



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND BUILDING PERMIT



This is to certify that KEVIN C JOHANNEN

Located At 41 MONTREAL ST

Job ID: 2012-06-4137-ALTR

CBL: 015- E-005-001

has permission to Second Floor Addition for 1 Bedroom & Office Space

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Jeff Levine

Job ID: 2012-06-4137-ALTR

Located At: 41 MONTREAL ST

CBL: 015- E-005-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted including the revised plans received 8/6/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being approved using section 14-436(b). The first floor footprint is 1059 sf. The floor area being added is 488 sf. The increase in floor area is 46% (488/1059).

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
3. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
4. The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.

Fire

All construction shall comply with City Code Chapter 10.

A separate no fee One- or Two-family Fire Sprinkler Permit is required.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Plans indicate the addition will not exceed 50 % of the total completed structure.

Contractor states renovation of the existing structure plus addition will not exceed 50% of the completed structure.

Capt. Pirone did make it clear to the GC that anytime upon inspection if renovation of the existing structure plus addition does exceed 50% a sprinkler system will be required.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4137-ALTR	Date Applied: 6/1/2012	CBL: 015- E-005-001	
Location of Construction: 41 MONTREAL ST	Owner Name: KEVIN C JOHANNEN	Owner Address: 41 MONTREAL ST PORTLAND, ME 04101	Phone: 207-780-1004
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-6
Past Use: Single family	Proposed Use: Same - single family - 2nd floor addition over existing 1 st floor	Cost of Work: 30000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt Perini</i>	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i> <i>INC 09</i> Signature: <i>[Signature]</i>
Proposed Project Description: Second Floor Addition		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews

- ☐ Shoreland
☐ Wetlands
☐ Flood Zone
☐ Subdivision
☐ Site Plan
- using section 14-456 (b). adding 46% increase in floor area*

___ Maj ___ Min ___ MM

Date: *Orw/condy/lin 8/7/12 ABM***Zoning Appeal**

- ☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Date:

Historic Preservation

- ☒ Not in Dist or Landmark
☐ Does not Require Review
☐ Requires Review
☐ Approved
☐ Approved w/Conditions
☐ Denied

Date:

*ABM***CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

Ps

2012-06-4137



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>41 Montreal St.</u>			
Total Square Footage of Proposed Structure/Area <u>288 SF</u>		Square Footage of Lot <u>2500 SF</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>15</u> Block# <u>E</u> Lot# <u>5</u>		Applicant: (must be owner, lessee or buyer) Name <u>Kevin C. Johannen</u> Address <u>41 Montreal St.</u> City, State & Zip <u>Portland, ME 04101</u>	
Lessee/DBA		Owner: (if different from applicant) Name Address City, State & Zip	Telephone: <u>780-1004</u> Cost of Work: <u>\$39,000</u> C of O Fee: \$ Historic Review: \$ Planning Admin.: <u>\$320</u> Total Fee: \$
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? If yes, please name Project description: <u>Second floor addition to create 1 bedroom</u>			
Contractor's name: <u>James Masciovecchio</u>		Email: <u>207-653-4528</u>	
Address: <u>207-653-4528</u>		Telephone: <u>780-1004</u>	
City, State & Zip: <u>Portland 04101</u>		Telephone: <u>780-1004</u>	
Who should we contact when the permit is ready: <u>Kevin Johannen</u>		Telephone: <u>780-1004</u>	
Mailing address: <u>41 Montreal St., Portland 04101</u>			

RECEIVED
JUN 11 2012
Dept. of Building Inspections
City of Portland Maine

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Kevin Johannen

Date: 6-1-2012

This is not a permit; you may not commence ANY work until the permit is issued

From: Kevin Johannen <kjohannen@iknow.net>
To: <amachado@portlandmaine.gov>
Date: 7/11/2012 11:21 AM
Subject: 41 Montreal St. addition - plan revision
Attachments: 41-Montreal-revision-2012.07.10.pdf

Hi Anne,

We spoke on the phone several weeks ago about a proposed second-story addition to my single-family home at 41 Montreal St. You explained to me that since the property is subject to Section 14-436(b), that "the additional floor area shall be created by raising the existing roof configuration..." and suggested that I submit a revised plan with the proposed roof ridgeline running in the same direction as the current single-story roof. I have attached a plan for this proposal. It is not finalized yet, but we wanted to run it by you to make sure that we were now conforming to the zoning ordinance, including the 80% determination.

I would appreciate it if you could give me a call after you have had a chance to review the revised plan.

My phone#s are:

780-1004 (home)
775-2278 (work)

Thank you for your assistance,

-Kevin Johannen

--
Kevin Johannen
iKnow
142 High St. #601 B
Portland, ME 04101

(207) 775-2278
<http://iknowwebdesign.com>

7/11/12 ~~to Kevin~~

Spoke to Kevin - new forward
w/ revised plan

RECEIVED

JUL 11 2012

Dept. of Building Inspections
City of Portland Maine

R-10

lot size - 2500.

land acquisition - 1000 ft² (1000 ft²)

front 10' or more

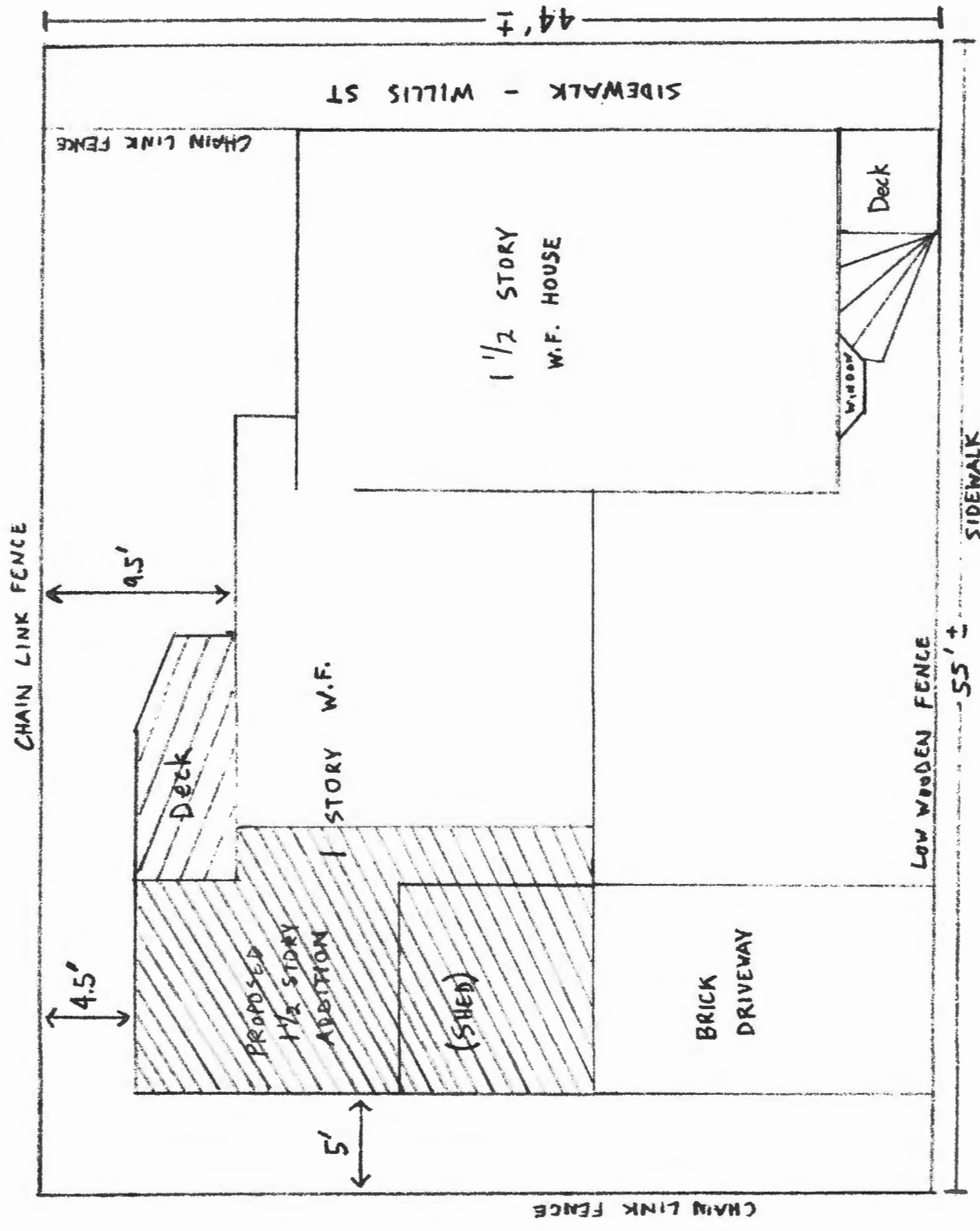
rear - 25' x 5'.

side - 10' - 5' 10'

needs piece section 14-4526(6) - 50%

1st floor finished 10/13/01

adding - 4800 = 462 increase.



PLOT PLAN: 41 MONTREAL ST



Andersen Windows - Abbreviated Quote Report

Project Name: 41 MONTREAL ST



Quote #: 3840

Print Date: 08/28/2012

Quote Date: 08/21/2012

iQ Version: 12.1

Dealer:

Customer:

Billing

Address:

Phone:

Fax:


Contact:

Trade ID:

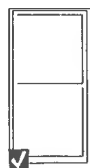
Promotion Code:

Sales Rep: DJH

Created By:

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
	0003	6 TW210410 (AA) <i>Egress</i>		\$ 440.31	\$ 2641.86
RO Size = 3' 0 1/8" W x 5' 0 7/8" H Unit Size = 2' 11 5/8" W x 5' 0 7/8" H					
Unit, Equal Sash, White/Clear Pine, High Performance Low-E4 Glass (Each Sash) (Includes 6 9/16" Factory Applied Clear Pine Complete Unit Extension Jamb)					
Insect Screen, White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Qualified: Yes					

will add this one



0001	6	TW26410 (AA) <i>Not Egress</i>		\$ 422.64	\$ 2535.84
RO Size = 2' 8 1/8" W x 5' 0 7/8" H Unit Size = 2' 7 5/8" W x 5' 0 7/8" H					
Unit, Equal Sash, White/Clear Pine, High Performance Low-E4 Glass (Each Sash) (Includes 6 9/16" Factory Applied Clear Pine Complete Unit Extension Jamb)					
Insect Screen, White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.31, ENERGY STAR® Qualified: Yes					

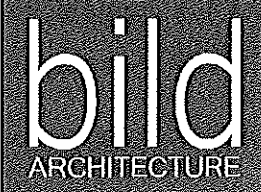
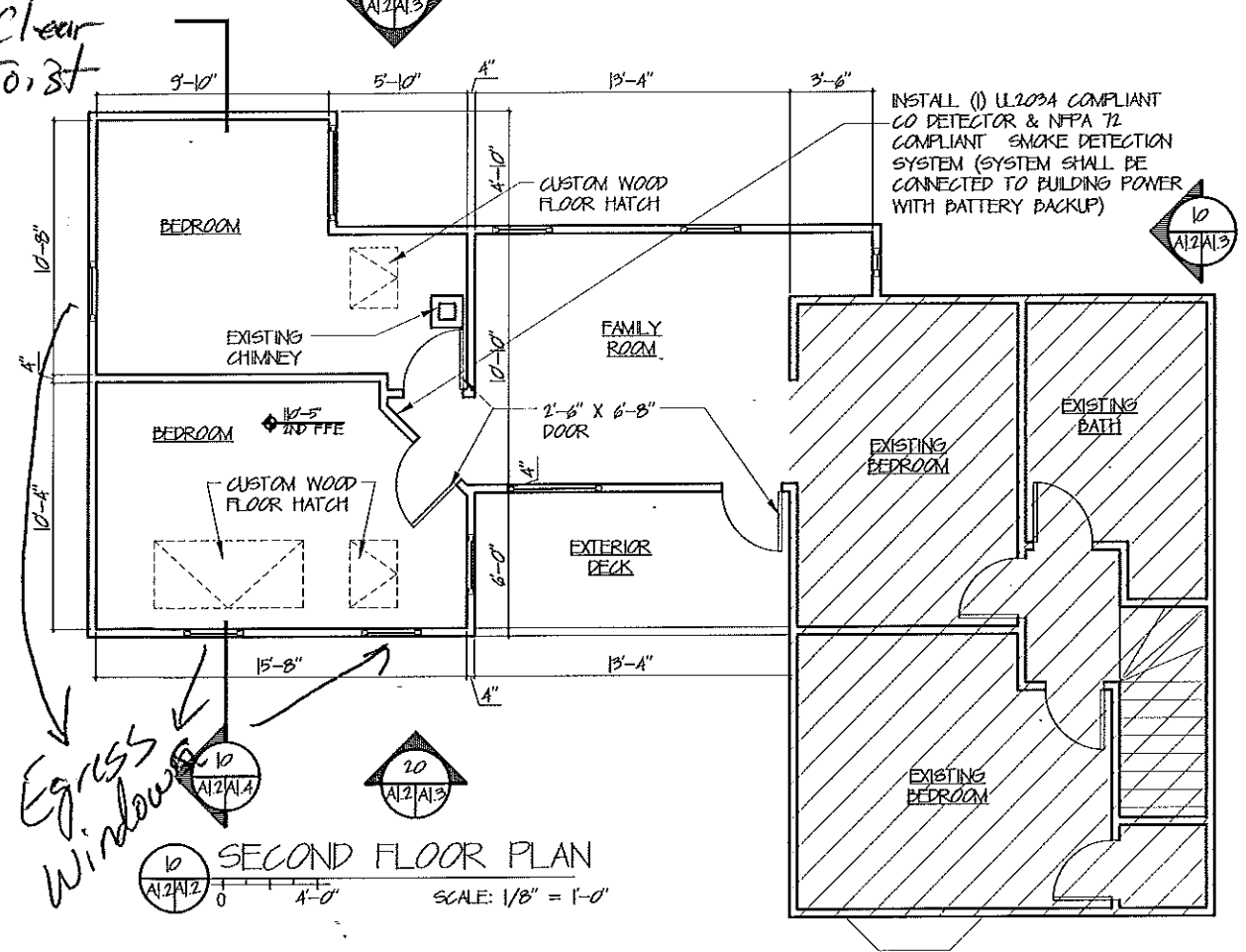
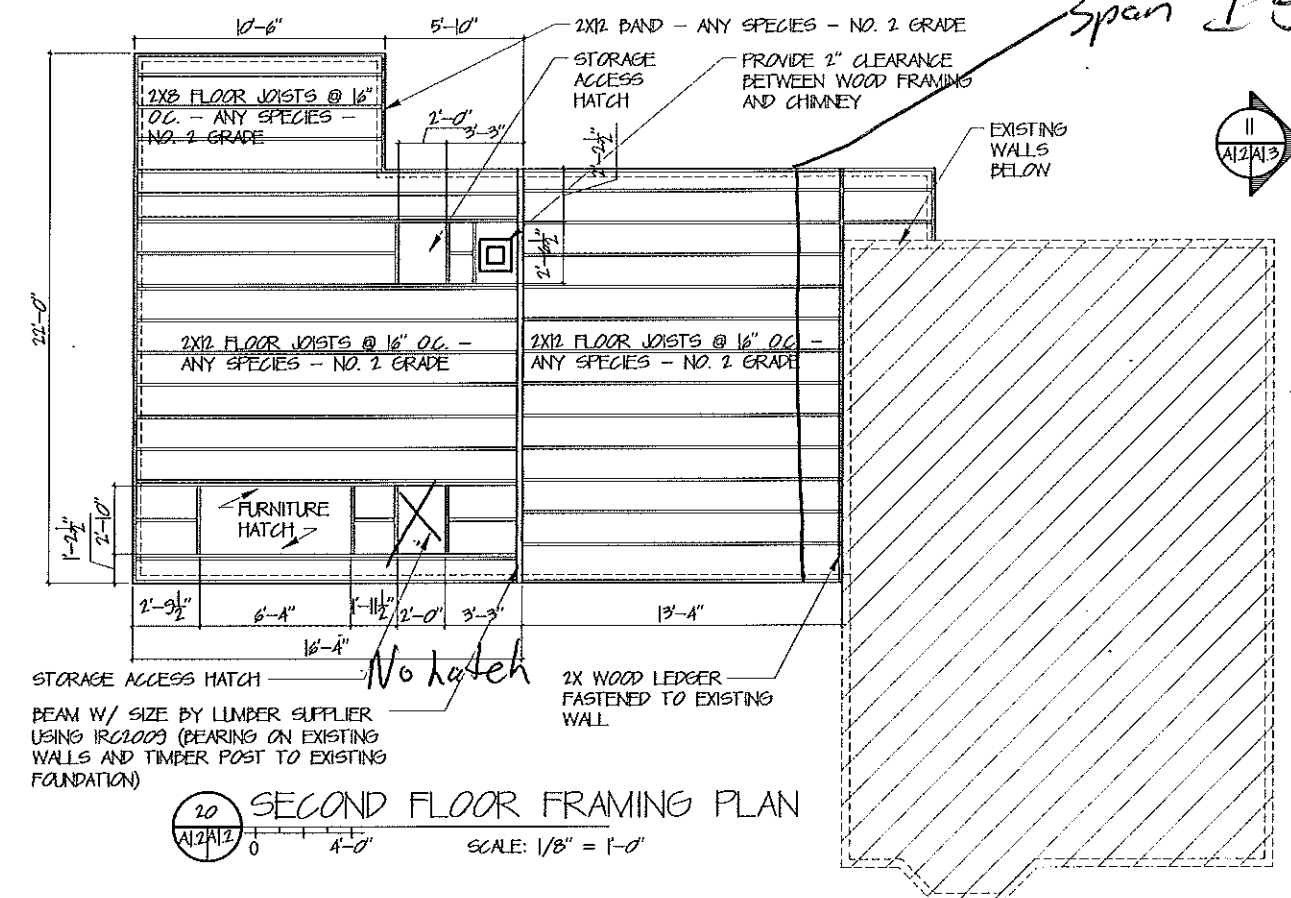
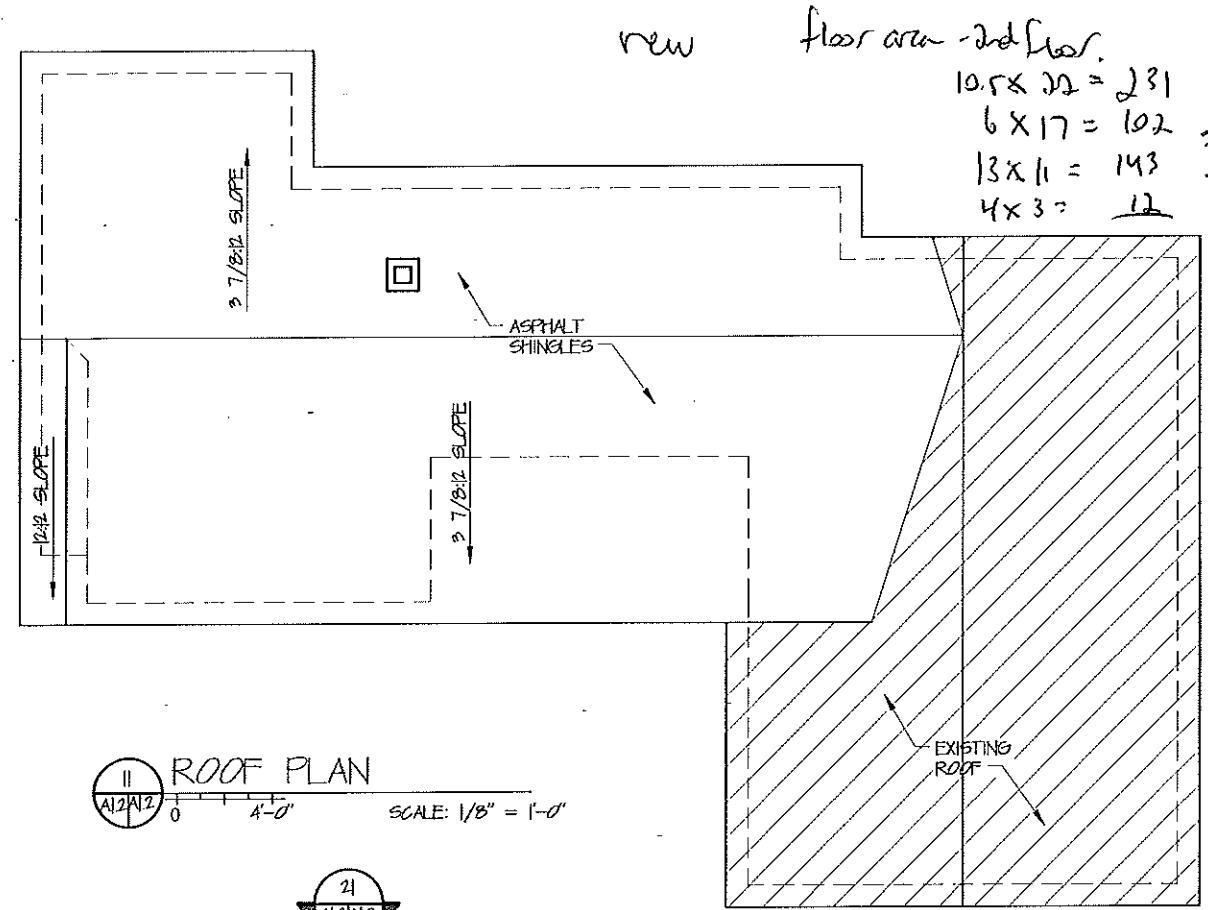
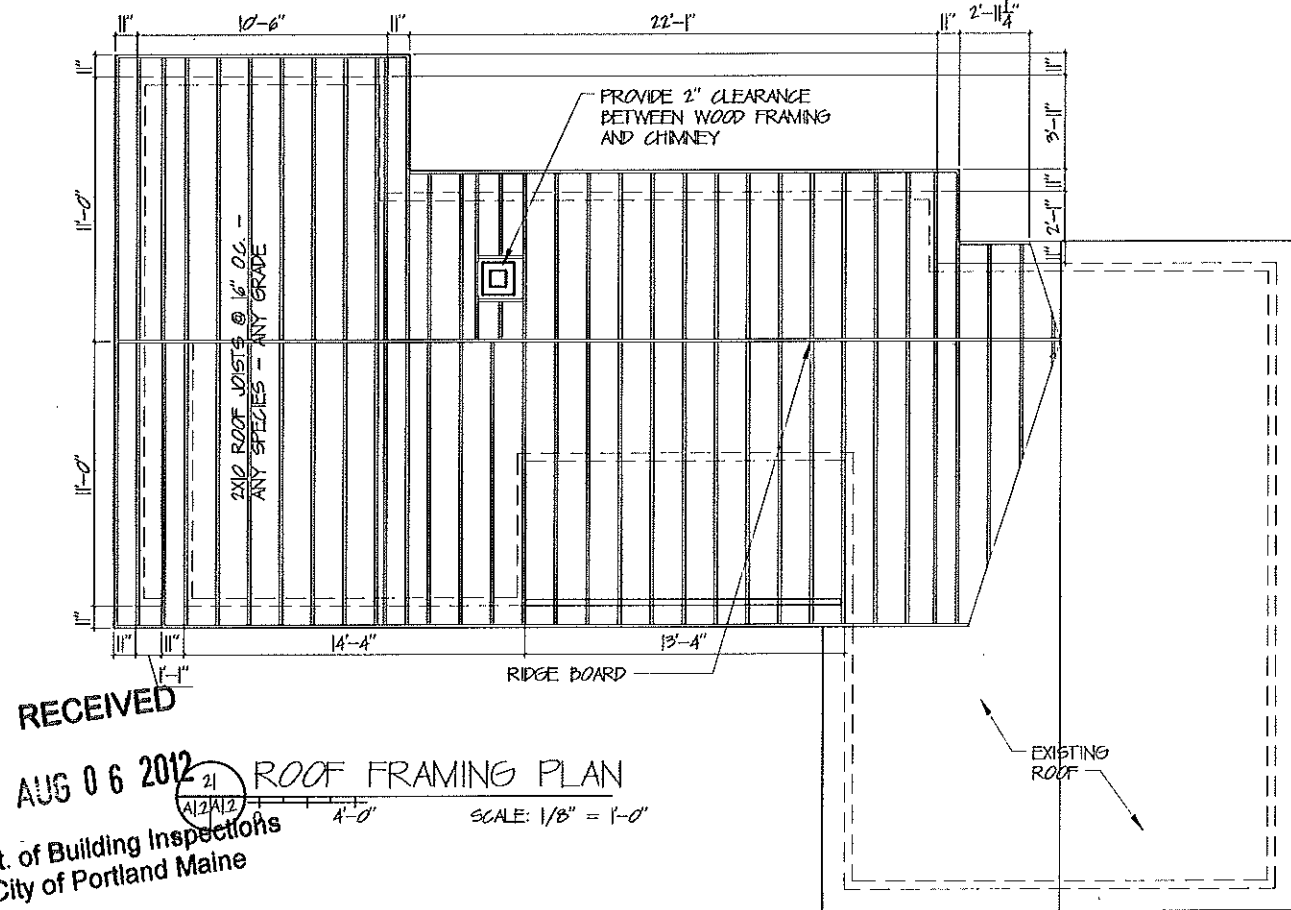


BILD ARCHITECTURE
PO BOX 8235
PORTLAND, ME 04101
207.408.0168
BILDARCHITECTURE.COM

41 Montreal Street
Portland, Maine

#	DATE	DESCRIPTION
REVISIONS		
DATE ISSUED:	08/01/2012	
PROJECT NUMBER:	2001	
DRAWING SCALE:		
SHEET NAME		
PLANS		
DRAWN BY		
EAC		
CREATED BY		
EAC		
A1.2		

IF THIS SHEET IS NOT 11 X 17 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

121'-6"
T.O. RIDGE

ROOF ASSEMBLY (R-50)
ASPHALT SHINGLES
ASPHALT ROOFING PAPER
5/8" CDX PLYWOOD
2X10 WOOD ROOF JOISTS
W/ 14" CELLULOSE (R-49)
5/8" GWP

50%
11'-6"
11'-6"

17' over
30" will
add attic
access

2x10
11' span

15'-1" x
0.67 =
10.05 ft

Need
2x12's

2x10's - ok
will have ceiling
joist & top plate

TYPICAL INTERIOR WALL
5/8" GWP
2X4 WOOD FRAMING
W/ BATT INSULATION
5/8" GWP

FLOOR ASSEMBLY
3/4" WOOD SUBFLOOR
2X12 WOOD FLOOR JOISTS

WALL ASSEMBLY (R-12+5)
CEMENTITIOUS SIDING
ASPHALT BUILDING PAPER
5/8" CDX PLYWOOD
2X4 WOOD WALL FRAMING
W/ CELLULOSE (R-13)
INTERIOR CONTINUOUS INSULATION (R-5)
5/8" GWP

110'-5"
2ND FFE

EXISTING WALL ASSEMBLY

EXISTING WALL ASSEMBLY

EXISTING FLOOR ASSEMBLY

99'-8 1/2"
OFFICE FFE

EXISTING FOUNDATION

SECTION
A1.4

SCALE: 3/8" = 1'-0"

bild
ARCHITECTURE

BILD ARCHITECTURE
PO BOX 8135
PORTLAND, ME 04101
207.408.0168

BILDARCHITECTURE.COM

41 Montreal Street
Portland, Maine

DATE DESCRIPTION

REVISIONS

DATE ISSUED: 08/10/12

PROJECT NUMBER: 1001

DRAWING SCALE:

SHEET NAME

**SECTIONS &
DETAILS**

DRAWN BY

EAC

CHECKED BY

EAC

A1.4

IF THIS SHEET IS NOT 11 X 17 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

41 Montreal Street
Portland, Maine

DATE DESCRIPTION

REVISIONS

DATE ISSUED: 08/01/12

PROJECT NUMBER: 1007

DRAWING SCALE

SHEET NAME

ELEVATIONS

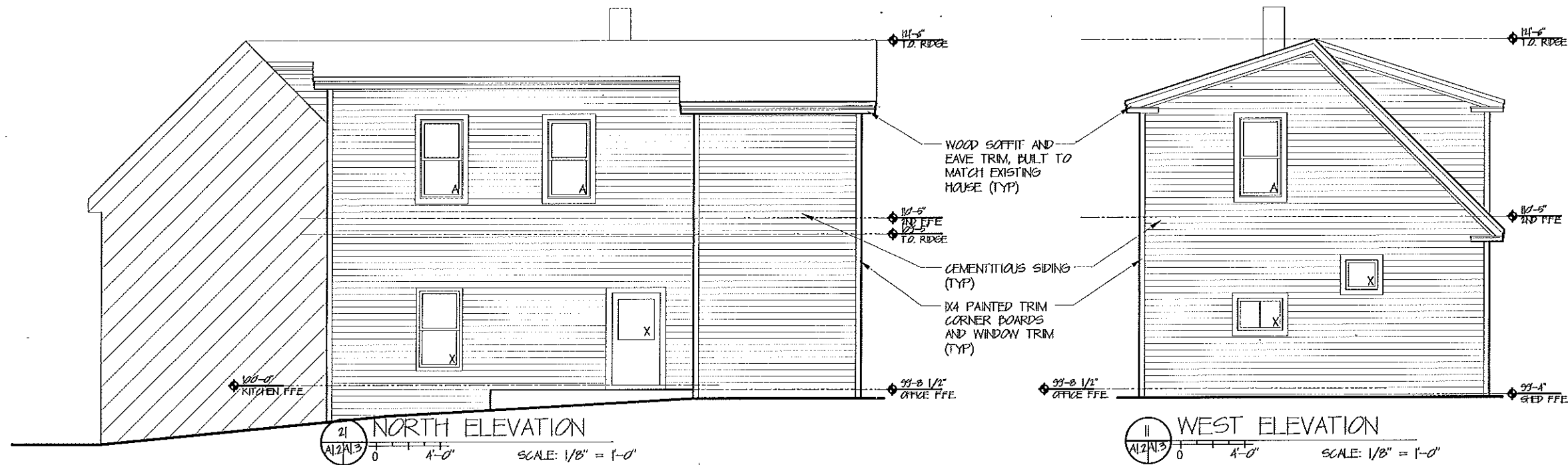
DRAWN BY

EAC

CHECKED BY

EAC

A1.3

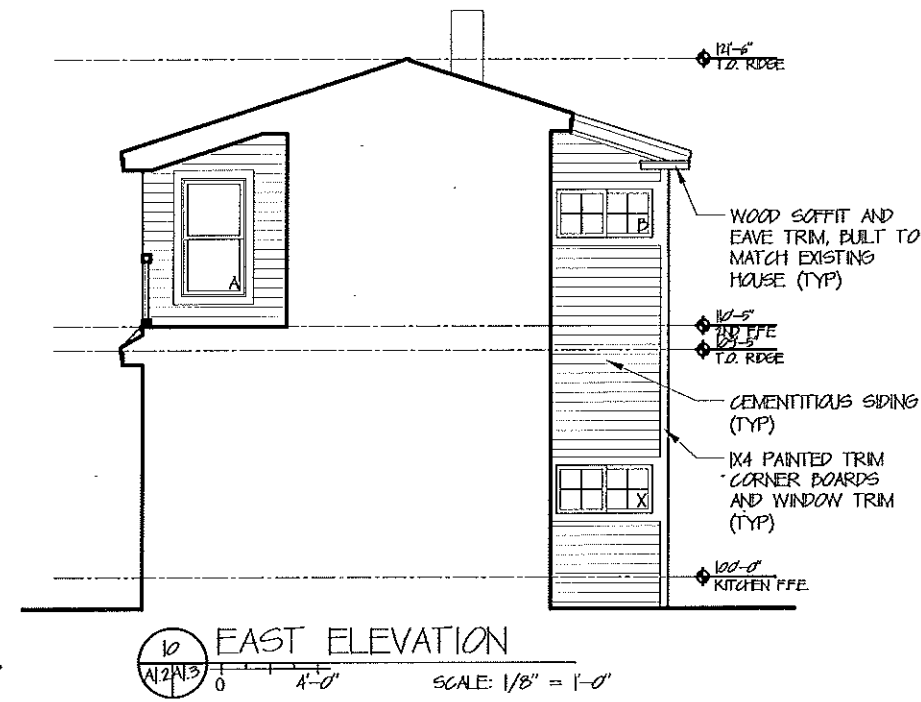
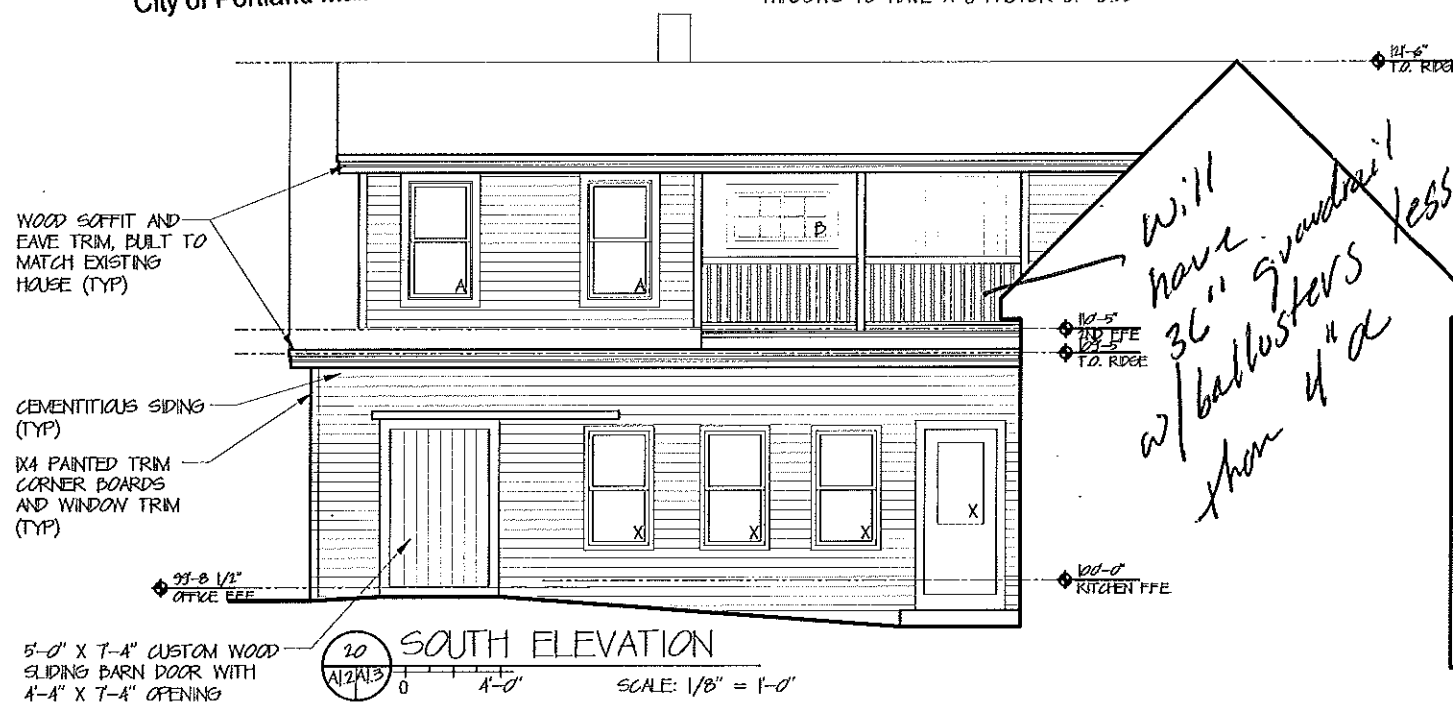


RECEIVED

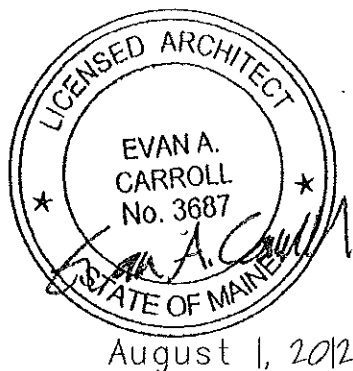
AUG 06 2012

Dept. of Building Inspections
City of Portland Maine

- WINDOWS TO HAVE A U-FACTOR OF 0.35



41 MONTREAL STREET, PORTLAND, MAINE
MAY 18, 2012



August 1, 2012

DRAWING LIST

- A10 TITLE SHEET AND CODE
- A11 EXISTING CONDITIONS
- A12 PLANS
- A13 ELEVATIONS
- A14 SECTIONS & DETAILS

AREA SUMMARY

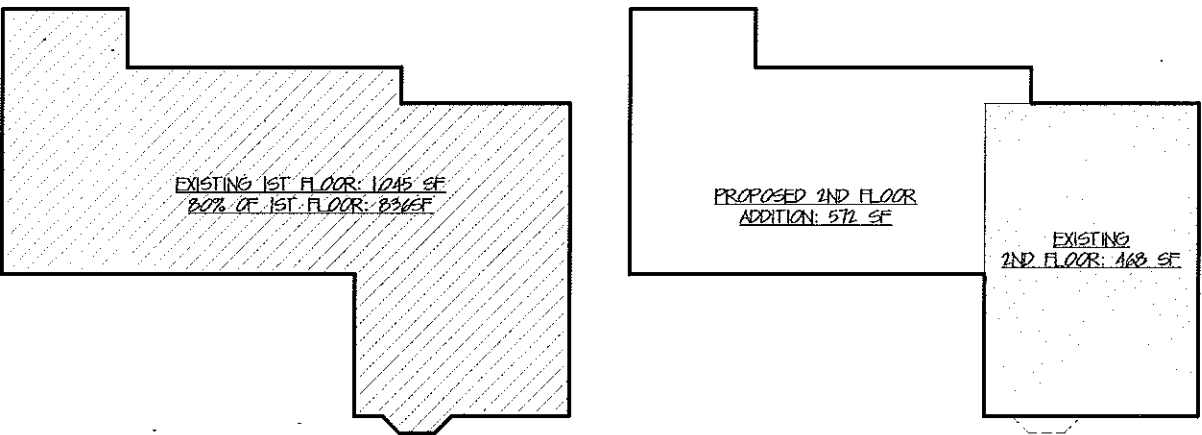
EXISTING HOUSE (HATCHED IN PLANS)	1,513 SQUARE FEET
FIRST FLOOR 1,045 SF	
SECOND FLOOR 468 SF	
PROPOSED SECOND FLOOR ADDITION	572 SQUARE FEET
TOTAL PROPOSED BUILDING AREA	2,085 SQUARE FEET

GOVERNING CODE

- ALL ELEMENTS OF THIS PROJECT SHALL COMPLY WITH:
- IRC2009
- ALL APPLICABLE CODES IN MUREC, THE MAINE STATE BUILDING CODE

CODE REVIEW CHECKLIST

Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.1))	N/A (EXISTING)
Foundation Drainage, Fabric, Damp Proofing (Section R405 & R406)	N/A (EXISTING)
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A (EXISTING)
Anchor Bolts/Straps, Spacing (Section R403.1.6)	N/A (EXISTING)
Lally Column Type (Section R407) Girder & Header Spans (Table R 502.5(2))	N/A (NONE)
Built-Up Wood Center Girder Dimension/Type	N/A (NONE)
Sill/Band Joist Type & Dimensions	BAND (2ND): 2X12, NO. 2 GRADE, ANY SPECIES
First Floor Joist Species Dimensions and Spacing (Table R502.3(1) & Table R502.3(2))	N/A (EXISTING)
Second Floor Joist Species Dimensions and Spacing (Table R502.3(1) & Table R502.3(2))	ANY SPECIES NO. 2 GRADE, 2X12 @ 16' O.C.
Attic or Additional Floor Joist Species Dimensions and Spacing (Table R502.4(1) & R502.4(2))	ANY SPECIES NO. 2 GRADE, 2X8 @ 16' O.C.
Pitch, Span, Spacing & Dimension (Table R502.5(1) - R 502.5(8)) Roof Rafter, Framing & Connections (Section R502.3 & R502.3.1)	ANY SPECIES ANY GRADE, 2X10 @ 16' O.C. W/ RIDGE BEAM
Sheathing: Floor, Wall and roof (Table R502.2.1(1))	5/8" CDX PLYWOOD
Fastener Schedule (Table R402.3(1) & (2))	NOTED ON SECTION



Private Garage (Section R309) Living Space? (Above or beside) Fire Separation (Section R309.1) Opening Protection (Section R309.1)	N/A (NO GARAGE)
Emergency Escape and Rescue Openings (Section R310)	SEE WINDOW SCHEDULE
Roof Covering (Chapter 9)	ASPHALT SHINGLES
Safety Glazing (Section R308)	N/A (NO PROPOSED WINDOWS MEET SAFETY GLAZING REQUIREMENTS)
Attic Access (Section R807)	N/A (NONE)
Chimney Clearances/Fire Blocking (Chap. 10)	2" FOR ALL WOOD FRAMING
Header Schedule [Table 502.5(1) & (2)] Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	SEE SECTION SEE BUILDING SECTION & WINDOW SCHEDULE
Ventilation of Space per ASRAE 62.1, 2007	N/A (ADDITION WILL HAVE CONTINUOUS AIRFLOW WITH EXISTING HOUSE)
Type of Heating System	HOT WATER TERMINALS AS CONNECTED TO EXISTING BOILER
Means of Egress (Sec R311 & R312) Basement Number of Stairways (INTERIOR AND EXTERIOR) Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.5.2) Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	N/A (NONE) 1 EXISTING INTERIOR (SEE A12) N/A (EXISTING) N/A (EXISTING) N/A (EXISTING) N/A (EXISTING)
Carbon Monoxide Alarms (R315) Smoke Detectors (Section R314) Location and Type/Interconnected	SEE PLAN SEE PLAN
Dwelling Unit Separation (Section R317) and IRC - 2003 (Section 1207)	N/A (SINGLE FAMILY)
Deck Construction (Section R502.2.1)	N/A (NONE)

RECEIVED
AUG 06 2012
Dept. of Building Inspections
City of Portland Maine

bild
ARCHITECTURE

BILD ARCHITECTURE
PO BOX 8135
PORTLAND, ME 04101
207.408.0168

BILDARCHITECTURE.COM

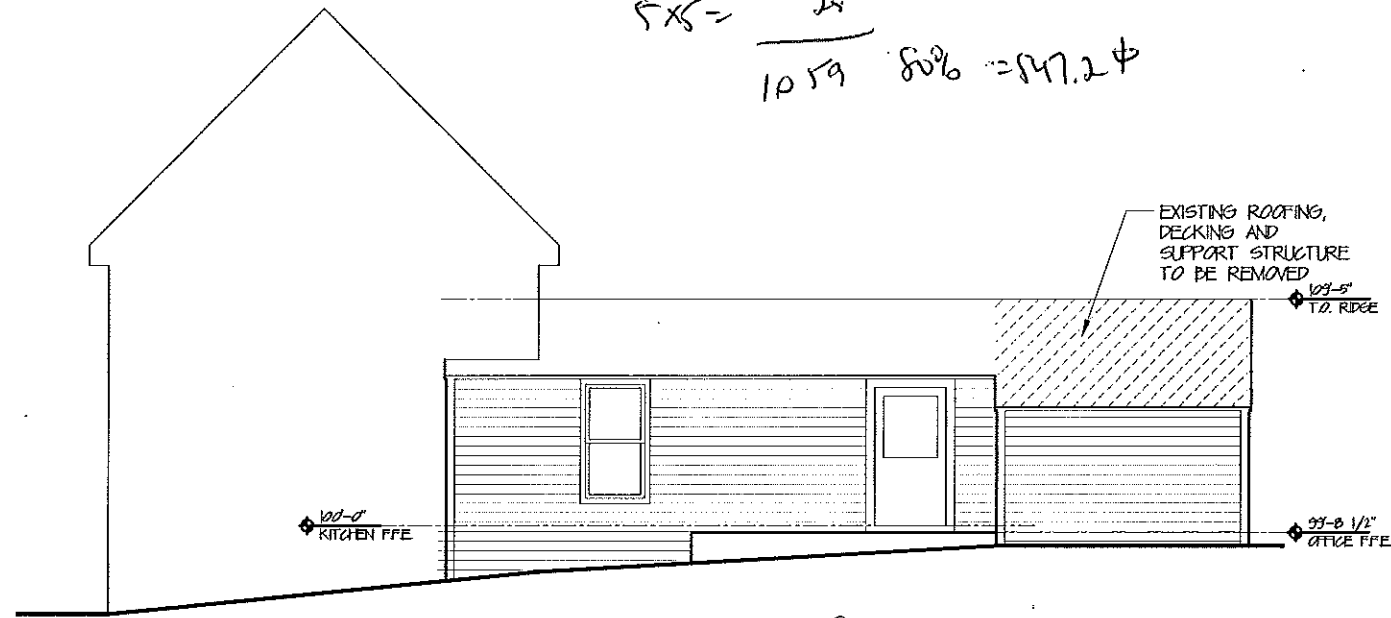
41 Montreal Street
Portland, Maine

#	DATE	DESCRIPTION
REVISIONS		
DATE ISSUED:	08/01/12	
PROJECT NUMBER:	1207	
DRAWING SCALE		
SHEET NAME	TITLE SHEET & CODE	

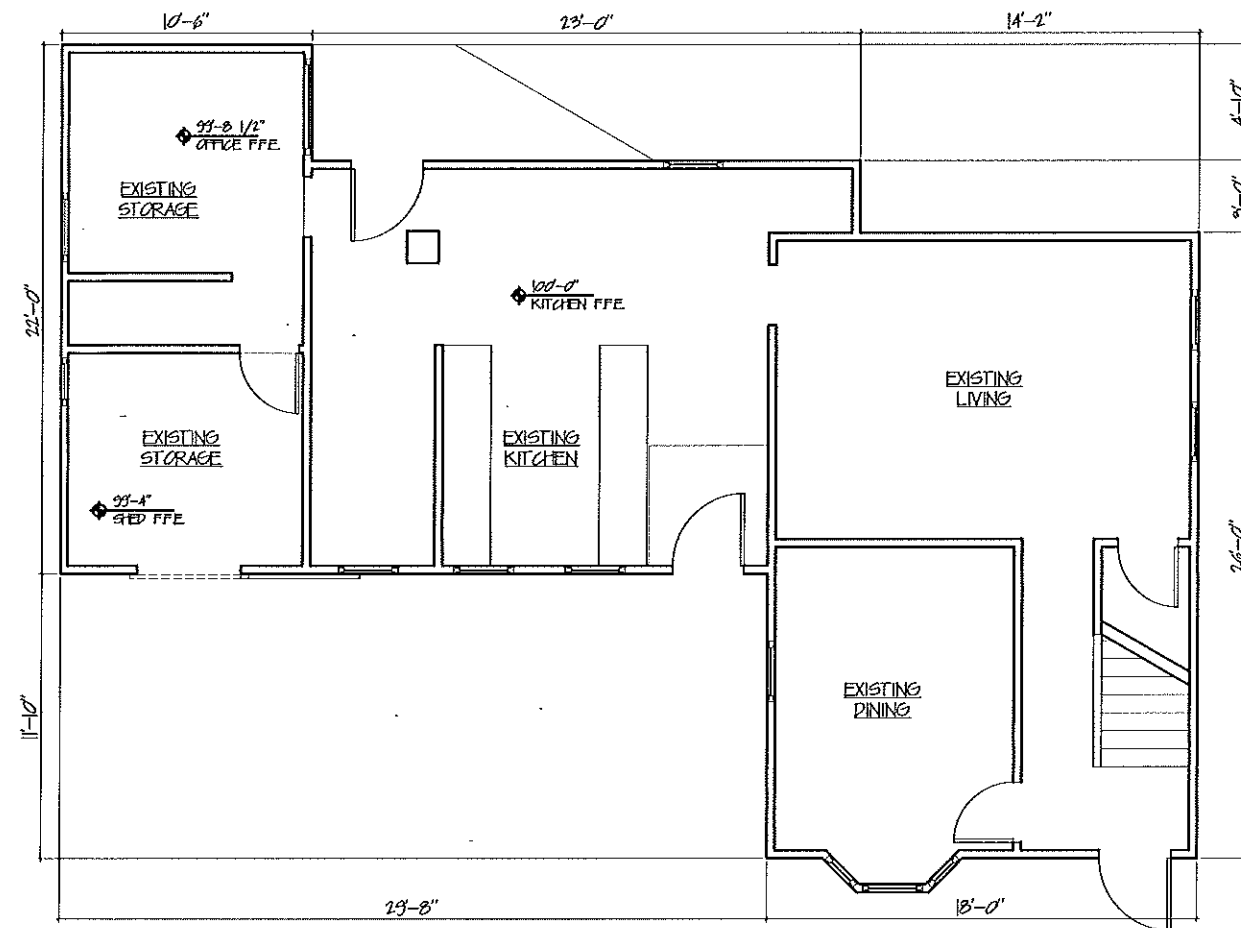
DRAWN BY	
EAC	
CHECKED BY	
EAC	
A1.0	

IF THIS SHEET IS NOT 11" X 17" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

1st floor footprint $10.5 \times 22 = 231$
 $19 \times 17 = 323$
 $19 \times 26 = 468$
 $4 \times 3 = 12$
 $\frac{1034}{1059}$
 $5 \times 5 = 25$
 $80\% = 847.2 \text{ sq ft}$

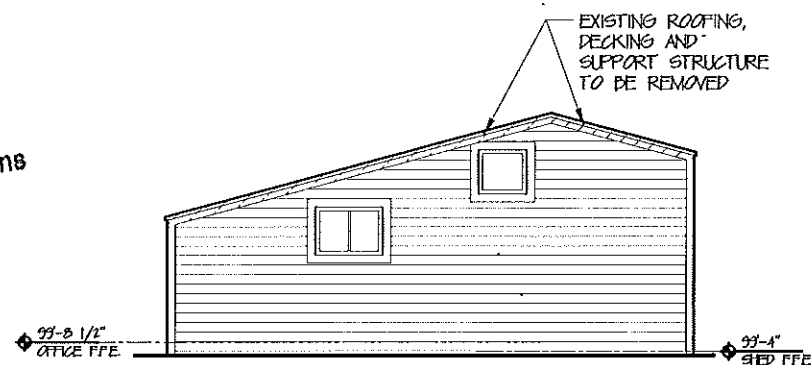


21 EXISTING NORTH ELEVATION - rear
SCALE: 1/8" = 1'-0"

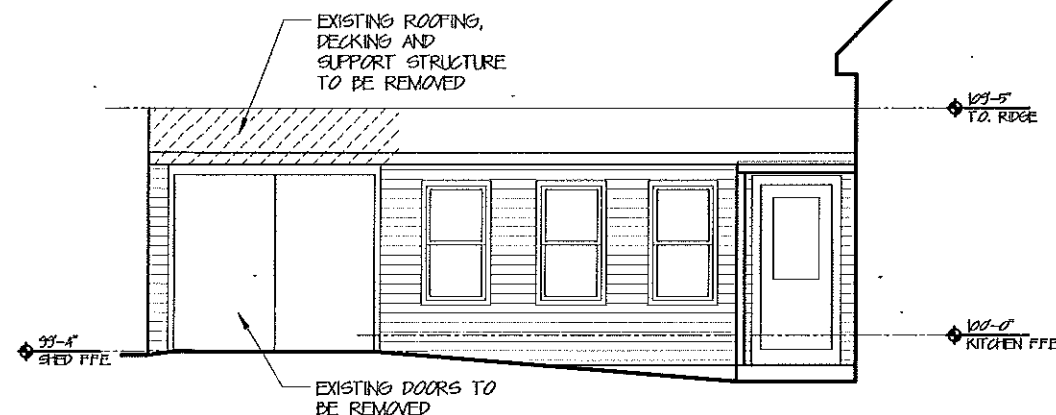


11 EXISTING FIRST FLOOR
SCALE: 1/8" = 1'-0"

RECEIVED
AUG 06 2012
Dept. of Building Inspections
City of Portland Maine



20 EXISTING WEST ELEVATION - left side
SCALE: 1/8" = 1'-0"



10 EXISTING SOUTH ELEVATION - front
SCALE: 1/8" = 1'-0"

bild
ARCHITECTURE

BILD ARCHITECTURE
PO BOX 8135
PORTLAND, ME 04101
207.408.0168

BILDARCHITECTURE.COM

41 Montreal Street
Portland, Maine

#	DATE	DESCRIPTION
REVISIONS		
DATE ISSUED: 08/01/12		
PROJECT NUMBER: 1001		
DRAWING SCALE:		

SHEET NAME
**EXISTING
CONDITIONS**

DRAWN BY
EAC
CHECKED BY
EAC

A1.1