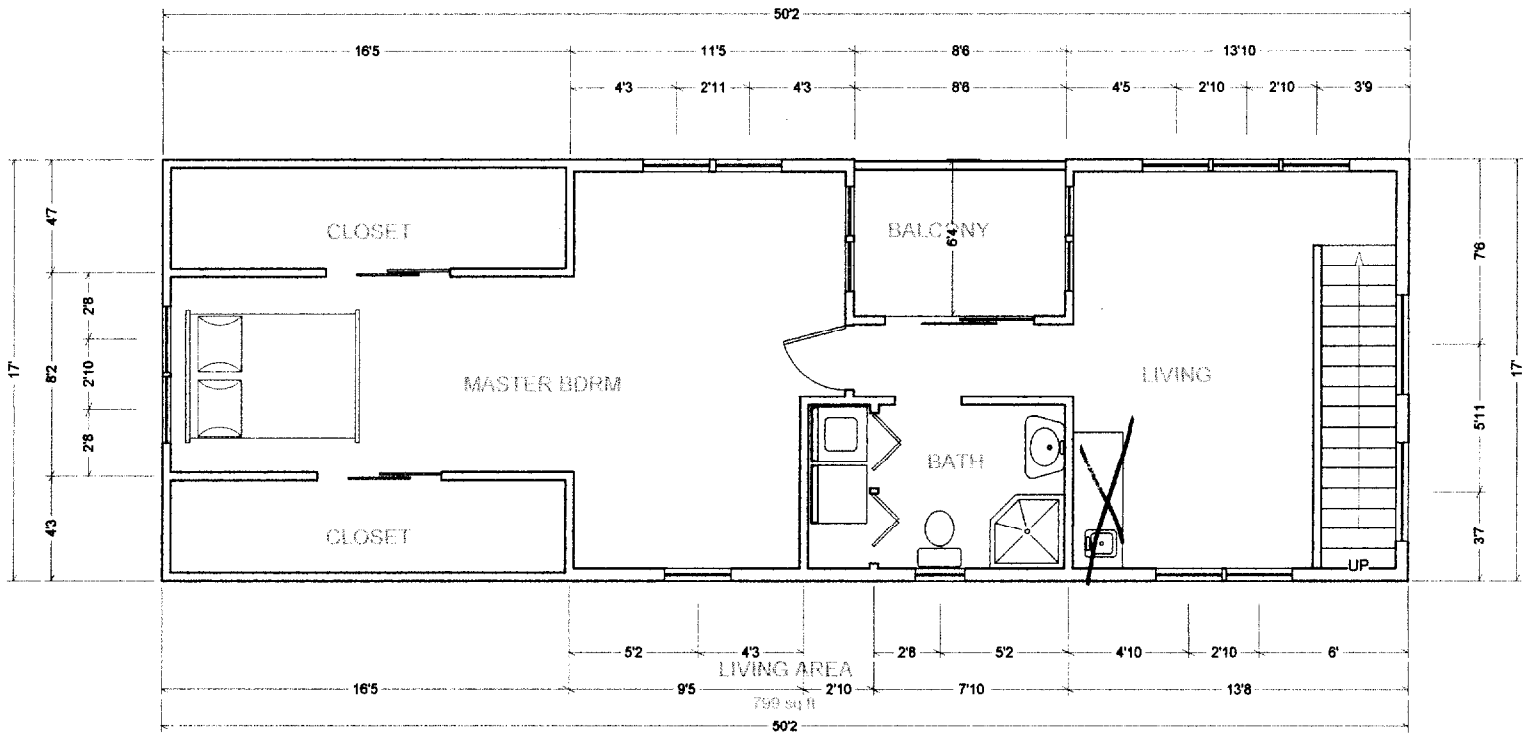
maximum rise $7 \frac{3}{4}''$

minimum NET/TREND (NET including nose) = $10''$

015-E-007

44
walnut
S. Link





44 walnut Street
 Portland, Me. 04101

Caroline Susan Link

Sept. 1, 2002

Windows 1-14 32" x 55" vinyl DH

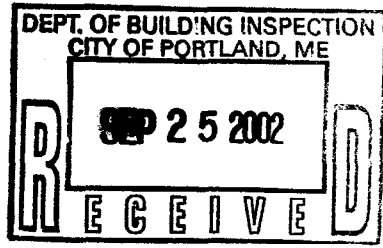
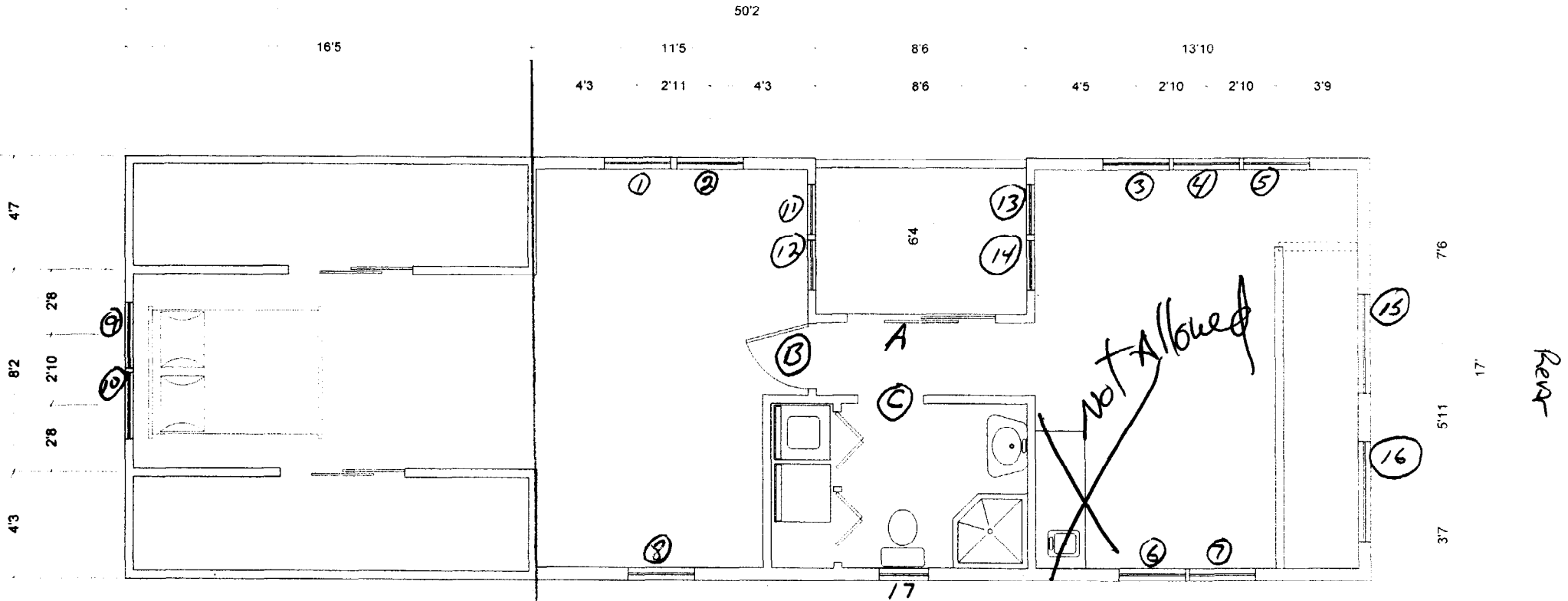
15-16 48" x 36" Awning

17 24" Octagon

ext. Doors

A. 6-0 x 6-8 Slider

int. B-C 2-8 x 6-8 Hinged



44 W. Linn St
Link
9/02

windows 1-14 32"x55" vinyl DH

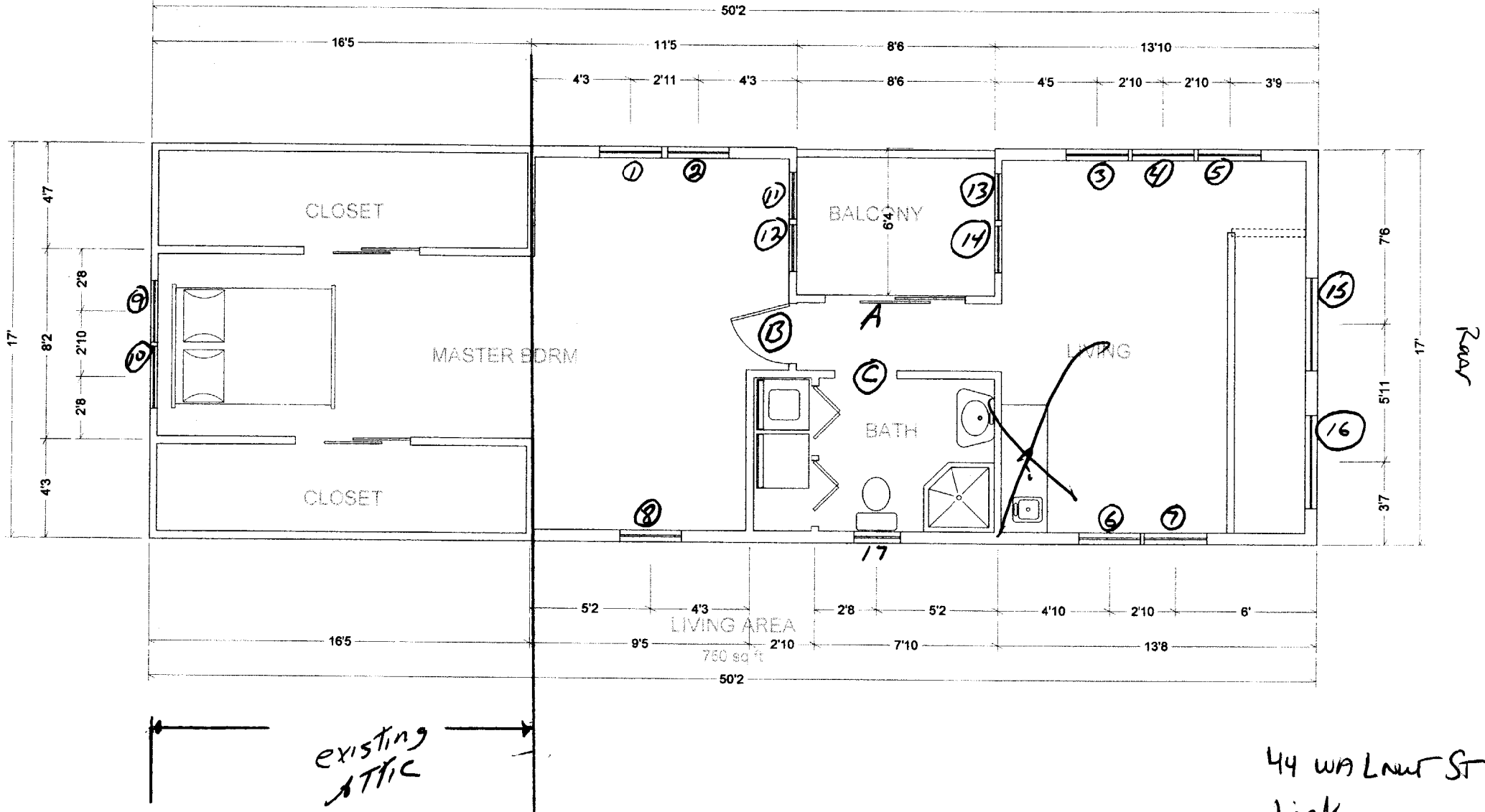
#15-16 48"x36" Awning

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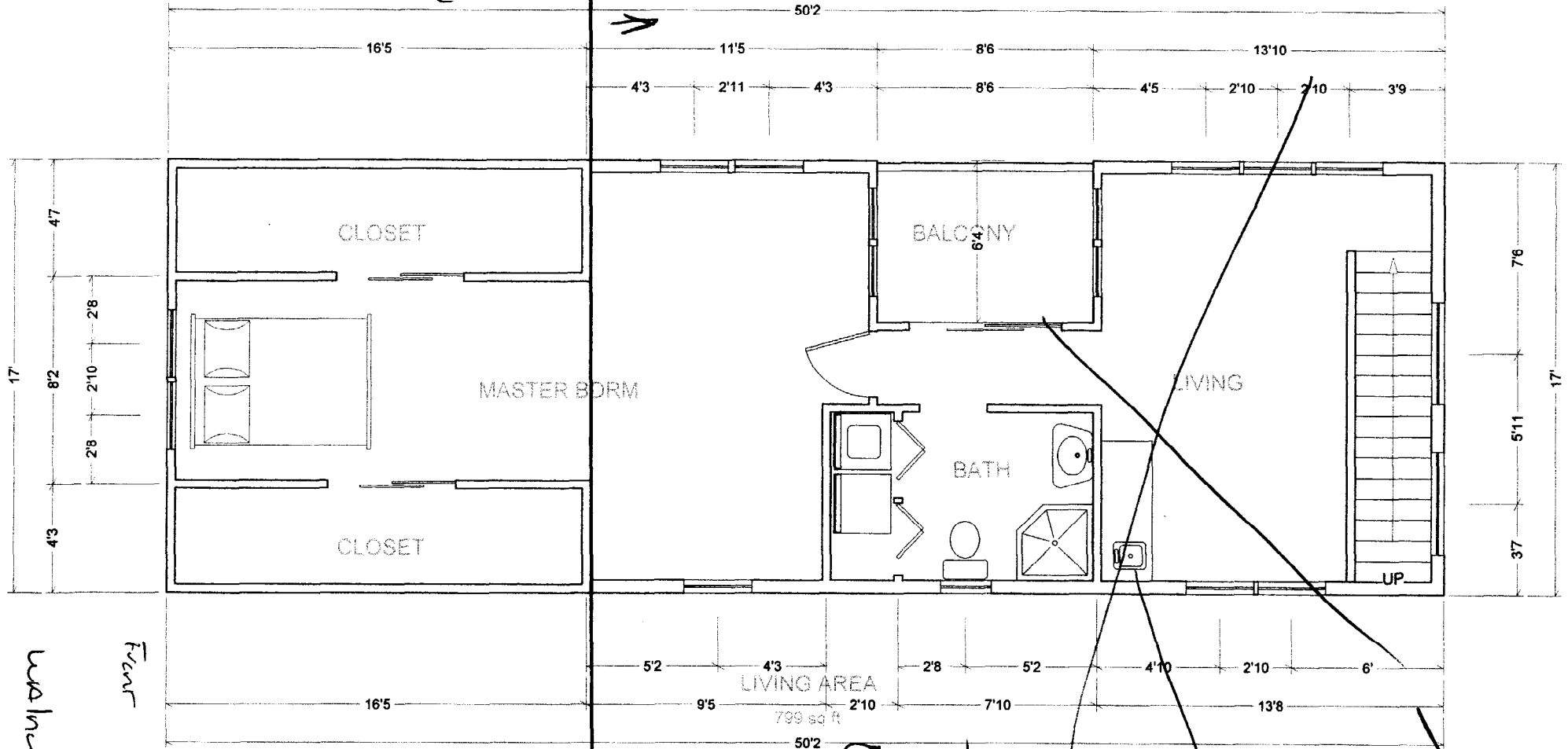


existing
ATTIC

44 WA L NEW ST
LINK
9/02

Catherine S. Link
44 WALNUT ST
September 1, 2002

old const. → NEW CONST. 34'



Walnut
Front

REAR

50 x 17 = 850
850 x 80 = 68000
MAX include
17 x 34 = 578

removed
see revised
plans dated



FYRE-TEC™ FIRE RATED WINDOWS

- U.L. Classified 3/4 hr. and 1 hr. Fire Protection
- Field-Proven Dependability
- Non-Industrial Appearance
- Matching Prime Windows Available
- Meets C30 Performance Requirements

The Fyre-Tec™ window is a clean, precisely designed steel Horizontal Slide, Single Hung or Fixed Lite window, having a 3/4 hour U.L. classified rating. The Series 950 Fixed Lite window is also available with a 1 hour fire rating. Construction is roll formed steel sections with welded corners which result in an exceptionally strong and long-lasting window.

All Fyre-Tec™ fire window frames are Listed by Underwriters Laboratories under the category of Door and Window Frames (GVTV). The standard used to evaluate the windows is UL 9, Fire Tests of Window Assemblies, which is a test standard which includes the test method described in ASTM E163, Standard Methods of Fire Tests Of Window Assemblies.

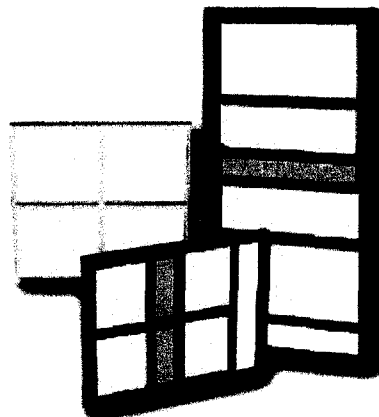
The Fyre-Tec™ window is the preferred design when steel fire windows are specified in building code requirements.

Automatic heat closure devices are standard for all operating windows. Operating windows may also be equipped with an ETL (Electrical Thermal Lock) mechanism or a resettable device which may be activated by a fire or smoke alarm, computer or other electrical signal. They provide even greater building and occupant safety.

Fyre-Tec™ windows are also ideal as replacement windows for older buildings that are required to meet up-dated code stipulations. They are aesthetically compatible with all types of architecture and with adjacent windows and doors in the building. For replacement or new construction the field-proven steel Fire Window is Fyre-Tec™.

Sub-frame mounting or fin system mounting kits are supplied with all windows. The sub-frame mounting system is ideal for either retrofit or new construction. The window openings may be finished out prior to the installation of the provided sub-frame and window. The fin system is designed to allow installation of the window into the construction framing and subsequent trimming to the window.

Fyre-Tec™ windows accommodate 1/4 " classified fire rated glazing material that has a 3/4 hour fire-resistant rating. A 1 hour rating is



Slider

Single Hung

Fixed Lite

Installation

Fin

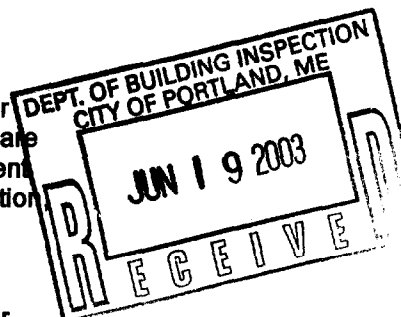
Slider

Single Hung

Fixed Lite



DV Fyre-Tec, Inc.
 701 Centennial Drive
 Wayne, NJ 07797
 PH: 1-800-377-3771
 Local: 1-407-377-3771
 Fax: 1-407-377-4261
fyretec.com/bricks.com



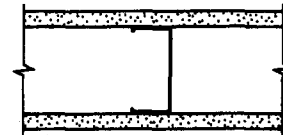
SYSTEM DESCRIPTION

SKETCH AND DESIGN DATA

GYPSON WALLBOARD, GLASS MAT GYPSON SUBSTRATE, STEEL STUDS

EXTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate (sheathing) applied parallel or at right angles to 3 5/8" steel studs 24" o.c. with 1" Type S corrosion resistant screws 8" o.c. at vertical studs and 12" o.c. at perimeter runners. Joints caulked with flexible, non-hardening building sealant or covered with weather exposed cladding or finish system.

INTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate, glass mat water-resistant gypsum backing board, gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 1" Type S drywall screws 8" o.c. at studs and 12" o.c. at floor and ceiling runners. (NLB)



Thickness: 4 7/8"
 Limiting Height: Subject to design
 Approx. Weight: 6 psf
 Fire Test: CTC 2171-3996, 7-12-90

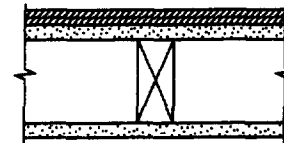
PROPRIETARY GYPSON BOARD

G-P Gypsum - 5/8" Dens-Glass® Gold Fireguard®

GYPSON WALLBOARD, GYPSON SHEATHING, WOOD STUDS

EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs with 1 3/4" galvanized roofing nails, 0.120" shank, 7/16" or 1/2" heads, 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.

INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. (LOAD-BEARING)

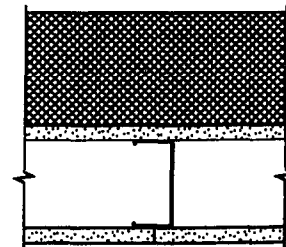


Thickness: Varies
 Approx. Weight: 7 psf
 Fire Test: See WP 3510
 (UL R3501-47, -48, 9-17-65, Design U309; UL R1319-129, 7-22-70, Design U314)

GYPSON WALLBOARD, STEEL STUDS, POLYMER MODIFIED EXTERIOR INSULATION & FINISH SYSTEM

EXTERIOR SIDE: One layer 5/8" proprietary type X gypsum sheathing applied parallel to 3 5/8" 18 gage steel studs 16" o.c. with #6x1 1/4" self-drilling, corrosion resistant, bugle head, drywall screws 8" o.c. at edges and ends and 12" o.c. at intermediate studs. Proprietary polymer modified exterior insulation & finish system applied over sheathing. 2" maximum foam plastic thickness.

INTERIOR SIDE: One layer 5/8" proprietary type X gypsum wallboard applied parallel to studs with #6x1 1/4" self-drilling, bugle head, drywall screws 8" o.c. at edges and ends and 12" o.c. at intermediate studs. (NLB)



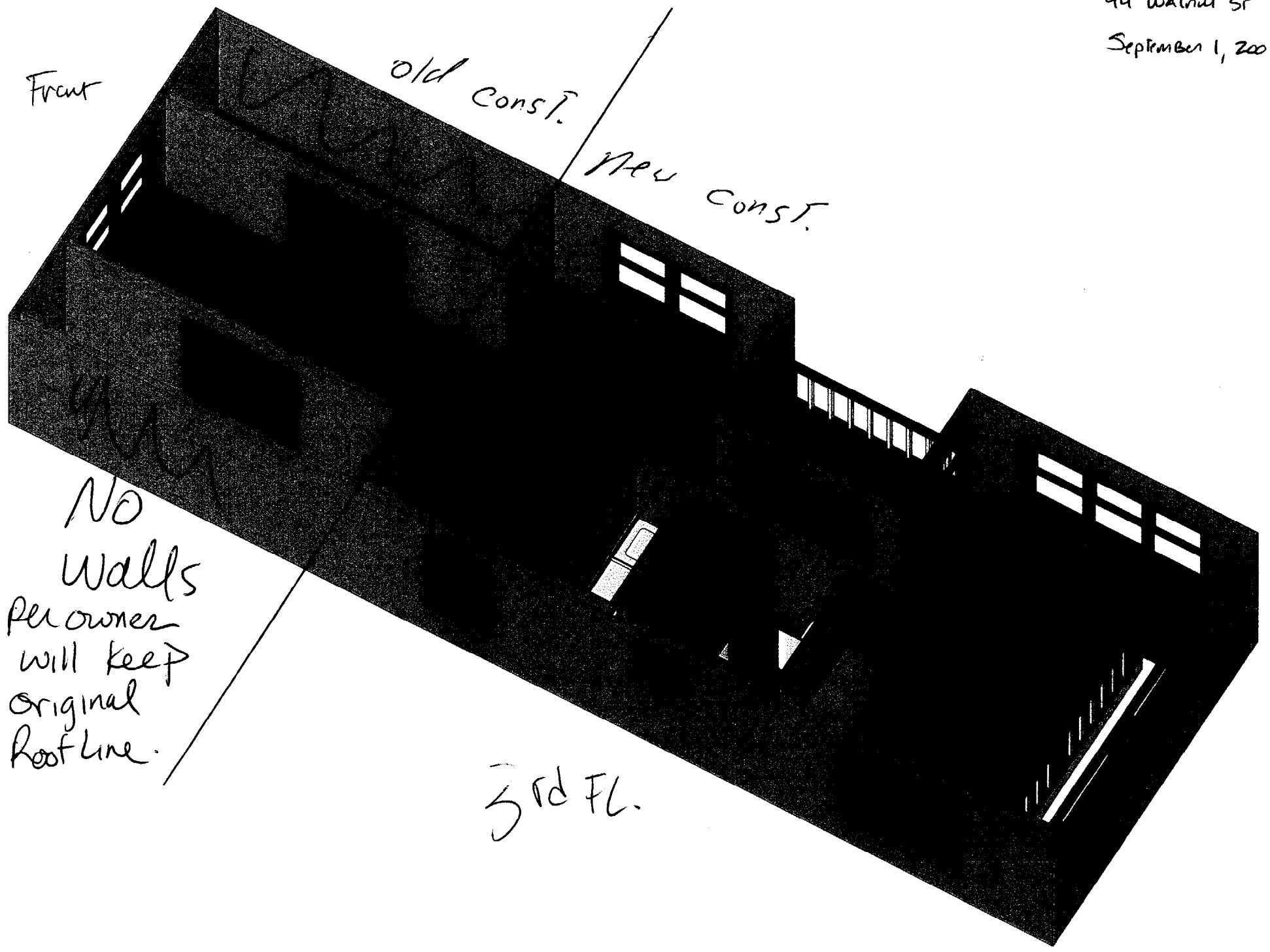
Thickness: 6" - 7" Varies
 Limiting Height: Refer to manufacturer
 Approx. Weight: 7 psf
 Fire Test: SWRI 01-4409-003, 6-5-92

PROPRIETARY GYPSON BOARD

G-P Gypsum - 5/8" GyProc® Fireguard®
 - 5/8" GyProc® Fireguard® Gypsum Sheathing

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CATHERINE SUSAN LINK
44 WALNUT ST
September 1, 2002



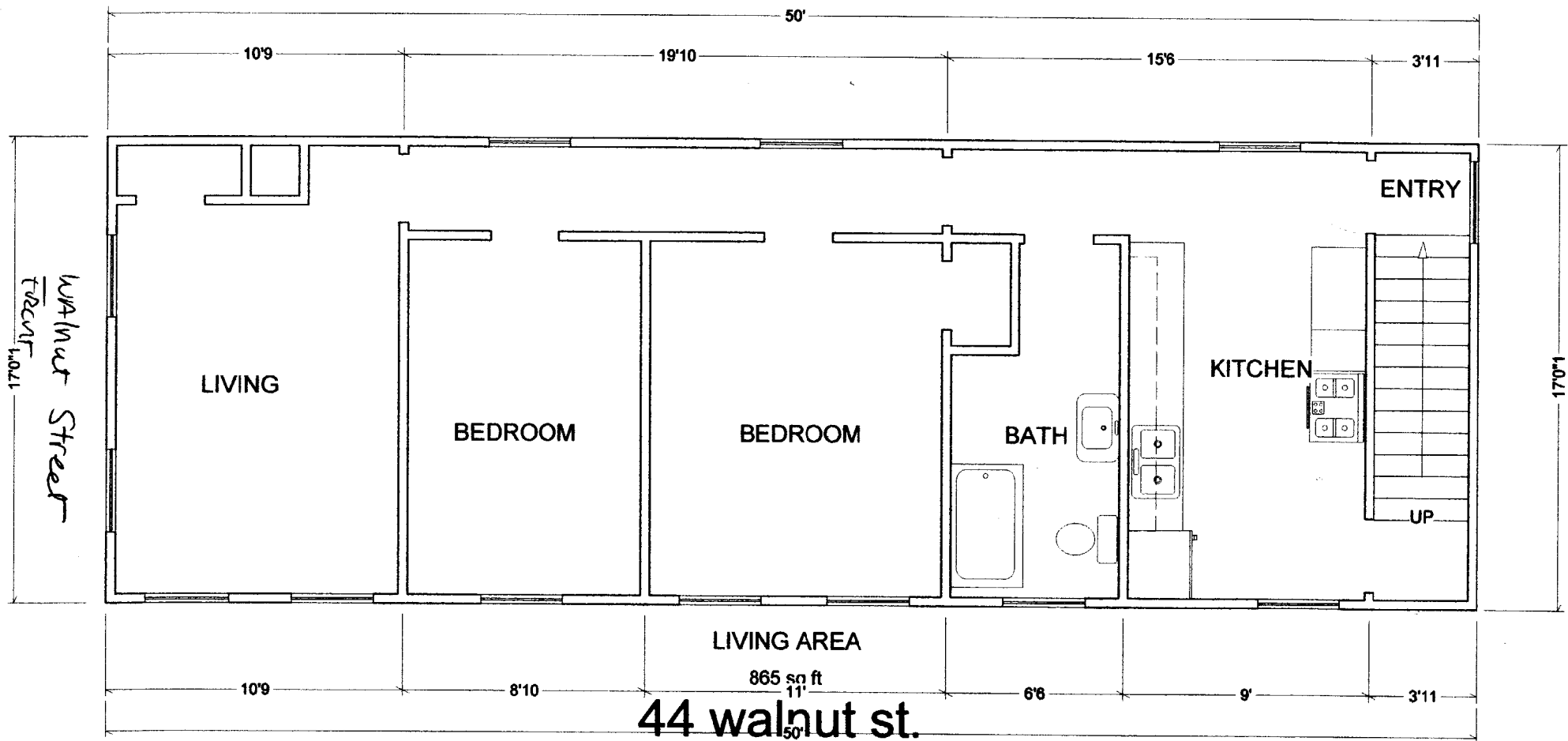
Front

old const.

New const.

No
Walls
per owner
will keep
original
Roofline.

3rd FL.



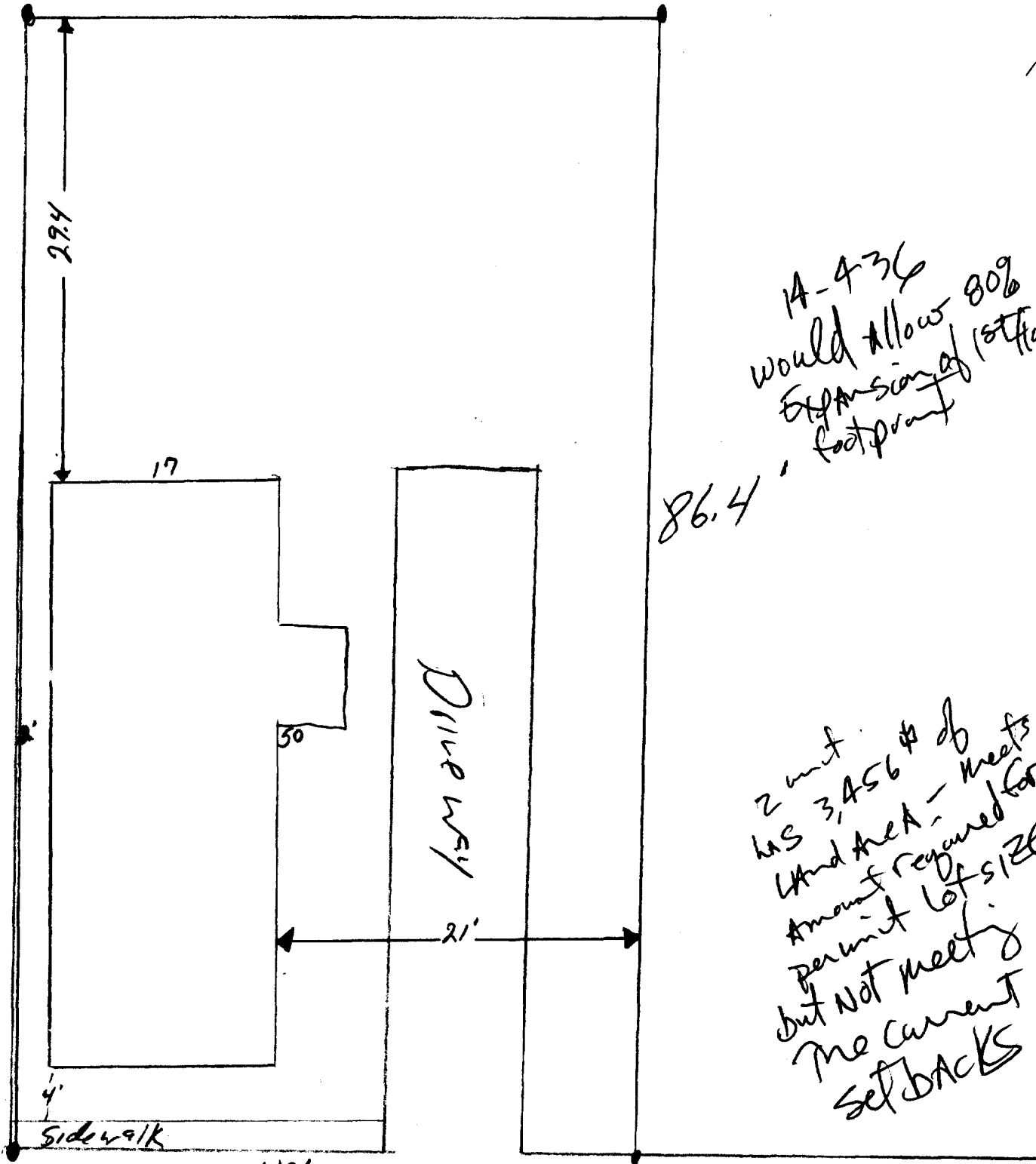
44 walnut st.
second floor footprint

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

SEP 25 2002

R E C E I V E D

Closest Building



14-436 would allow 80% expansion of footprint

86.4'

2 unit has 3,456 sq ft of land area - meets amount required for permit lot size but not meeting the current setbacks

Walnut ST

44 Walnut ST

S. Link

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

September 13, 2002

Susan Link
44 Walnut Street
Portland, ME 04101

RE: 44 Walnut Street – 015-E-007 – R-6 Zone – two existing dwelling units

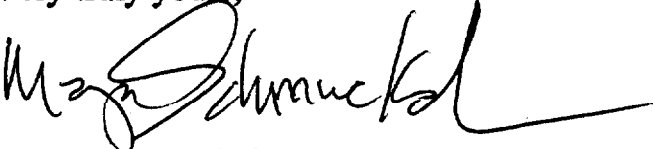
Dear Susan,

I am in receipt of your application to remove 34 feet of the “attic” area and creating a new, full ceiling space. The design submitted shows a sink and counter space. This looks very much like a kitchen. This permit was not asking for a change of use to add another dwelling unit. This office can not permit the addition of any kitchen facilities without a change of use and the meeting of the current zoning ordinance. If this area is to be part of an existing unit, it will be necessary to see the entire unit (all floors) and how they interact.

As I mentioned to you on the phone, we would also require a Planning site plan approval or a Planning site plan exemption prior to the issuance of this permit.

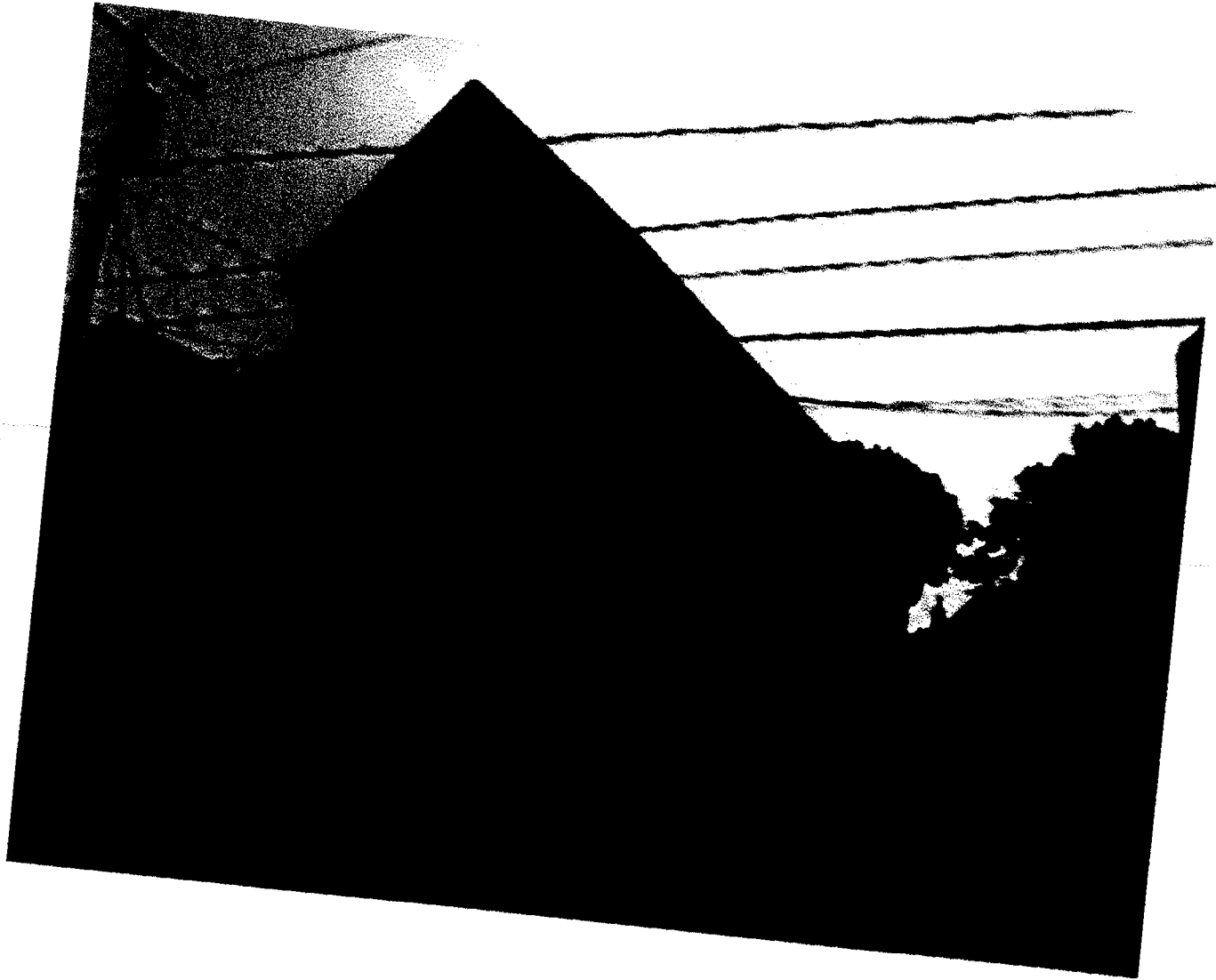
This permit will be on hold unit this office can receive the appropriate information for this new space. If this is a new unit, then all the zoning requirements shall be met prior to approval. If this is an extension of the 2nd floor dwelling unit, then NO kitchen facilities shall be installed and this office requires information showing how these two floors combine into one dwelling unit.

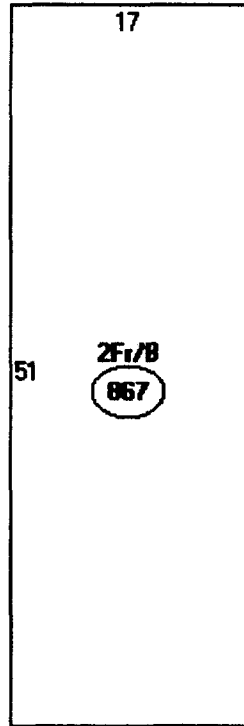
Very truly yours,


Marge Schmuckal
Zoning Administrator

*Received New plans
Stamped 9/25/02*

Cc: file
Randy Cloutier, 44 Walnut St, Portland, ME





Descriptor/Area

A: 2F1/B
867 soft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	015 E007001
Location	44 WALNUT ST
Land Use	TWO FAMILY
Owner Address	LINK C SUSAN 44 WALNUT ST PORTLAND ME 04101
Book/Page	14334/65
Legal	15-E-7 WALNUT ST 44 3456 SF

Valuation Information

Land	Building	Total
\$32,660	\$66,460	\$99,120

Property Information

Year Built 1890	Style Old Style	Story Height 2	Sq. Ft. 1734	Total Acres 0.079		
Bedrooms 5	Full Baths 3	Half Baths	Total Rooms 8	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 11/25/1998	Type LAND + BLDING	Price \$120,000	Book/Page 14334-065
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Picture and Sketch

Picture	Sketch
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[Click here](#) to view Tax Roll Information.

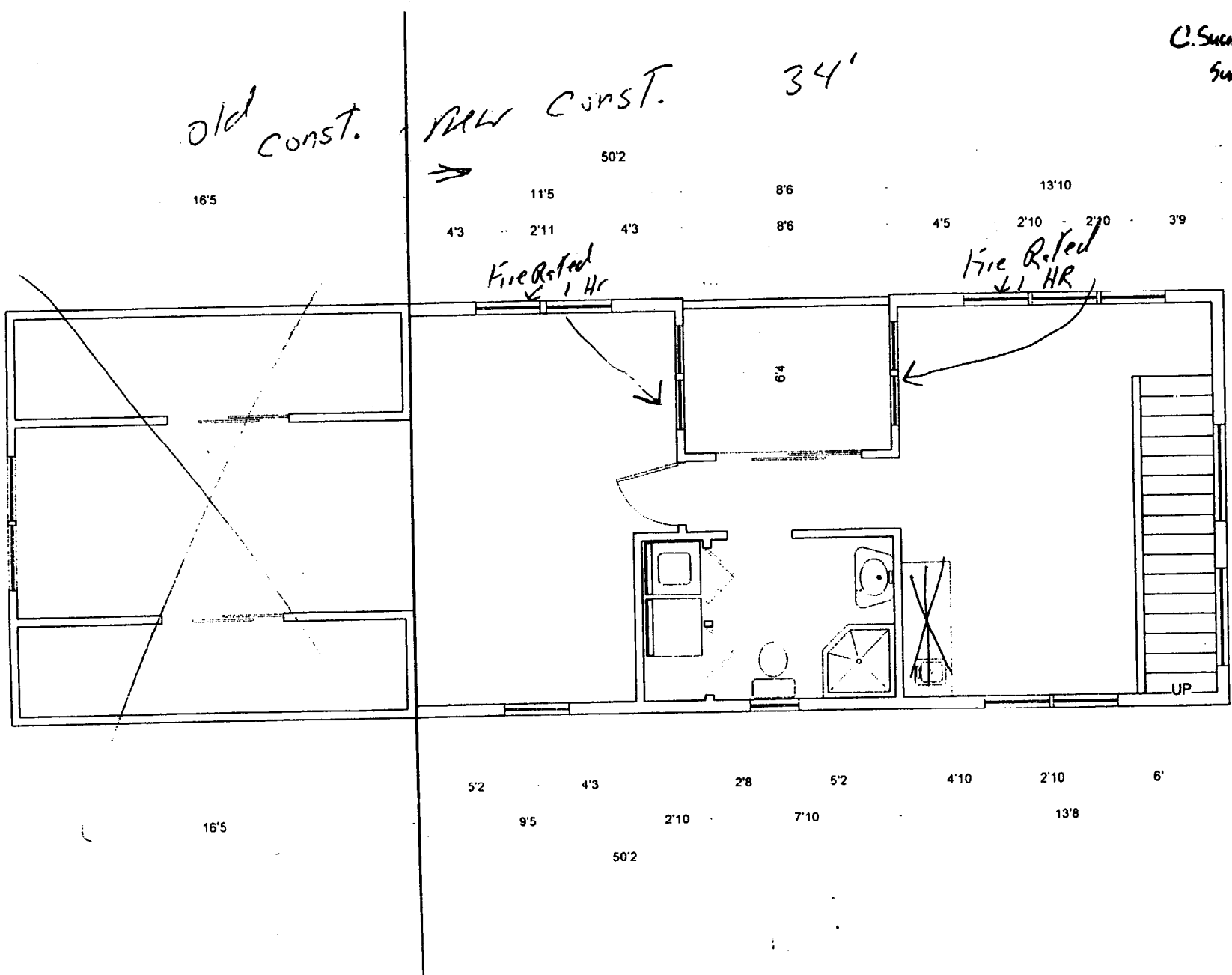
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



44 WALNUT ST
September 1, 2002

C. Susan Lank
Submitted 6/24/03

Old const. → NEW const. 34'



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT ISSUED

Permit Number: 021001

JUL 09 2003

PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that Link C Susan/Cloutier, Ranc

has permission to Construct 3rd fl. Addition to include balcony, bedroom and bath

CITY OF PORTLAND

AT 44 Walnut St L 015 E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or enclosed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jamie Bouke 7/9/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB ~~Pre-construction Meeting~~: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- NA Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of applicant/designee

Date

[Signature]
Signature of Inspections Official

Date

CBL: 15-E-7 Building/Permit #:

02-1001

