

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: SHELDON J. ASHBY BOOK 28290 PAGE 915 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCELS: LOT 015-C-3 & 5= 7334 SQ. FT.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND TAX MAP 015
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY:
6. THE EXISTING STRUCTURES WAS BUILT IN 1900 WHICH WAS PRIOR TO THE ADOPTION OF ZONING ORDINANCES WHICH WERE ENACTED IN 1957.
7. APPROXIMATELY 1000 SQUARE FEET OF AREA WILL BE DISTURBED AS A RESULT OF INSTALLING THE PROPOSED PAVED DRIVEWAYS. THE REMAINING AREAS NOT COVERED BY BUILDINGS, WALKS OR DRIVES SHALL BE RETURNED TO A LAWN SURFACE.
8. NO WATERCOURSES OR WETLANDS EXIST ON OR NEAR THE SITE.
9. AN ATTEMPT WAS MADE TO OBTAIN CITY OF PORTLAND COORDINATES AND ELEVATIONS AT THE TIME OF THIS SURVEY DURING THE WINTER OF 2011; THE PERSON OR PERSONS WHO IS IN CHARGE OF THE INFORMATION WAS OUT ON MEDICAL LEAVE. THIS OFFICE WAS TOLD "USE AN ASSUMED BASE" BY THE CITY ARCHIVISTS.
10. THE TOTAL FLOOR AREA OF THE SUBJECT DWELING IS 896 SQUARE FEET.
11. THE SUBJECT BUILDING OF THIS PLAN IS THE EXISTING GARAGE SHOWN HEREON, AS A FROST WALL AND SLAB EXIST ON THE GROUND FLOOR NO PERMETER DRAIN WAS NEEDED OR INSTALLED.

ZONING:

R-6 RESIDENTIAL ZONE.
MINIMUM LOT SIZE 4500 SQUARE FEET
MINIMUM STREET FRONTAGE: 40 FEET
FRONT YARD SETBACK: 10 FEET
REAR YARD SETBACK: 20 FEET
SIDE YARD SETBACK: 50 FEET
MAXIMUM LOT HEIGHT: 35 FEET
MAXIMUM HEIGHT: 45 FEET

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 138, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

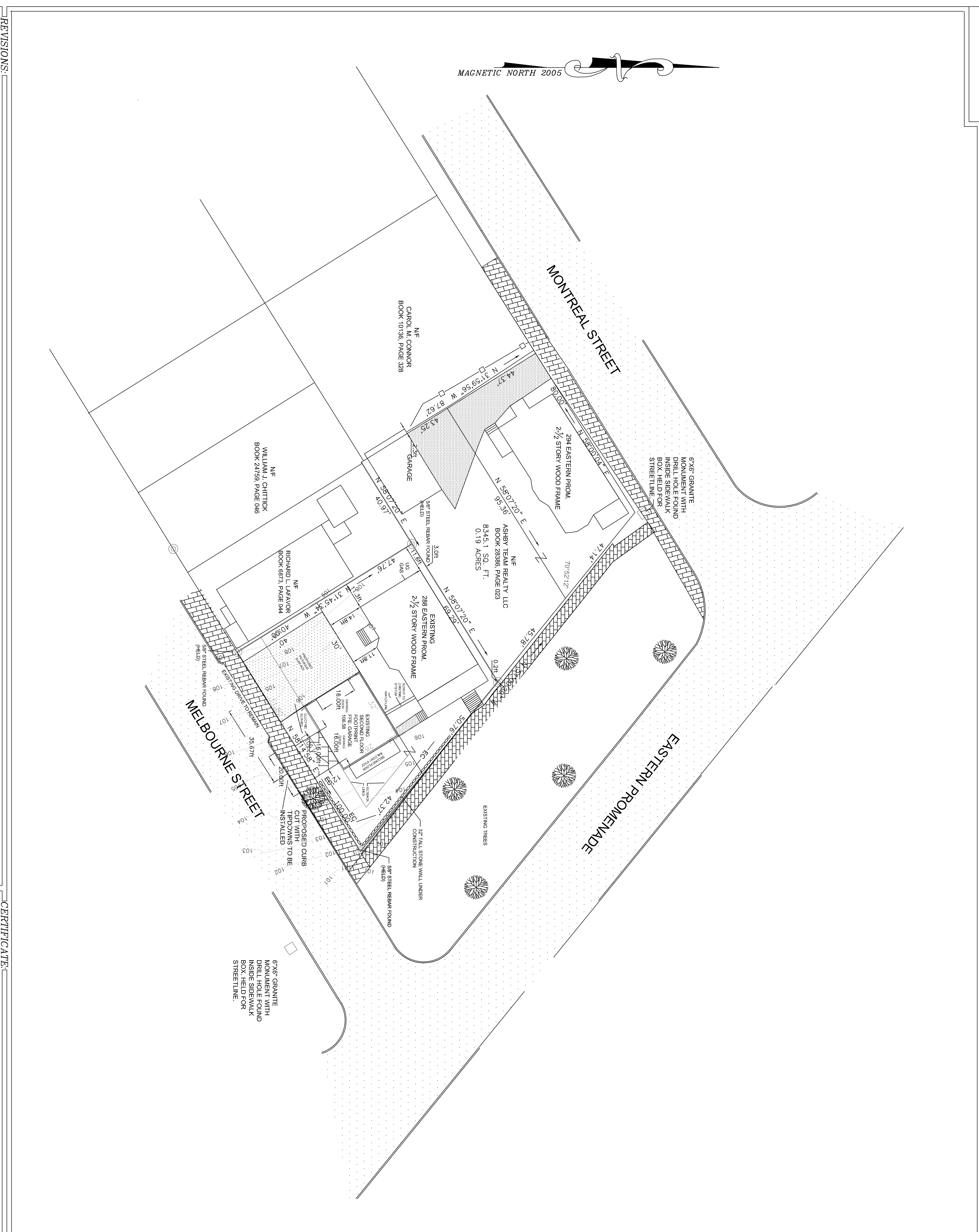
LEGEND:

CRS (30.00')	Rebar Set	(30.00')	Distance from reference
With # 2303.			Plan or deed.
IPF	Iron Pipe Found	N/F	Now Or Formerly
MONF	Monument Found	12345/99	Deed Book/Fogge of Local Registry
□	High Water Survey Point	①	Plot Number (Ref 40)
*	Bolt Found		Edge of traveled way
—	Abutter Line	—E—	Overhead Utility
—	Property Line	∅	Utility Pole
—	Street Line	Z	Indicates Ownership
—	Setback Line	—UG—	In Common
—	Old Lot Line	—106—	Under Ground
—	EC Erosion Control Measure		Proposed Contour
—	Silt Fence or Erosion Control		
—	Existing Contour		

SITE PLAN
288 EASTERN PROMENADE, PORTLAND, MAINE
FOR: **SHELDON J. ASHBY**

PREPARED BY:
ROBERT T GREENLAW PLS
LAND SURVEYING
134 PORTLAND AVE
OLD ORCHARD BEACH MAINE
BOBGREENLAW@MYAIRPOINT.NET
207-749-9471

DRAWN BY: RTG
CHECKED BY: KGG
SCALE: 1" = 20'
DATE OF SURVEY: 12/15/2010
JOB NUMBER: 2012017
SHEET: 1 OF 1
DRAWER: 2010 NO: 017

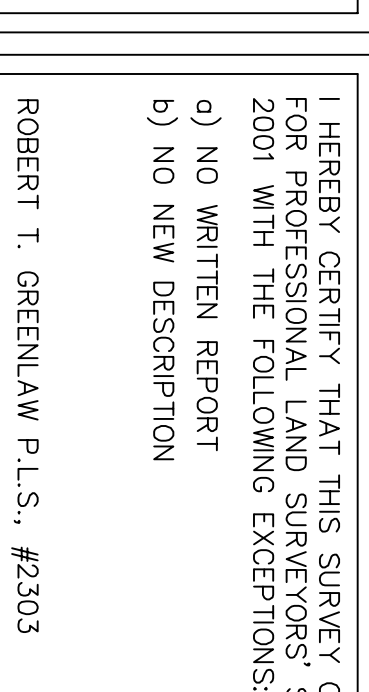
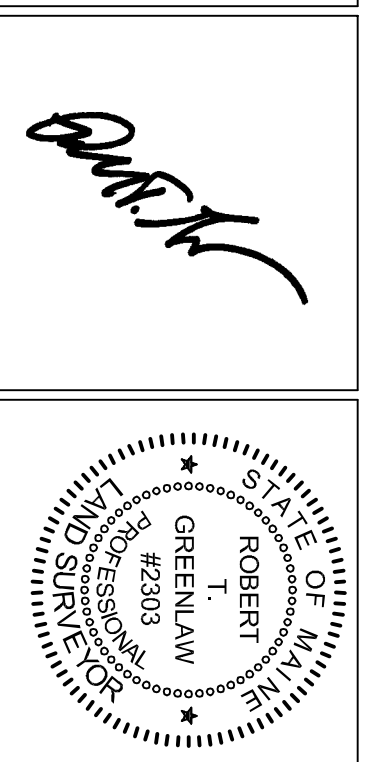


REVISIONS:

REV. 3 APRIL 12, 2012.	ADDED CONTOURS AND NOTES.
REV. 2 APRIL 11, 2012.	REVISED DRIVEWAY AND UTILITIES.
LOCATION:	288 EASTERN PROM. PORTLAND, MAINE

STATE OF MAINE, CUMBERLANDSS
REGISTRY OF DEEDS
RECEIVED
AT : H M AND RECORDED IN
PLAN BOOK PAGE

2012



CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSEURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
DATE: APRIL 10, 2012