

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 040222

PERMIT ISSUED

This is to certify that Potter Scott/n/ahas permission to Replacement of 12'6" x 16' roof deck and additional 20' x 16' deck.

SEP 14 2004

AT 35 Melbourne St

015 C022001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 9/14/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0232		Issue Date:		CBL: 015 C022001	
Location of Construction: 35 Melbourne St		Owner Name: Potter Scott 775-1966		Owner Address: 35 Melbourne St #1	
Business Name: n/a		Contractor Name: n/a		Contractor Address: n/a Portland	
Lessee/Buyer's Name: n/a		Phone: n/a		Permit Type: Alterations - Multi Family	
Past Use: Condominium		Proposed Use: Condominium / Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.		Permit Fee:	
Proposed Project Description: Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>		Cost of Work: \$25,000.00	
				CEO District: 1	
Legal Use: 4 family condos		INSPECTION: Use Group: R2 Type: JB 9/14/04 Signature: <i>[Signature]</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	
Permit Taken By: gg		Date Applied For: 03/10/2004		Zoning Approval	
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews		Zoning Appeal	
		<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan exemption is being applied for Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM OK with conditions Date: 3/25/04		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	
				Historic Preservation	
				<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0232		Date Applied For: 03/10/2004	CBL: 015 C022001
Location of Construction: 35 Melbourne St	Owner Name: Potter Scott	Owner Address: 35 Melbourne St #1	Phone: 207-797-8661
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Multi Family	
Proposed Use: Condominium / Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.		Proposed Project Description: Replacement of 12'6" x 16' rooftop deck and additional 20' x 15' deck.	
Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 03/25/2004 Note: 3/24/04 question on height and open outside , exterior stairs - left message with David Leasure Ok to Issue: <input checked="" type="checkbox"/> 3/25/04 He will fax me a letter - the height is 45' to top of structural beam and the open, exterior stair exists - it is being rebuilt up to current codes. - He will apply for a site plan exemption 1) It is understood that the new building height is 45 feet from average grade to the highest point of the strucutral flat roof beam. YOU WILL BE REQUIRED TO VERIFY THIS HEIGHT TO THE CODE ENFORCEMENT OFFICE IN THE FIELD AT THE TIME OF CONSTRUCTION. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a four (4) family dwelling condominiums. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building Status: Approved with Conditions Reviewer: Mike Nugent Approval Date: 09/14/2004 Note: Ok to Issue: <input checked="" type="checkbox"/> 1) The structural alterations as prescribed by Helen Watts P.E. Must be verified prior to the commencement of framing of the project. VERY IMPORTANT! Mjn			
Dept: Fire Status: Approved Reviewer: Lt. MacDougal Approval Date: 04/06/2004 Note: Ok to Issue: <input checked="" type="checkbox"/>			

Comments:

4/13/2004-mjn: Left a message with the designer, this is an additional floor and in 5B construction this will require additional fire protection work.

9/14/2004-mjn: Deemed to comply with Mezzanine requirements (section 505) not considered and additional floor.

Spiral Stair not part of this permit.


All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 MELBOURNE STREET, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure <u>206 SF ENCLOSED</u>	Square Footage of Lot <u>7900 S.F.</u> #3	
Tax Assessor's Chart, Block & Lot Chart# <u>15</u> Block# <u>C</u> Lot# <u>2203</u>	Owner: <u>SCOTT POTTER</u>	Telephone: <u>797-8661</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>DAVID LEASURE - ARCHITECT</u> <u>1344 WASHINGTON AVE</u> <u>PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>25,000</u> Fee: \$ <u>17</u> 24,000
Current use: <u>CONDO (RESIDENTIAL)</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>ROOFTOP RECREATIONAL</u>		
Project description: <u>PROJECT INCLUDES REPLACEMENT OF EXIST ROOF DECK W/ ENCLOSED STRUCTURE W/ ADDITIONAL OPEN DECK AREA. 20 X 15.</u>		
Contractor's name, address & telephone: <u>N/A UNKNOWN AT THIS TIME</u>		
Who should we contact when the permit is ready: <u>DAVID LEASURE - 797-8661</u>		
Mailing address: <u>1344 WASHINGTON AVENUE</u> <u>PORTLAND, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3/10/04</u>
--------------------------------------------------------------------------------------------------------------	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

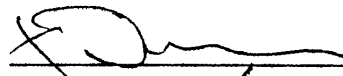
A Pre-construction Meeting will take place upon receipt of your building permit.

- ☐ **Footing/Building Location Inspection:** Prior to pouring concrete
- ☐ **Re-Bar Schedule Inspection:** Prior to pouring concrete
- ☐ **Foundation Inspection:** Prior to placing ANY backfill
- ☒ **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- ☒ **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED





October 8, 2003

Mr. Scott Potter
35 Melbourne Street
Portland, Maine 04101

**Re: Structural Design – Rooftop Deck
 35 Melbourne Street, Portland, Maine
 CME Project No. 03-068**

Dear Mr. Potter:

At your request, I reviewed the roof structure of the building at 35 Melbourne Street in Portland, Maine. I visited the building on October 7, 2003. The building is a 3-story, multi-unit apartment building. The building is approximately 90 years old, and was renovated various times.

The roof is a multi-level flat roof and gable with asphalt/fiberglass and rubber membrane roofing. A roof deck has been designed by David Leasure of David Leasure Architects for part of this roof. George Austin of Austin and Sons Roofing was at the building today due to a roof leak. The roof is being removed from the area of the roof deck. Dave, George, and I looked at the condition of the roof and looked at the roof framing to determine the best way to support the roof deck loads, so that the roof leak can be addressed while preparing the roof for the installation of the designed deck structure. The deck structure can then be built without disturbing the roofing next spring.

The attached sketch shows the framing sizing. I am forwarding this letter to Dave so he can update his drawings as needed, and have called George with the beam sizing so that the roofing can be installed speedily over the added support framing.

We also discussed roof ventilation of the existing deck. Mildew was visible on some of the framing that was exposed when the sheathing was removed. The roof framing generally appears to be in good condition where probed, but the high- moisture conditions causing mildew will eventually cause rot to deteriorate the strength of the wood framing. This deck should be ventilated to prevent a buildup of moisture in the framing. George plans to install 2-inch diameter round vents by sawing through the side framing. This will improve the ventilation of the deck. We also discussed adding two mushroom-cap-type ventilators near the peak of the gabled roof where the original gable end vent was removed. The front gable end vent remains as it was.

October 8, 2003

Page 2

Thank you for giving us the opportunity to be of service to you again.

Yours truly,

Helen C. Watts, P.E.
Project Engineer

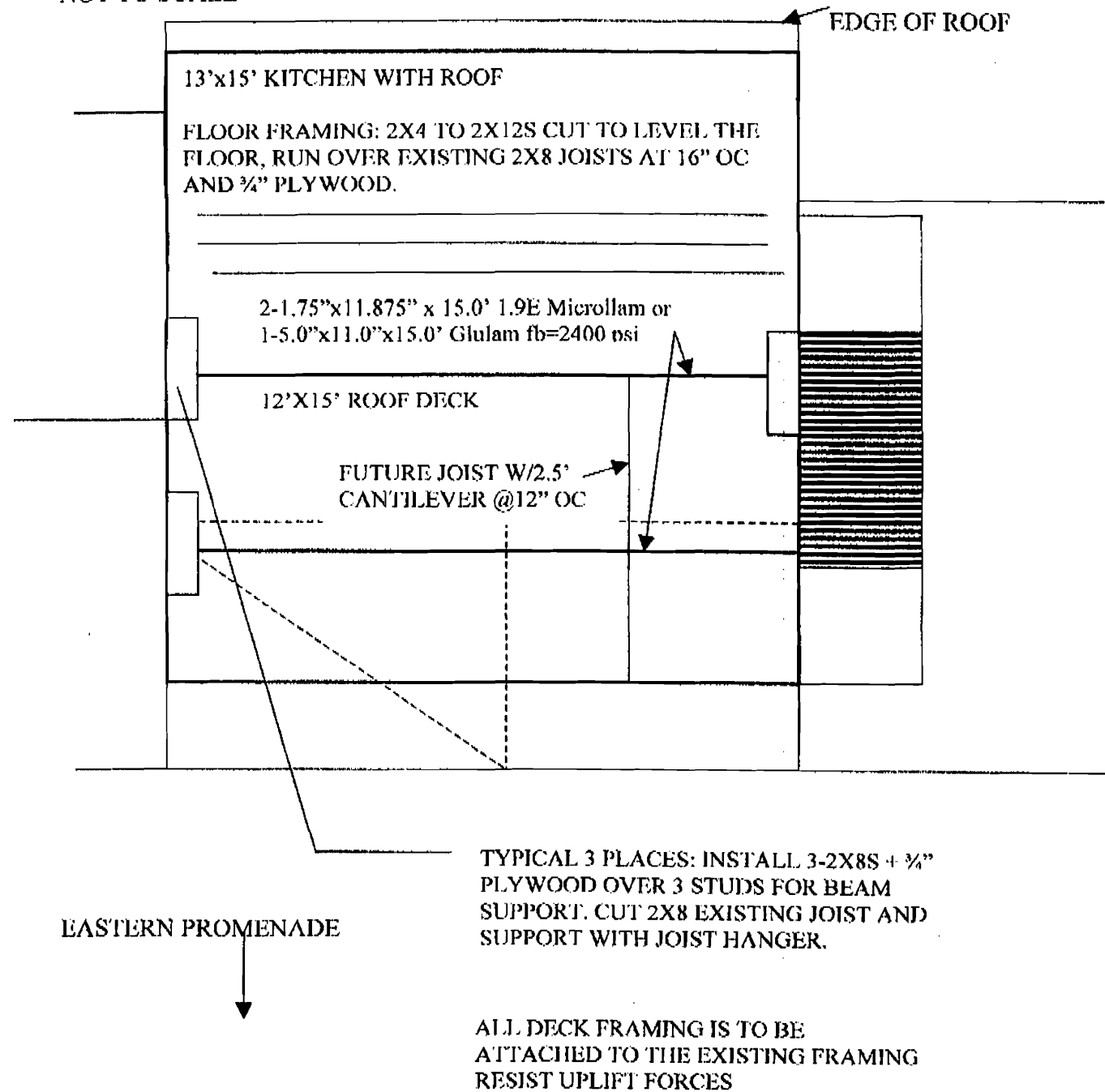
HWC/

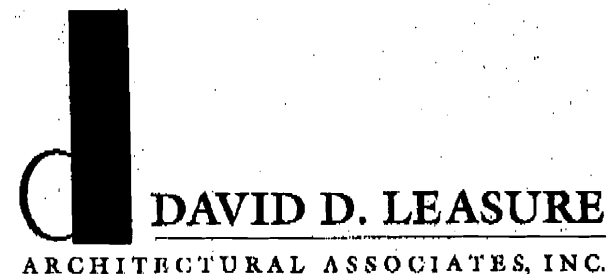
Fax to: George Austin, Austin and Sons Roofing, 693-5078
E-mail to: David Leasure, Architect

J:\DATA\Projects\Proj03\Potter03-068 ltr.doc

October 8, 2003
Page 3

POTTER DECK
CME P/N 03-068
HELEN C. WATTS, P.E.
NOT TO SCALE



**TELEFAX
TRANSMITTAL**

TO: Mr. Mike Nugent - Code Enforcement Officer
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

DATE: August 11, 2004

NO. OF PAGES
INCL. COVER SHEET 1

FAX: (207) 874-8716

SUBJECT: 35 Melbourne Street (Map 15, Lot 22): BOCA Code Interpretation**MEMORANDUM:**

Dear Mike:

Per our discussion today regarding the above referenced 3 story condominium complex and the roof top deck replacement and enclosure, it is our interpretation that the 208 s.f. enclosed area to be constructed on the existing roof meets the definition of a mezzanine per BOCA-1999; Section 505 and therefore would be permitted to be constructed of Type 5, unprotected wood framed construction as detailed on the drawings dated April 1, 2003 and revised March 2, 2004. The rooftop addition, per BOCA-1999; Section 505 will not contribute to the building height or area limitation and will therefore not require a fire protection (sprinkler) system. Furthermore, the mezzanine area is not required to be open to the floor below since the maximum occupancy load is by BOCA-1999 code equal to 2.63 persons but in no way may exceed 10 persons.

Likewise, the occupant load of the enclosed area at 208 s.f. and the unenclosed deck area at 318 s.f. supports and provides for an occupancy load of 526 s.f./200 gross s.f. per person = 2.63 persons per BOCA-1999 but the entire rooftop area would be limited to a maximum occupancy load of 10 or fewer persons to be permitted to be constructed with a single exit.

Please consider this interpretation and contact me if you would like to discuss it further.

Best Regards,

David D. Leasure
DDL/l

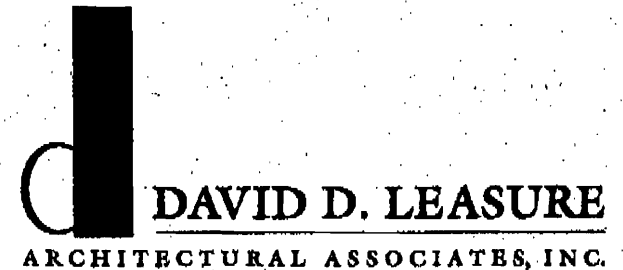
cc: Scott Potter
File

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Wpwin80/Data/Potter_RoofDeck_Fax

Page 1 of 1

COMMERCIAL • RESIDENTIAL • PLANNING • CONSULTING
1344 WASHINGTON AVENUE PORTLAND, MAINE 04103 (207) 797-8661 FAX (207) 797-8533

**TELEFAX
TRANSMITTAL**

TO: Ms. Marge Schmuckel • Director of Planning
City of Portland, Maine
389 Congress Street
Portland, Maine 04101

DATE: March 26, 2004

NO. OF PAGES
 INCL. COVER SHT. 1

FAX: (207) 874-8716

SUBJECT: 35 Melbourne Street (Map 15, Lot 22): Project Clarifications**MEMORANDUM:**

Dear Marge:

Thank you for contacting me yesterday regarding the above referenced project. Below please find the clarifications in regards to the above mentioned project as discussed in our phone conversation yesterday, March 26, 2004. They are as follows:

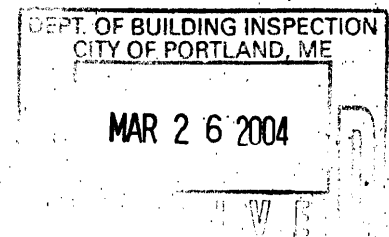
1. An existing roof deck currently exists which will be removed and replaced with the new roof deck enclosure as set forth on the drawings prepared by my office and dated March 2, 2004
2. The new exterior wood stair to the roof enclosure will be a replacement stair. A existing wood framed stair is currently in place and will be replaced to meet current code requirements.
- 3. The project requires application for site plan review and or an exemption if the area of the structure is less than 500 s.f.

Please contact me if you need any additional information.

Best Regards,


 David D. Leasure
 DDL/ll

cc: Scott Potter
 File



This facsimile may constitutes a privileged communication or otherwise confidential material. If you receive this facsimile in error or any part of the transmission is not received, please contact the sender at (207) 797-8661.

Wpwin80/Data/Potter_RoofDeck_Fax

Page 1 of 1

COMMERCIAL • RESIDENTIAL • PLANNING • CONSULTING
 1344 WASHINGTON AVENUE PORTLAND, MAINE 04103 (207) 797-8661 FAX (207) 797-8533

TRANSMITTAL
COVER SHEET



DATE: March 10, 2004

TO: City of Portland - Code Enforcement Dept.
389 Congress Street
Portland, Maine 04101

Project: Roof Deck Project for
Mr. Scott Potter
35 Melbourne Street Portland, Maine 04101

TRANSMITTAL:

Copies	Date	Description	Action Code
1 Set	3/2/04	Revised Roof Deck Construction Drawings (C-200, A-200, E A-400, A-500)	
1 Set	3/2/04	Construction drawing reductions (11x17)	E

Action A. Action Indicated on transmitted item. D. For Signature & forwarding as noted below
 B. No Action Required. E. See Remarks below.
 C. For Signature & return to this office.

SUBJECT: Roof Deck Project: Building Permit Submission

MEMORANDUM:

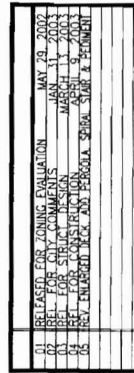
Dear Sir/Madam:

Enclosed please find submission materials to obtain a building permit for the above referenced project. Please contact me if you require additional information.

Best Regards,

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE (207) 797-8661

cc: File



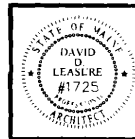
A-200

ROOF DECK PROJECT FOR
MR. SCOTT POTTER
35 MELBOURNE STREET
PORTLAND, MAINE

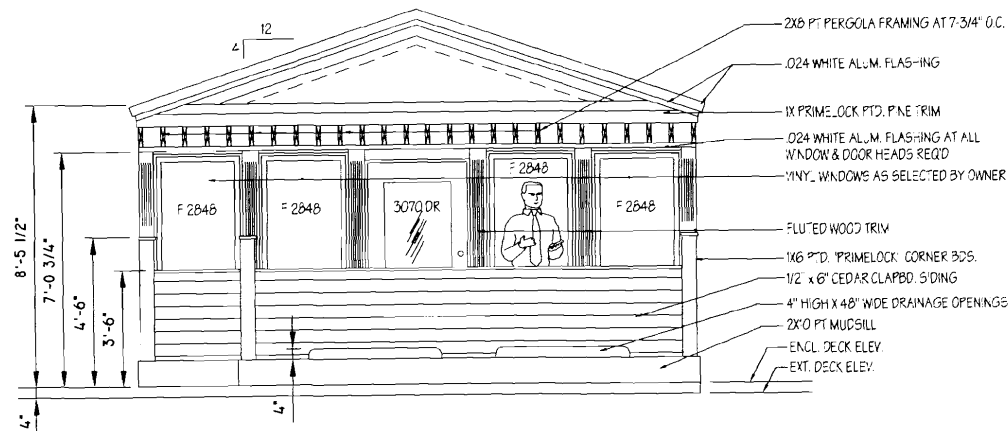
ROOF DECK ENCLOSURE PLAN
1/2" = 1'-0"

ROOF DECK PLAN

THIS DRAWING HAS BEEN DEVELOPED BY DAVID D. LEASURE-
ARCHITECTURAL ASSOC. INC. (DOL-AA) FOR THE TITLED SET ONLY
THIS DRAWING IS THE PROPERTY OF DOL-AA AND IT SHALL
NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
WITHOUT THE WRITTEN CONSENT OF DOL-AA. DAVID D. LEASURE-
ARCHITECTURAL ASSOCIATES INC. ALL RIGHTS RESERVED

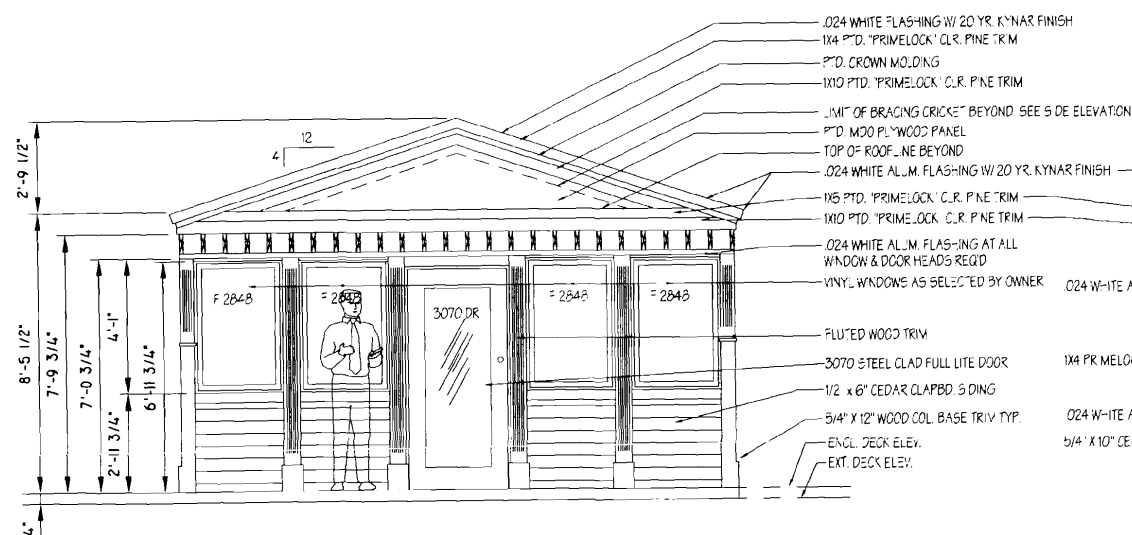


01	RELEASED FOR FOUNING EVALUATION	MAY 28, 2002
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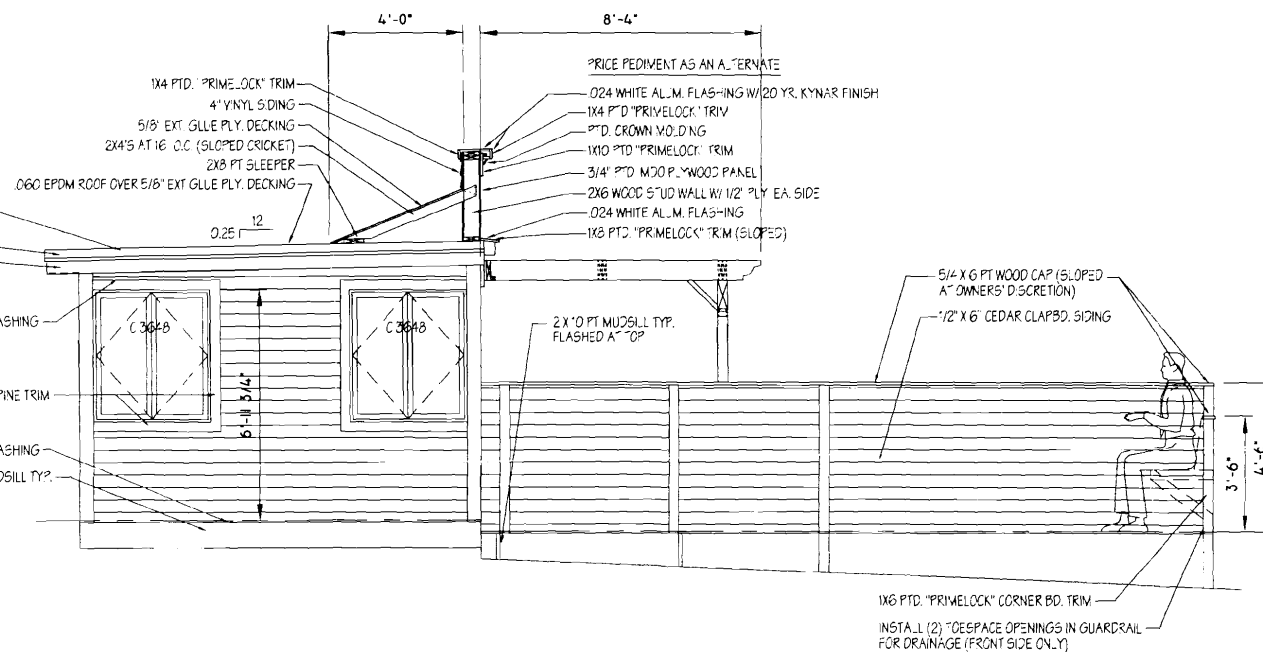
NORTHEAST ELEVATION

1/2" = 1'-0"



NORTHEAST DECK ENCLOSURE ELEVATION

1/2" = 1'-0"



SOUTHEAST ELEVATION

(OPPOSITE SIDE SIMILAR)

1/2" = 1'-0"

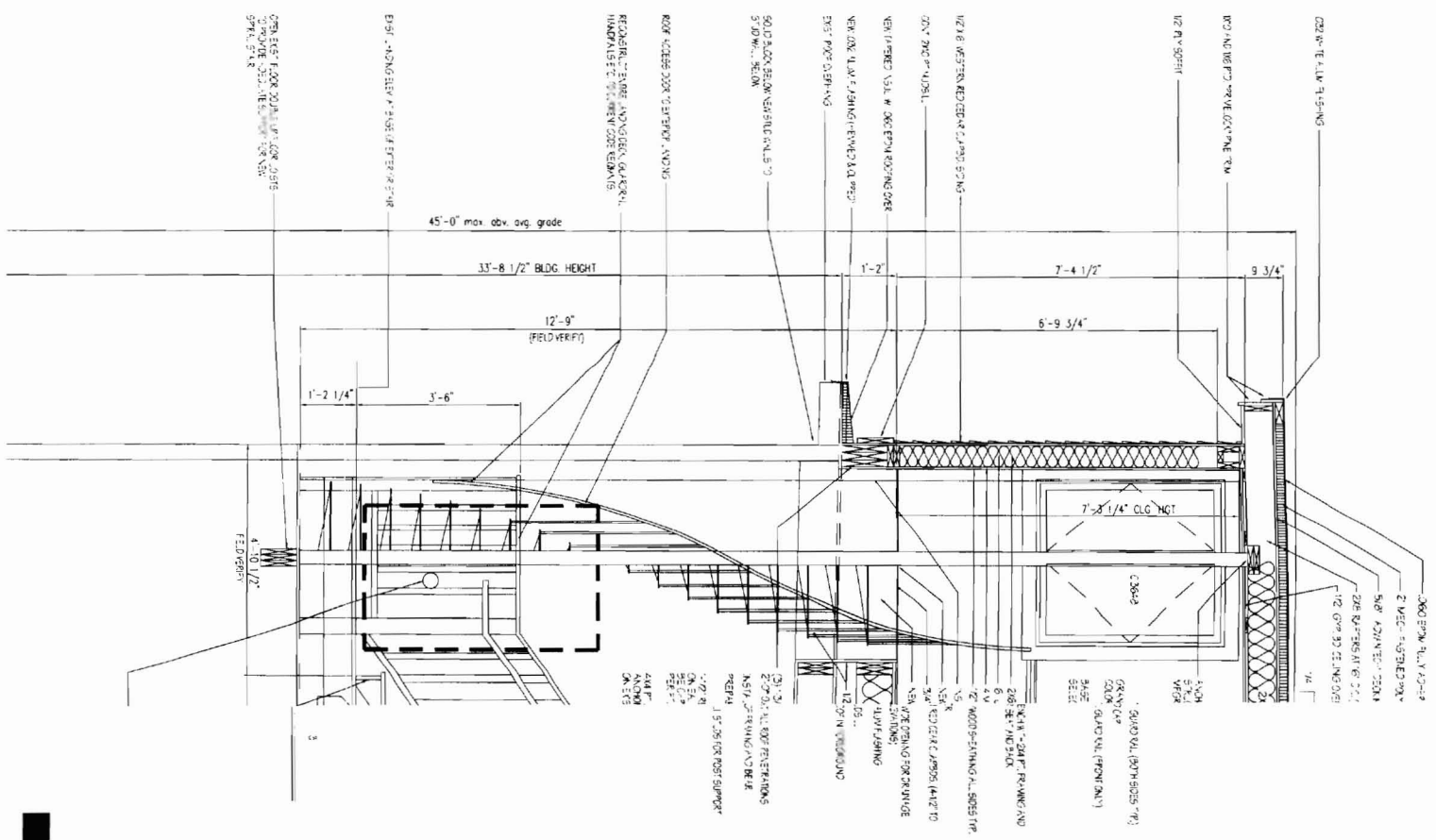
DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 01316 PROJECT TITLE: GOVERNING CODE REVIEW FOR 4 UNIT APT. BUILDING
SCALE: 1/2" = 1'-0" SHEET TITLE: EXTERIOR ELEVATIONS

RELEASED FOR CONSTRUCTION - APRIL 1, 2003
REVISED: MARCH 2, 2004

ROOF DECK PROJECT FOR
MR. SCOTT POTTER
35 MELBOURNE STREET
PORTLAND, MAINE

A-400

DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE, PORTLAND, MAINE 04101
PH. (207) 797-8661 FAX (207) 797-8533



APRIL 1, 2003



DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.

1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533

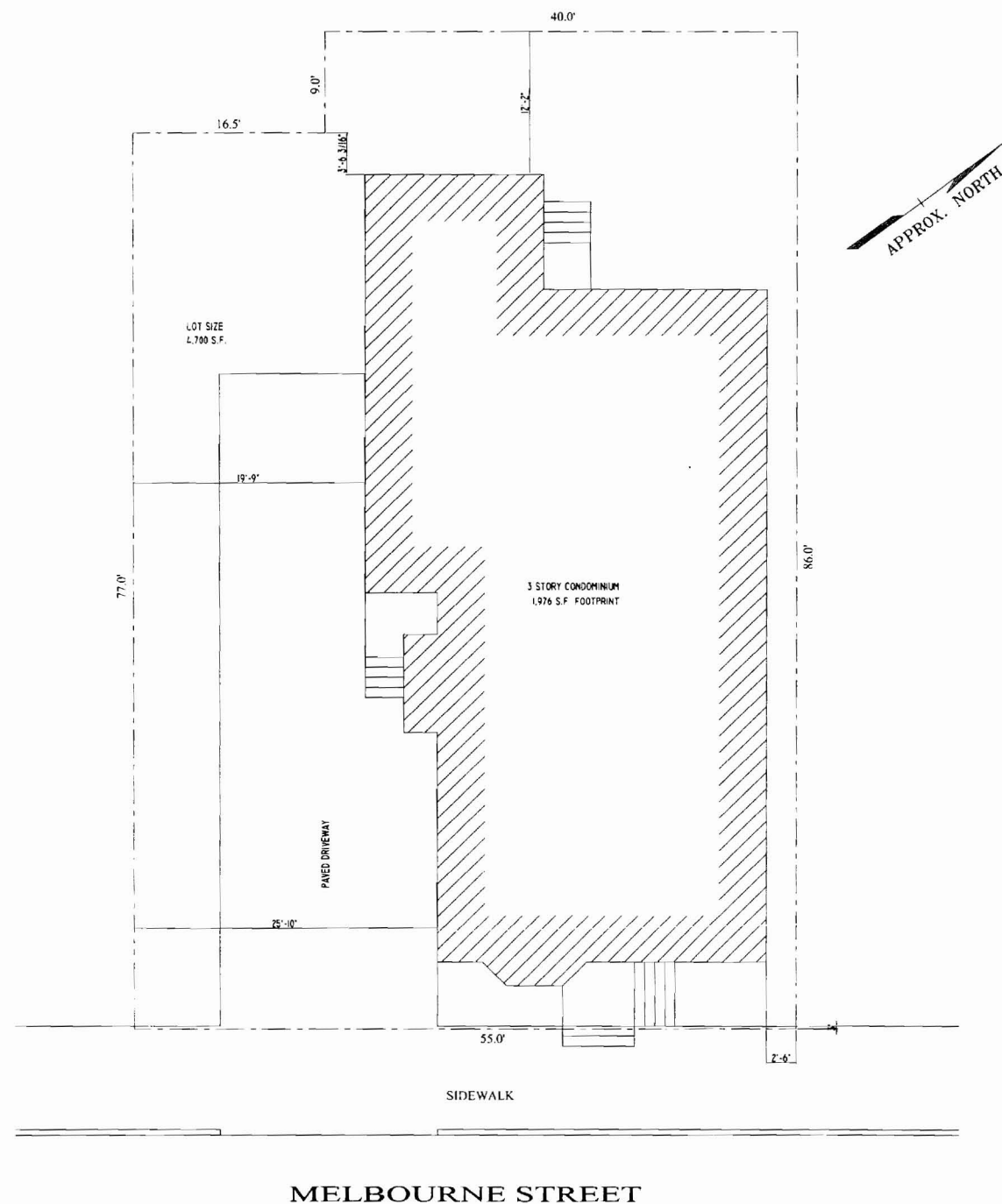
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SCALE: 3/4" = 1'-0" SHEET TITLE: COMPOSITE SECTION

01	RELEASED FOR ZONING EVALUATION	MAY 29, 2002
02	SET FOR CITY COMMENTS	JAN. 31, 2003
03	SET FOR STRUCT. DESIGN	MARCH 13, 2003
04	SET FOR CONSTRUCTION	APRIL 9, 2003
05	REV. ENLARGED DECK AND PERGOLA SPRA. STAIR & REINFORC.	



A-500



SCHEMATIC SITE PLAN
1" = 5'-0"

SITE DATA

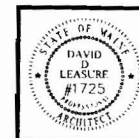
1. RECORD OWNER OF PROPERTY: THIRD FLOOR CONDOMINIUM SCOTT POTTER, SCOTT POTTER - 35 MELBOURNE STREET, PORTLAND, MAINE
2. TAX MAP REFERENCE: MAP 15, LOT # 22
3. PARCEL ZONING: R-6; RESIDENTIAL ZONE
4. AREA OF PARCEL = APPROX. 4,700 S.F. = 0.11 ACRES
5. PERIMETER BOUNDARY PLAN DERIVED FROM CITY TAX MAPS AND FIELD MEASUREMENTS TO IRON RODS FOUND
7. SPACE & BULK REQUIREMENTS: (COMMERCIAL CORRIDOR ZONE - B4)

ORDINANCE REQUIREMENT	PROPOSED
• MIN. LOT SIZE = 4,500 S.F.	CURRENT LOT SIZE = 4,700 S.F.
• MIN. LOT AREA PER DWELLING = 1,000 S.F.	4 DWELLINGS @ 1,000 = 4,000 S.F.
• MIN. STREET FRONTAGE = 40 FT	CURRENT STREET FRONTAGE = 55 FT
• MIN. FRONT YARD = 10 FT (EXCEPT: ASPHALT DRIVE FRONT YARD)	EXIST. FRONT YARD = 5'-6" FT. (PRINCIPAL BUILDING)
• MIN. SIDE YARD (EAST) = 10 FT (PRINCIPAL BUILDING)	MIN. SIDE YARD (EAST) = 2'-0" (PRINCIPAL BUILDING)
• MIN. SIDE YARD (WEST) = 10 FT (PRINCIPAL BUILDING)	MIN. SIDE YARD (WEST) = 19'-9" (PRINCIPAL BUILDING)
• MIN. REAR YARD = 20 FT (PRINCIPAL BUILDING)	MIN. REAR YARD = 35'-6" (PRINCIPAL BUILDING)
• BUILDING HEIGHT = 45 FT	BUILDING HEIGHT = 33'-0"
• MAX. LOT COVERAGE = 50%	EXISTING LOT COVERAGE = 42%

RELEASED FOR CONSTRUCTION - APRIL 1, 2003
REVISED: MARCH 2, 2004

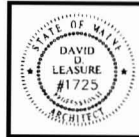
ROOF DECK PROJECT FOR
MR. SCOTT POTTER
35 MELBOURNE STREET
PORTLAND, MAINE

C-200

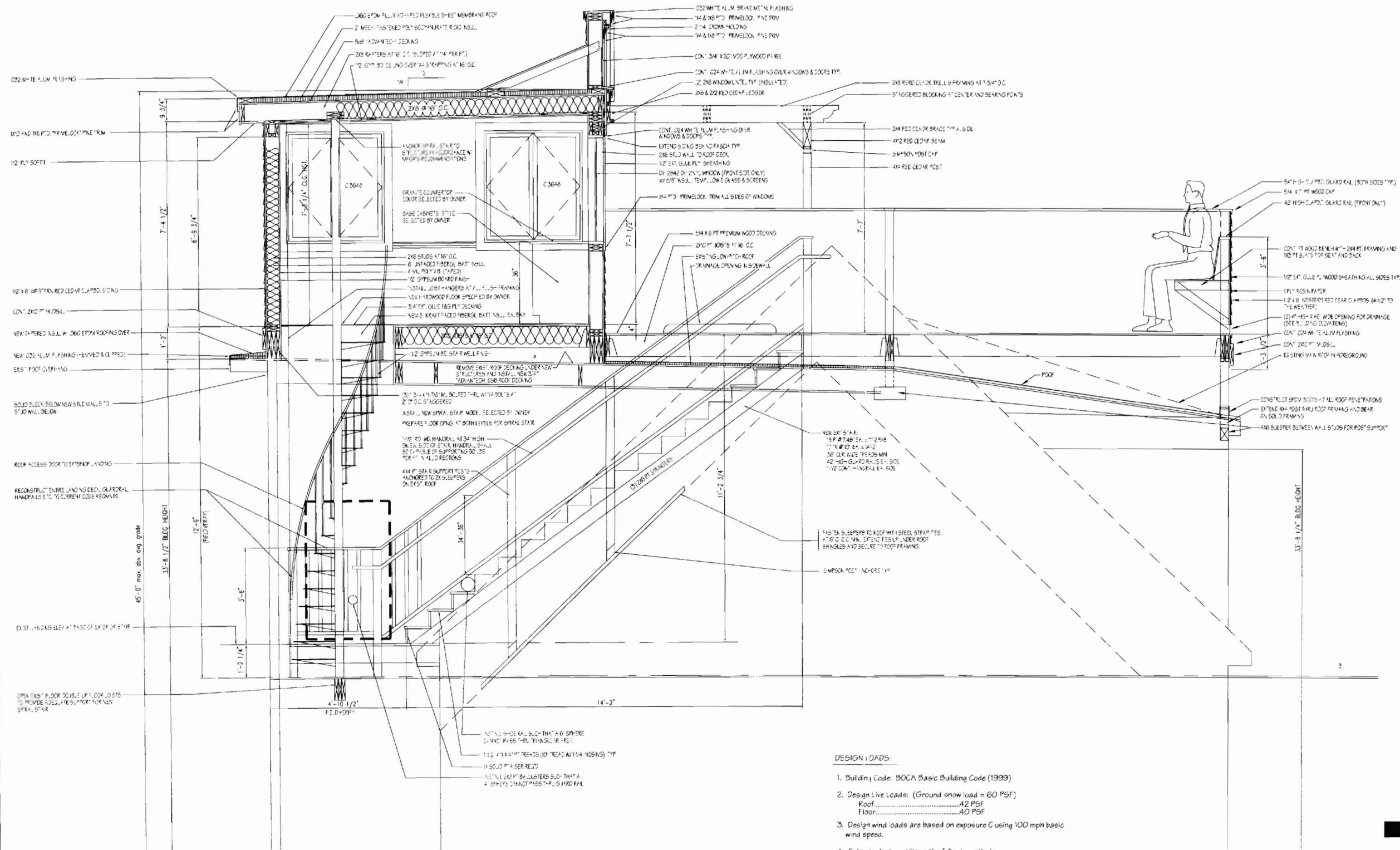


RELEASED FOR ZONING EVALUATION	MAY 29, 2003
FOR CITY OF PORTLAND	MAY 29, 2003
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DAVID D. LEASURE - ARCHITECTURAL ASSOCIATES INC.
1344 WASHINGTON AVENUE PORTLAND, MAINE PH. (207) 797-8661 FAX (207) 797-8533
PROJECT NO. 01316 PROJECT TITLE: GOVERNING CODE REVIEW FOR 4 UNIT APT. BUILDING
SCALE: 1" = 5'-0" SHEET TITLE: SCHEMATIC SITE PLAN



DATE	NOV 2002
BY	DAVID D. LEASURE
CHECKED	DAVID D. LEASURE
DATE	MAY 2003
BY	DAVID D. LEASURE
CHECKED	DAVID D. LEASURE
DATE	MAY 2003
BY	DAVID D. LEASURE
CHECKED	DAVID D. LEASURE
DATE	MAY 2003
BY	DAVID D. LEASURE
CHECKED	DAVID D. LEASURE



COMPOSITE SECTION

3/4" = 1'-0"

DESIGN LOADS:

- Building Code: BOCA Basic Building Code (1999)
- Design Live Loads: (Ground snow load = 60 PSF)
Roof.....42 PSF
Floor.....40 PSF
- Design wind loads are based on exposure C using 100 mph basic wind speed.
- Seismic design utilizes the following criteria:
 - Building framing system: Load bearing walls w/ plywood shear walls resisting lateral loads.
 - Analysis procedure: Equivalent Lateral Force Procedure.
 - Seismic hazard exposure group: "I"
 - Seismic performance category: "C"
 - Soil profile type: "S4"
 - Peak velocity-related acceleration (Av): "0.10"
 - Peak acceleration (Aa): "0.10"
 - Response modification factor (R): "7"
 - Deflection amplification factor (Cd): "4"

RELEASED FOR CONSTRUCTION - APRIL 1, 2003
REVISED: MARCH 2, 2004

ROOF DECK PROJECT FOR
MR. SCOTT POTTER
35 MELBOURNE STREET
PORTLAND, MAINE

A-500

THIS DRAWING HAS BEEN DEVELOPED BY DAVID D. LEASURE, ARCHITECT, AND IS THE PROPERTY OF DAVID D. LEASURE, ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DAVID D. LEASURE, ARCHITECT.



CITY OF PORTLAND, MAINE

Department of Building Inspections

20

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (IL) ☒ Plumbing (I5) ☐ Electrical (I2) ☐ Site Plan (U2) ☐

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy